

Favero's Legacy Cluster Subdivision - Phase 2

A part of Section 28, T6N, R2W, SLB&M, U.S. Survey
Weber County, Utah
April 2017



VICINITY MAP
(Not to Scale)

The written narrative shall contain the documentary, parol, and tangible evidence used in establishing the location of the lines of the survey. WCO 45-3-4(a).

NARRATIVE

This Subdivision Plat was requested by Mr. Bob Favero for the purpose of creating three (3) residential Lots and one (1) Open Space Parcel.

Brass Cap Monuments were found at the East 1/4 corner and the Southeast corner of Section 28, T6N, R2W, SLB&M.

A line bearing South 0°36'20" West between these two monuments was used as the basis of bearings.

Property corners will be set as depicted on this plat once the construction is complete.

If Curb and Gutter is installed, "Rivets will be set in the Top Back of Curb on the extension of the Property Line.

If Curb and Gutter is deferred, the front Property Corners will be required to have Rebar and Cap set.

The narrative explains and identifies the found monuments or deed elements that controlled the established or reestablished lines. UCA 17-23-17(4)(a)(iii) Please mention the Found Centerline monument in the narrative and the controlling deed elements also.

The written narrative shall contain the legal principles of boundary establishment used in establishing the location of the lines of the survey. WCO 45-3-4(b).

The Township, range, and quarter section of the Subdivision in bold letters at the top of the sheet. WCO 106-1-5(a)(1); WCO 106-1-8(c)(1)(a); UCA 17-23-17(3)(a) Please add Quarter Section

The existing location, widths, and other dimensions of all existing or platted streets or railroad lines within and immediately adjacent (within 30') to the tract of land to be subdivided. WCO 106-1-5(a)(6)

The surveyor making the plat shall certify that the surveyor "holds a license in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act". UCA 17-27a-604(4)(b)(i)

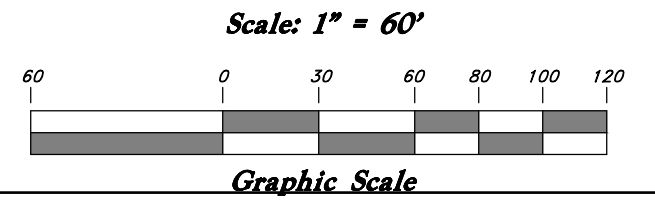
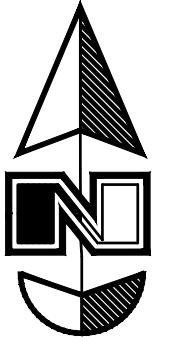
Certificate of Survey shall be signed and stamped by a licensed land surveyor licensed in the state. WCO 106-1-8(c)(1); WCO 106-1-8(c)(1)h.2

SURVEYOR'S CERTIFICATE
I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described herein in accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Favero's Legacy Cluster Subdivision - Phase 2 in Weber County, Utah and that it has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat. I furthermore certify that all lots within this Subdivision hereby meet all current lot width and area requirements of the Weber County Zoning Ordinance.
Signed this _____ day of _____, 2017.

6242920
License No.

Andy Hubbard

All measured bearings or distances or bearings and distances calculated from measurements shall be separately indicated from those of record if not in agreement. WCO 106-1-8(c)(1)(d); UCA 17-23-17(3)(e)



A legend shall be included which clearly identifies the lines, symbols, and other markings used to create the survey map, or plat. WCO 45-3-3(d). Need to change monument to be set to monument found, and include new centerline monuments

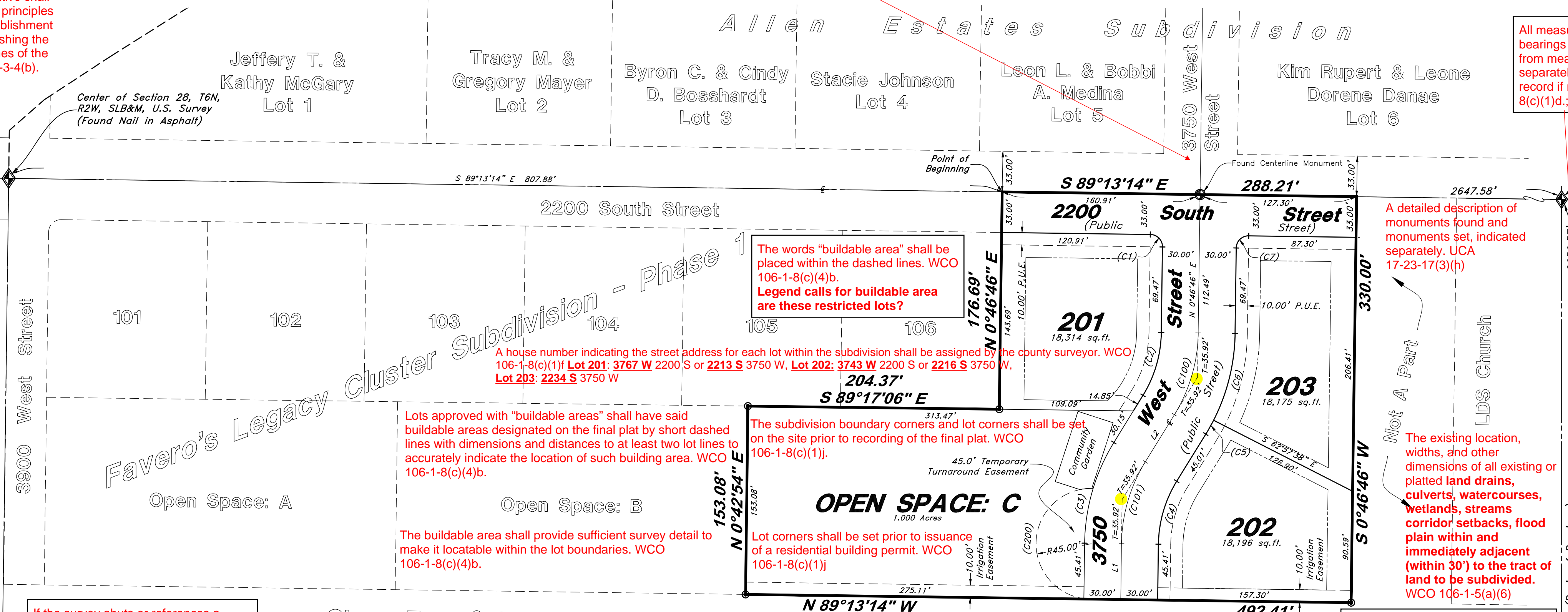
Legend

- ⊕ Monument to be set
- (Rad.) Radial Line
- (N/R) Non-Radial Line
- P.U.E. Public Utility Easement
- P.U.D.E. Public Utility & Drainage Easement
- - - - - Fence
- ▭ Buildable Area
- ⊙ Set Hub & Tack
- ▲ Will be set Nail in Curb
- ⬢ Extension of Property
- ⊙ Set 5/8" x 24" Long Rebar & Cap w/ Lathe

