

Favero's Legacy Cluster Subdivision - Phase 2

A part of Section 28, T6N, R2W, SLB&M, U.S. Survey
Weber County, Utah
April 2017



VICINITY MAP
(Not to Scale)

NARRATIVE

This Subdivision Plat was requested by Mr. Bob Favero for the purpose of creating three (3) residential Lots and one (1) Open Space Parcel.

Brass