The existing location, widths, and other dimensions of all existing or platted fence lines or other lines of occupation within or immediately adjacent to the tract to be subdivided. WCO 106-1-5(a)(6)

Southeast Corner of the Southeast 1/4 of Section 28, T6N, R2W, SLB&M, U.S. Survey (Found Brass Cap Monument)

Kathleen V. Buck Family Protection Trust



CURVE DATA				
Curve	Delta	Radius	Length	Chord
(C1)	90°00'00"	10.00	15.71	14.14'
(C2)	30°53'40"	100.00	53.92	53.27'
(C3)	30°53'40"	160.00	86.27	85.23'
(C4)	30°53'40"	100.00	53.92	53.27'
(C5)	43°38'05"	160.00	12.94	12.94'
(C6)	26°15'35"	160.00	73.33	72.69'
(C7)	90°00'00"	10.00	15.71	14.14'
(C100)	30°53'40"	130.00	70.10	69.25'
(C101)	30°53'40"	130.00	70.10	69.25'
(C200)	174°02'46"	45.00	136.70	89.88'

LINE DATA		
Line	Bearing	Length
L1	N 0°46'46" E	45.41
L2	N 31°40'27" E	45.01

Southeast Corner of the Southeast 1/4 of Section 28, T6N, R2W, SLB&M, U.S. Survey (Found Brass Cap Monument)

If the survey abuts or references a public or private right of way, subdivision, utility corridor, railroad, canal, river, etc. the survey narrative shall indicate what documentary, parol, and tangible evidence was used and which legal principles of boundary establishment were used to reestablish the location of said features. WCO 45-3-4(a). Street evidence?

Glenn Farr & Inez C. Farr (Trustees)

Plats with lots which include "buildable areas" shall include the following notification on the final plat: "Notice to Purchasers of Lots with Designated Building Areas. Lots with designated "building areas" have been approved subject to the condition that building development shall take place only within such designated areas." WCO 106-1-8(c)(4)(a).

ACKNOWLEDGMENT

All surveyed property corners or endpoints of property lines not already marked on the ground shall be marked pursuant to the Weber County Survey property corner detail sheet prior to the time of filing. WCO 45-3-5(a)

The subdivision boundary corners, lot corners, and centerline street monuments shall be noted on the final plat in conformance with county ordinance. WCO 106-1-8(c)(1)(j)

Permanent street monuments shall be accurately set at points necessary to establish all lines of the street. Centerline monuments shall be noted on the final plat. WCO 106-4-2(g) & WCO 106-1-8(c)(1)(j)

The plat shall have a detailed description of all monuments found and each one shall be referenced on the plat including the type, size, condition, and location in reference to the surface of the ground as well as a description or graphic depiction of the markings, date, agency, entity, or surveyor as inscribed on the monument. WCO 45-3-3(b) Missing on all monuments include centerline monuments

DESCRIPTIONS

A part of the Southeast Quarter of Section 28, Township 6 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah:
Beginning at a point 807.88 feet South 89°13'14" East along the Section Line from the Center of said Section 28; and running thence South 89°13'14" East 288.21 feet; thence South 0°46'46" West 330.00 feet; thence North 89°13'14" West 492.41 feet to the Easterly Line of Favero's Legacy Cluster Subdivision - Phase 1; thence along said Easterly Line the following three (3) courses: (1) North 0°42'54" East 153.08 feet, (2) South 89°17'06" East 204.37 feet and (3) North 0°46'46" East 176.69 feet to the point of beginning.
Contains 126,404 Sq. Ft. or 2.902 Acres

OWNERS DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown on the plat and name said tract Favero's Legacy Cluster Subdivision - Phase 2 and do hereby grant and convey to the subdivision lot (unit) owners association, all those parts or portions of said tract of land designated as Open Space parcels to be used for agricultural, recreational and open space purposes and grant and dedicate to Weber County a perpetual right and easement on and over the Open Space parcels for agriculture preservation easements to guarantee to Weber County that the Open Space parcels remain open and undeveloped except for approved agricultural, recreational, and open space purposes except to be used and maintained by the owner of said parcel(s) for approved agricultural purposes, and also do grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility easements, the same to be used for the maintenance and operation of public utility service line and storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements.

Owner's Dedication Certificate shall include the following Public Streets dedication as applicable: "Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares." WCO 106-7-1

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with lines and monument on record in County Offices. The approval of this plat by the Weber County Surveyor does not relieve the licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.
Signed this _____ day of _____, 2017.

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat, and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.
Signed this _____ day of _____, 2017.

HOOPER WATER IMPROVEMENT DISTRICT

This is to certify that this subdivision plat was duly approved by Hooper Water Improvement District.
Signed this _____ day of _____, 2017.

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission.
Signed this _____ day of _____, 2017.

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements. _____ Date?

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the commissioners of Weber County, Utah.
Signed this _____ day of _____, 2017.

TAYLOR WEST WEBER WATER

This is to certify that this subdivision plat was duly approved by Taylor West Weber Water.
Signed this _____ day of _____, 2017.

The individual or company names and addresses of the applicant of the subdivision. WCO 106-1-5(a)(3) Address of the applicant

A signature block for County Engineer conforming to state code and county ordinance. Weber County Engineer: I hereby certify that the required public improvements standards and drawings for this subdivision conform with County Standards and the amount of the financial guarantee is sufficient for the installation of these improvements. Signed this ___ day of _____, 20__.

Signature WCO 106-1-8(c)(1)h.6; WCO 106-8-1(3) Needs to read verbatim, an date signed

A signature block for Board of County Commissioner's conforming to state code and county ordinance.

Weber County Commission acceptance: This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this ___ day of _____, 20__.

Chairman, Weber County Commission Attest: WCO 106-1-8(c)(1)h.8; WCO 106-1-8(c)(1)h.9; WCO 106-8-1(5) Missing "Attest" and "Title" Lines

Signed this _____ Day of _____, 2017.

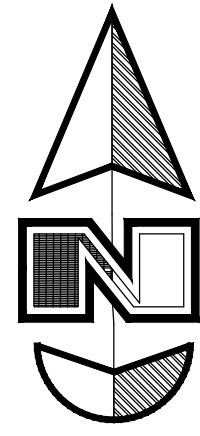
Robert L. Favero - Owner Roger K. Favero - Owner

Giovanni D. Favero - Owner

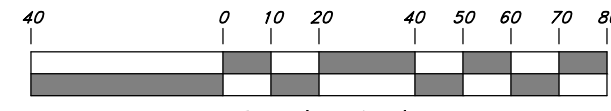


TENTATIVE FINAL

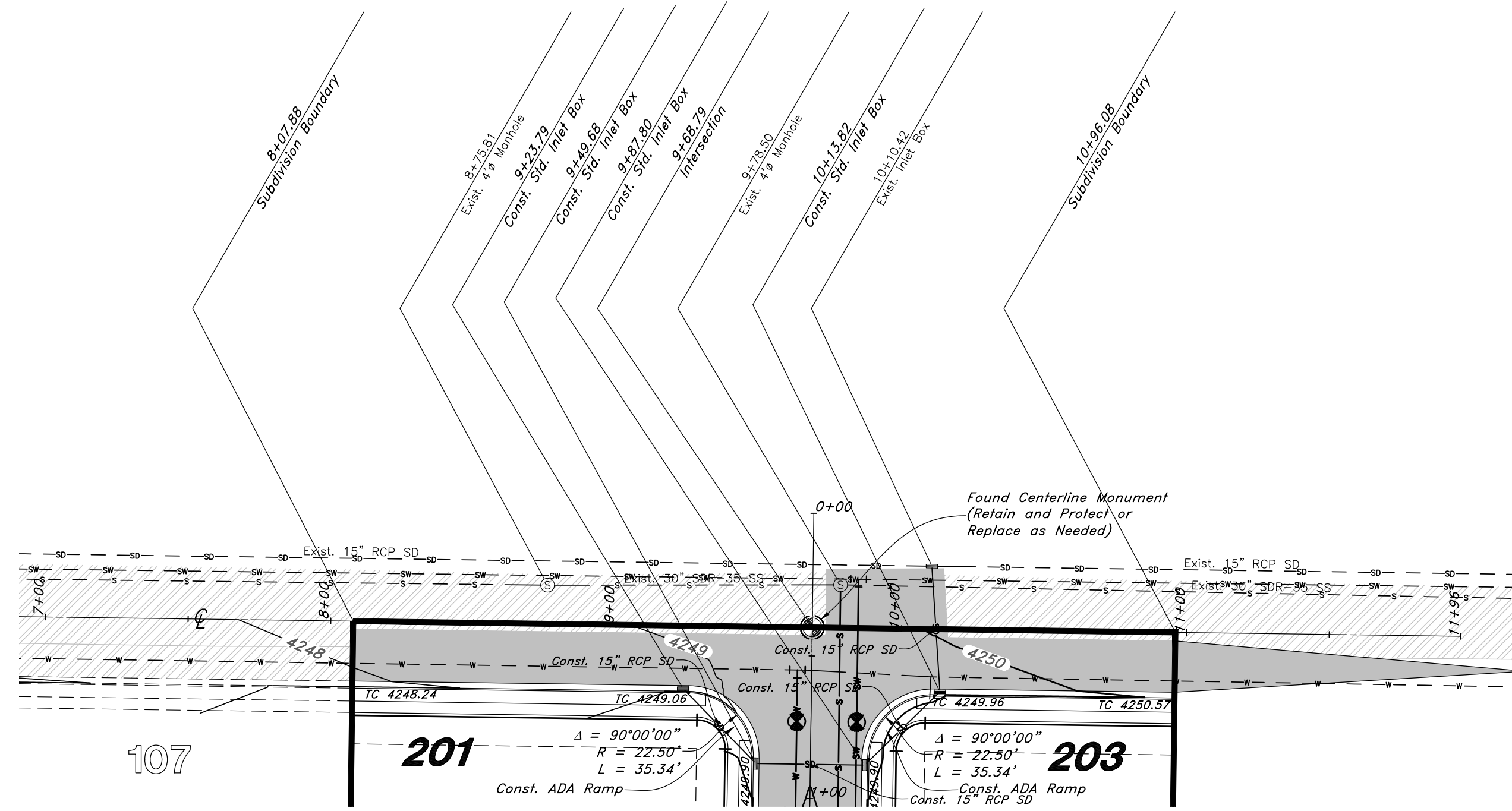
WEBER COUNTY RECORDER	
ENTRY NO. _____	FEE PAID _____
RECORDED _____	FILED FOR RECORD AND _____
IN BOOK _____	OF OFFICIAL _____
RECORDS, PAGE _____	RECORDED FOR _____
WEBER COUNTY RECORDER	
BY: _____	DEPUTY _____



Horz. Scale: 1"=40'
Vert. Scale: 1"=4'

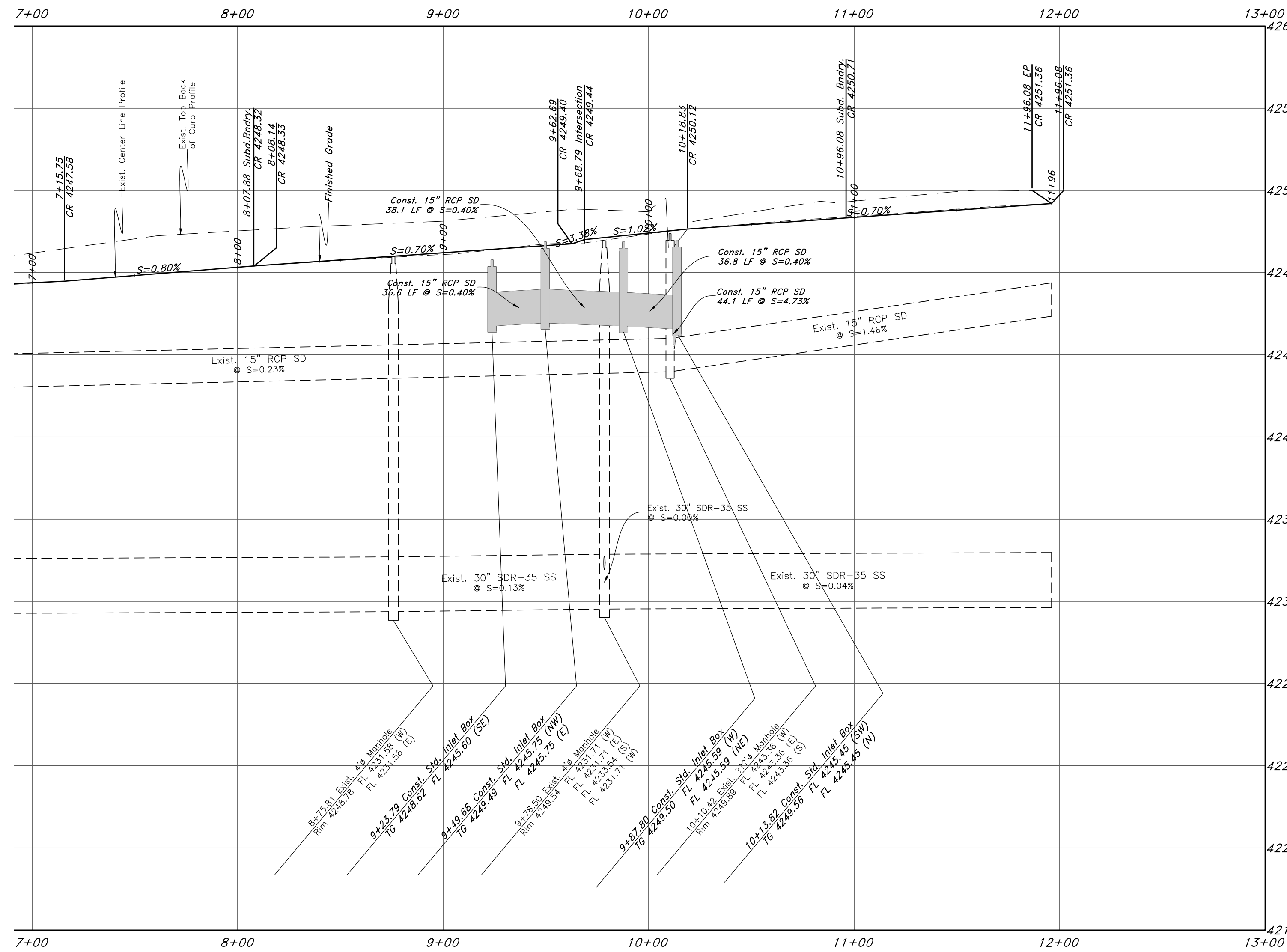


Graphic Scale



See Sheet 2

2200 South Street



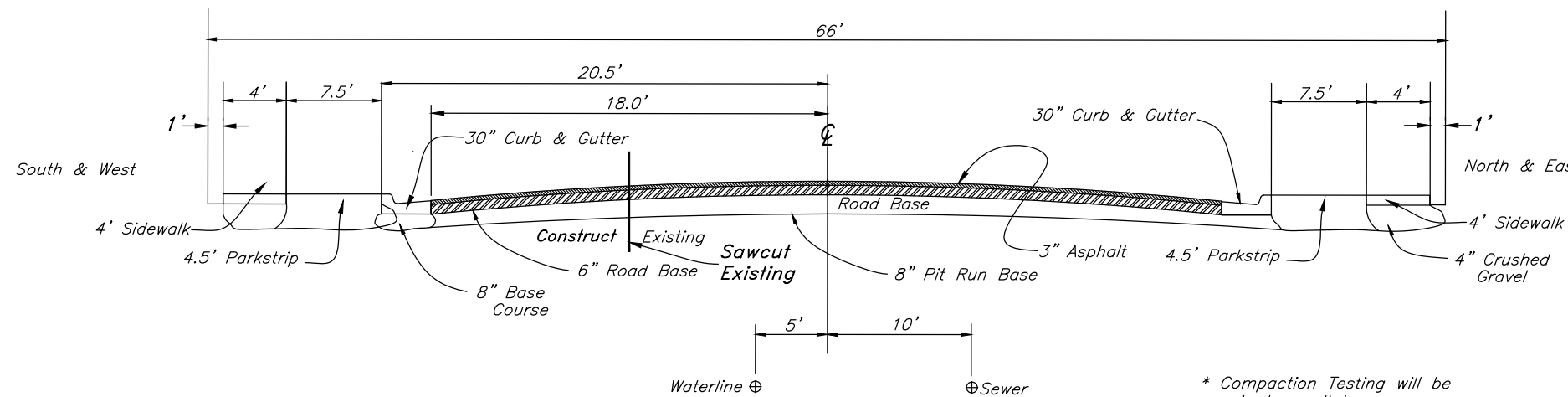
NOTES

- All construction shall conform to Weber County standards and specifications.
- All construction on the Irrigation Line shall meet or exceed Davis & Weber Canal Company Standards and Specifications.
- Underground utility piping materials will meet or exceed West Point City Standards.
- Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
- 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
- 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
- Saw Cut Existing Asphalt to provide a smooth clean edge.
- All utility trenches within the Street right of way shall have a City approved imported granular backfill.
- Thrust block all water line fittings.
- All inlet grates shall be bicycle safe.
- All fire hydrants and access roads shall be installed before prior to any construction of any buildings.
- All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
- Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.

Legend

(Note: All items may not appear on drawing)

San. Sewer Manhole		Flowline	FL
Water Manhole		Finish Floor	FF
Storm Drain Manhole		Top of Curb	TC
Cleanout		Top of Wall	TW
Electrical Manhole		Top of Walk	TW
Catch Basins		Top of Concrete	TCN
Fire Hydrant		Natural Ground	NG
Exist. Fire Hydrant		Finish Grade	FG
Exist. Water Valve		Match Existing	ME
Water Valve		Fire Department Connection	FDC
Sanitary Sewer		Finish Contour	FC
Culinary Water		Exist. Contour	EC
Irrigation Line		Exist. Grade	EG
Storm Drain		Ridge Line	R
Telephone Line		Existing Asphalt	
Secondary Waterline		New Asphalt	
Fire Line		Heavy Duty Asphalt	
Land Drain		Existing Concrete	
Power pole w/guy		New Concrete	
Light Pole		Spill Curb & Gutter	
Fence		Demo Tree	
Overhead Power line			
Corrugated Metal Pipe			
Concrete Pipe			
Reinforced Concrete Pipe			
Ductile Iron			
Polyvinyl Chloride			
Top of Asphalt			
Edge of Asphalt			
Centerline			



STANDARD ROADWAY SECTION
NOT TO SCALE

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

GENERAL UTILITY NOTES:

- Coordinate all utility connections to building plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
- Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES

- Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
- 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

NATURAL GAS SERVICE LATERALS (QUESTAR)

- PLASTIC PIPING MATERIAL: All plastic pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).
- Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
- Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
- Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grills, etc.) shall be installed a minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.

GREAT BASIN ENGINEERING
5746 SOUTH 1475 EAST, OGDEN, UTAH 84403
PHONE: 435-772-1622 FAX: 435-772-1623
WWW.GREATBASINENGINEERING.COM

Plan and Profile
Favero's Legacy Cluster Subdivision - Phase 2
2200 South 3500 West
Weber County, Utah
A part of Section 28, T6N, R2W, S16&M, U.S. Survey

27 July, 2016

SHEET NO.

1

02N302

TENTATIVE FINAL

Call before you Dig
Avoid cutting underground utility lines. It's costly.



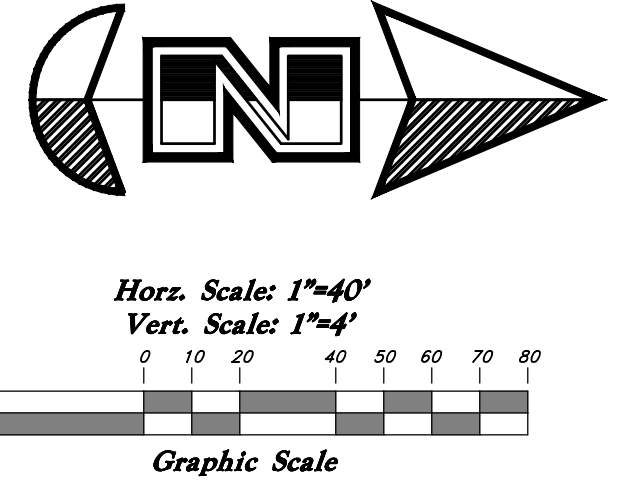
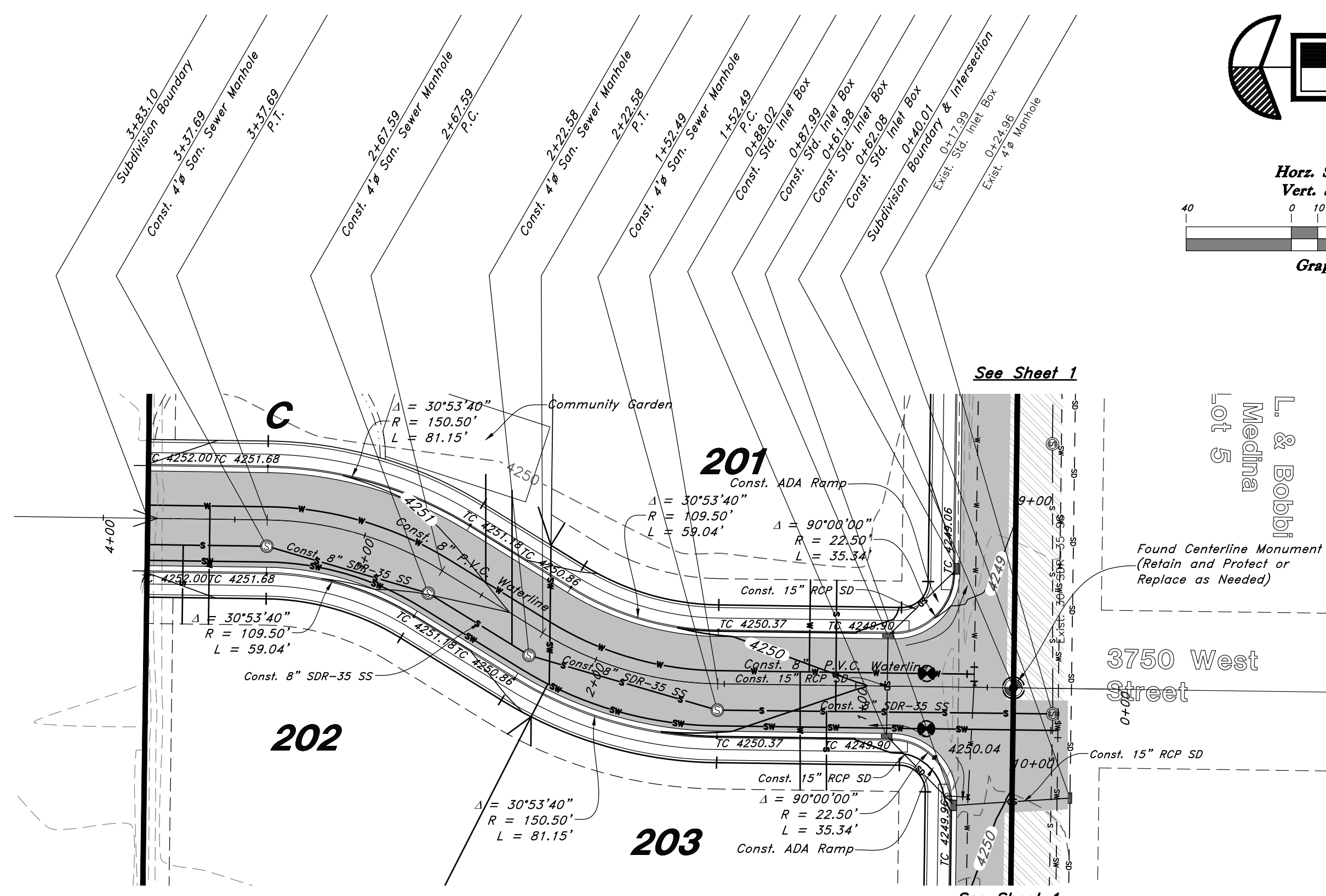
1-800-862-4111

Legend

(Note: All items may not appear on drawing)

San. Sewer Manhole	Water Manhole	Storm Drain Manhole	Cleanout	Electrical Manhole	Catch Basins	Exist. Fire Hydrant	Fire Hydrant	Exist. Water Valve	Water Valve	Sanitary Sewer	Culinary Water	Gas Line	Irrigation Line	Storm Drain	Telephone Line	Secondary Waterline	Fire Line	Land Drain	Power pole	Power pole w/guy	Fence	Flowline of ditch	Overhead Power Line	Corrugated Metal Pipe	Concrete Pipe	Reinforced Concrete Pipe	Ductile Iron	Polyvinyl Chloride	Top of Asphalt	Edge of Asphalt	Centerline
⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	—S—	—W—	—G—	—I—	—SD—	—T—	—SW—	—F—	—LD—	⊙	⊙	—X—	—D—	—UHP—	—CMP—	—CP—	—RCP—	—DI—	—PVC—	—TA—	—CA—	—CL—

Flowline	Finish Floor	Top of Curb	Top of Wall	Top of Walk	Top of Concrete	Natural Ground	Finish Grade	Match Existing	Fire Department Connection	ME	95.3574	95.274	R
FL	FF	TC	TW	TW	TW	NG	FG	ME	FDC	ME	95.3574	95.274	R



3750 West Street

CAUTION NOTICE TO CONTRACTOR
 The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

- NOTES**
- All construction shall conform to Weber County standards and specifications.
 - All Construction on the Irrigation Line shall meet or exceed Davis & Weber Canal Company Standards and Specifications.
 - Underground utility piping materials will meet or exceed West Point City Standards.
 - Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
 - 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
 - 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
 - Saw Cut Existing Asphalt to provide a smooth clean edge.
 - All Utility trenches within the Street right of way shall have a City approved imported granular backfill.
 - Thrust block all water line fittings.
 - All inlet grates shall be bicycle safe.
 - All fire hydrants and access roads shall be installed before prior to any construction of any buildings.
 - All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
 - Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.

- GENERAL UTILITY NOTES:**
- Coordinate all utility connections to building with plumbing plans and building contractor.
 - Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - All catch basin and inlet box grates are to be bicycle proof.
 - All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 - Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
 - Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spoils to proper grade.
 - Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
 - All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:
 All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS
 1. 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
 2. Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES
 1. Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES
 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

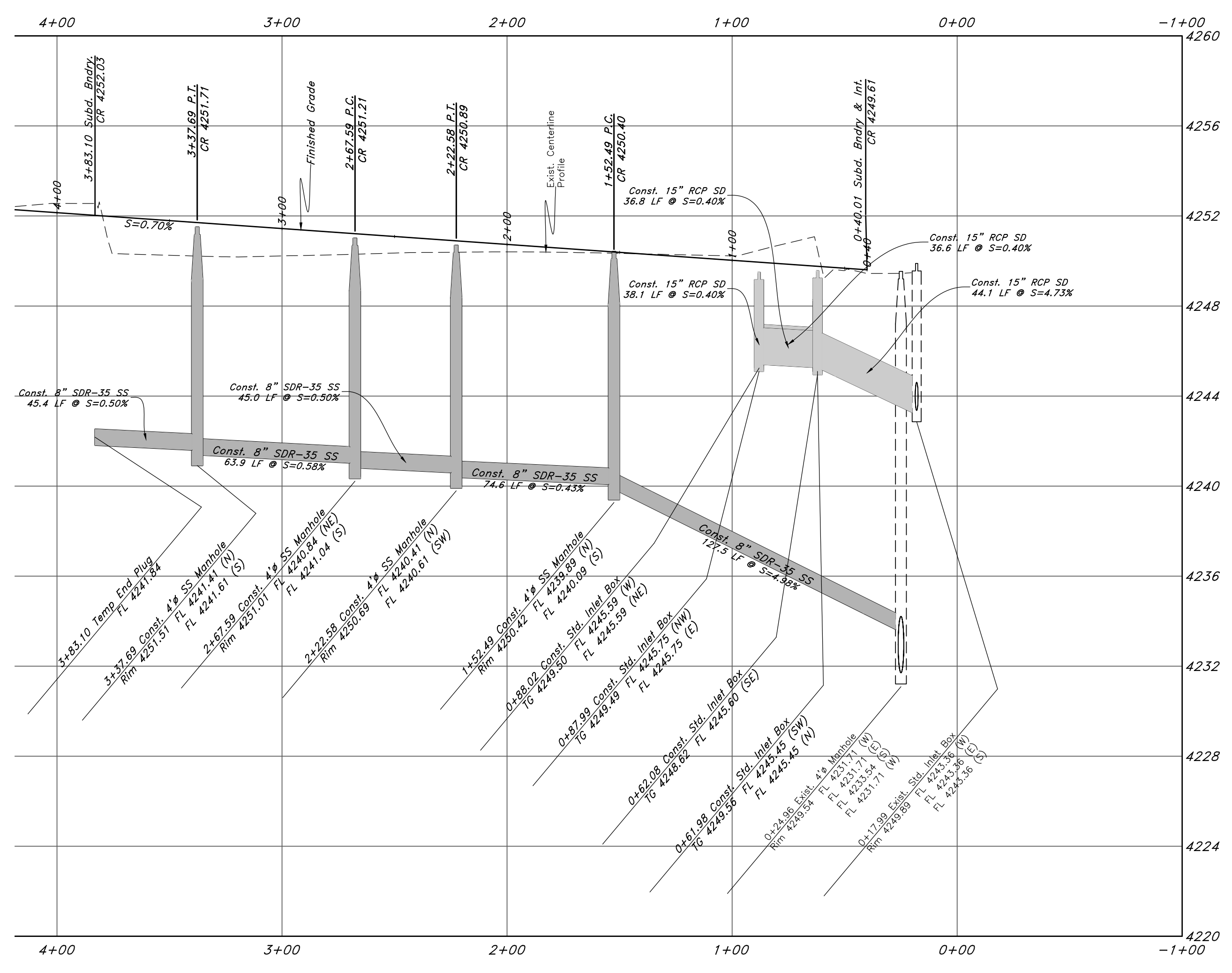
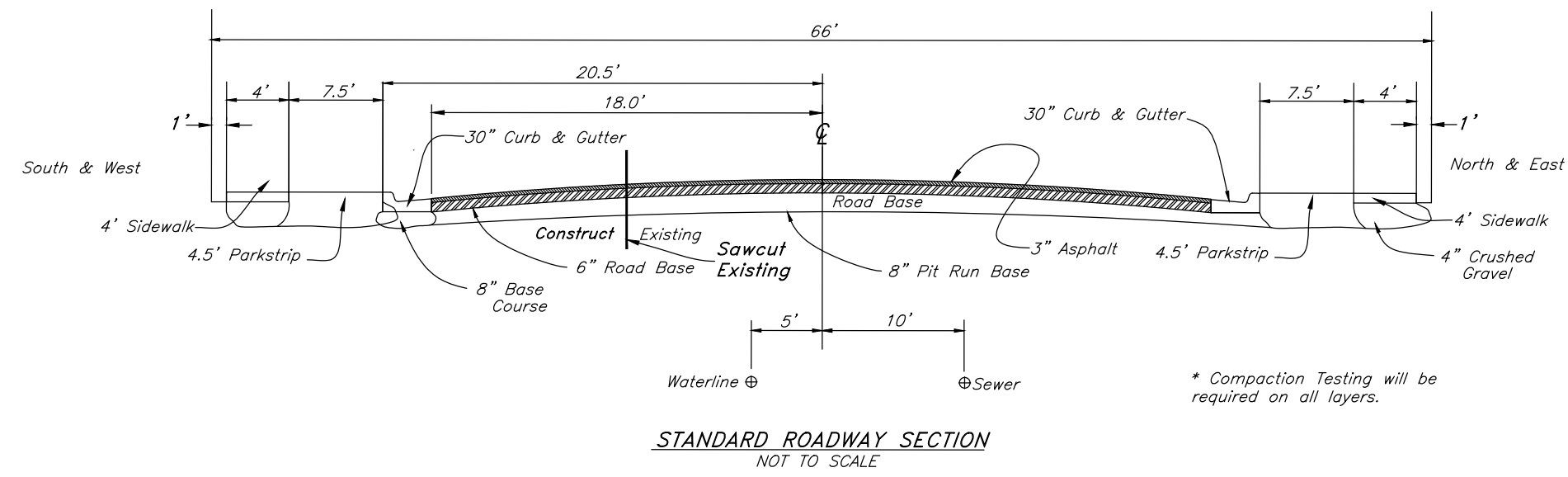
STORM DRAIN LINES
 1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 2. 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
 3. 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

NATURAL GAS SERVICE LATERALS (QUESTAR)
 1. PLASTIC PIPING MATERIAL: Plastic polyethylene pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).

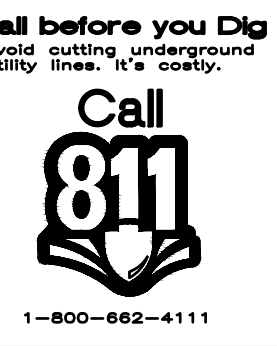
2. Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.

3. Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heel fusion.

4. Plastic pipe used underground for customer fuel lines shall be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grilles, etc.) shall be installed a minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.



TENTATIVE FINAL

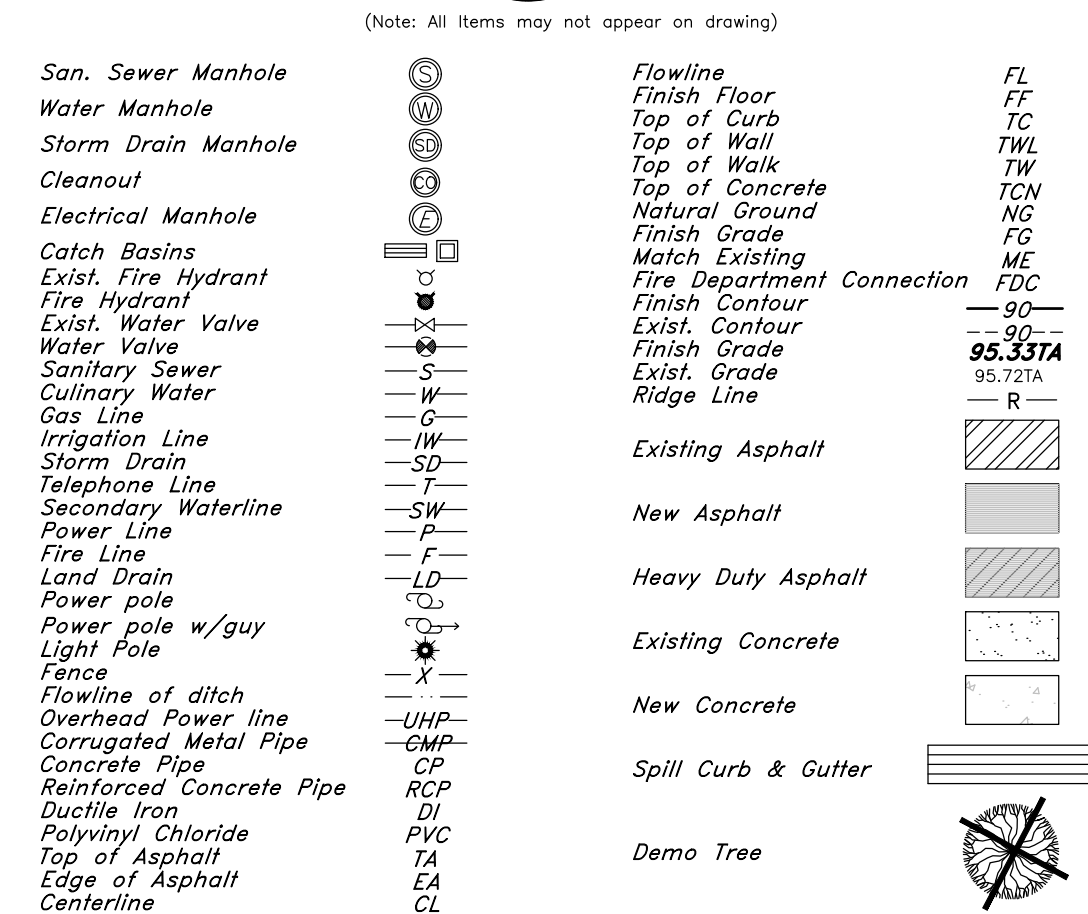


GREAT BASIN ENGINEERING
 5746 SOUTH 1475 EAST, SUITE 200, DENVER, CO 80232
 WWW.GREATBASINENGINEERING.COM
Favero's Legacy Cluster Subdivision - Phase 2
 2200 South 3500 West
 Weber County, Utah
 A part of Section 28, T6N, R2W, SLB&M, U.S. Survey
 DATE: _____
 REV: _____
 SHEET NO. **2**
 02N302

NOTES

- 1. All construction shall conform to Weber County standards and specifications.
2. All construction on the Irrigation Line shall meet or exceed Davis & Weber Canal Company Standards and Specifications.
3. Underground utility piping materials will meet or exceed West Point City Standards.
4. Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
5. 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
6. 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
7. All inlet grates shall be bicycle safe.
8. All fire hydrants and access roads shall be installed before prior to any construction of any buildings.
9. All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
10. Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project.

Legend



GENERAL UTILITY NOTES:

- 1. Coordinate all utility connections to building with plumbing plans and building contractor.
2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
3. All catch basin and inlet box grates are to be bicycle proof.
4. All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
10. All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

- 1. 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
2. Over 2" diameter pipe - ANWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES

- 1. Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES

- 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
3. 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

NATURAL GAS SERVICE LATERALS (QUESTAR)

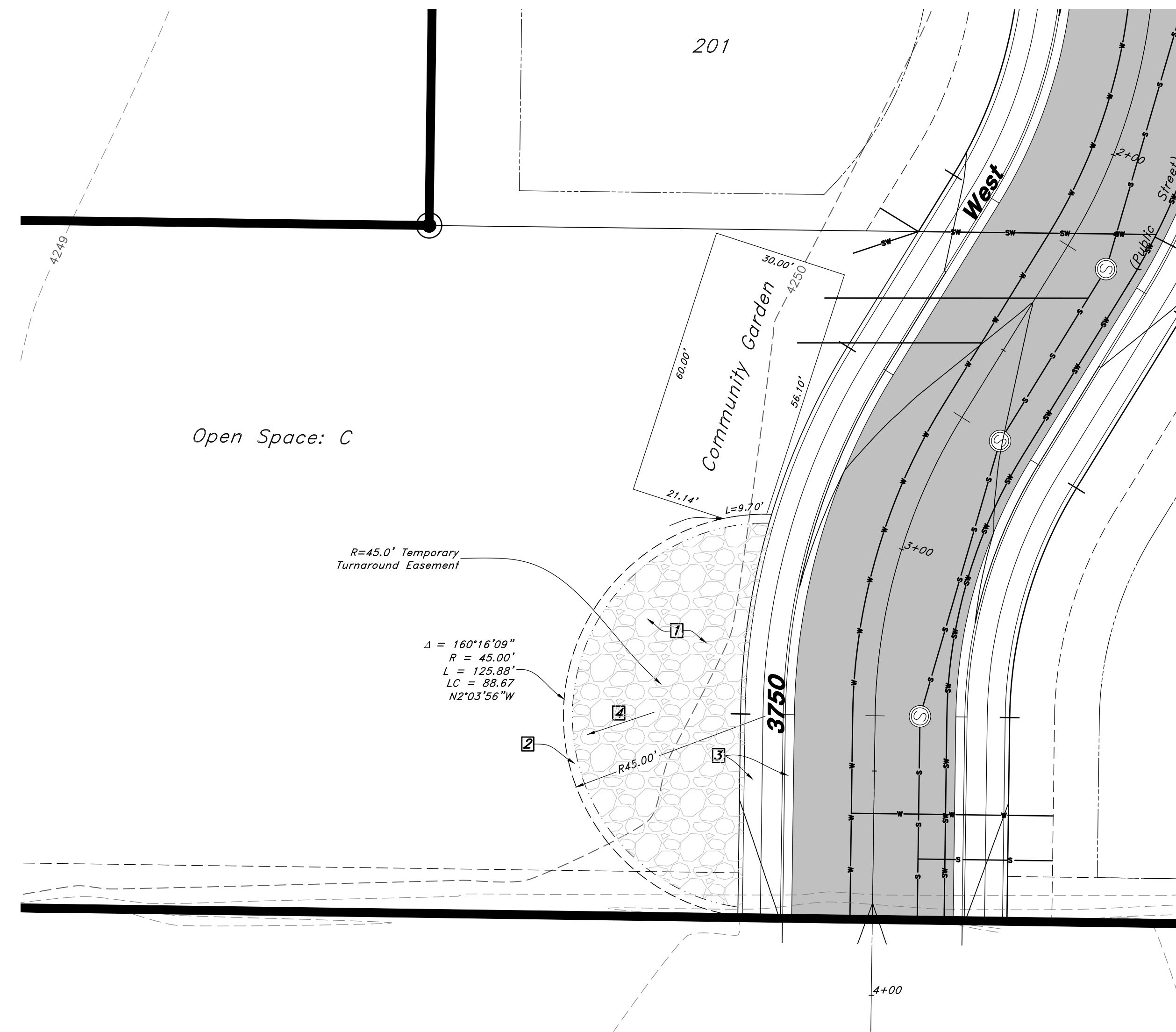
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CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

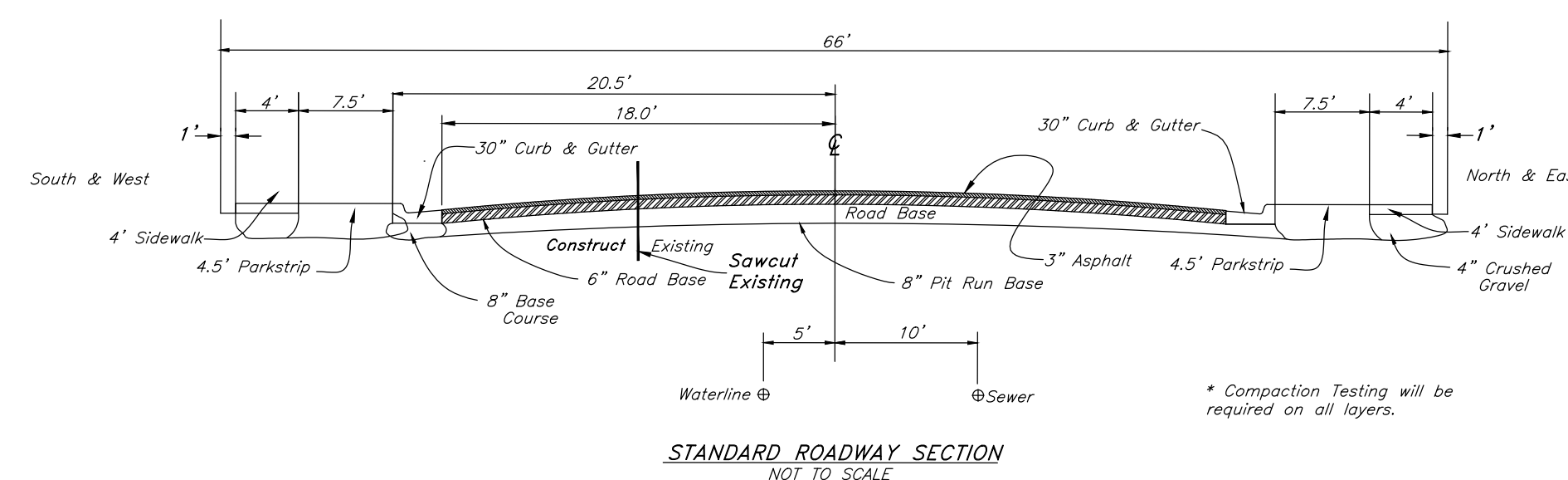
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



TEMPORARY TURNAROUND NOTES

- 1. Construct Temporary Turning Area with 8" Depth of Road Base Gravel.
2. Drainage Ditch (Direction of Drainage to be approved by the County Engineer.
3. Construct Sidewalk & Curb and Gutter after Temporary Turnaround has been eliminated with the Extension of 3750 West Street.
4. Slope of Temporary Turnaround Easement to drain at a minimum of 2.0%.



TENTATIVE FINAL



Community Garden Exhibit
Favero's Legacy Cluster Subdivision - Phase 2
2200 South 3500 West
Weber County, Utah
A part of Section 28, T6N, R2W, S18&M, U.S. Survey

27 July, 2016
SHEET NO. 3

Table with columns for REV, DATE, and DESCRIPTION.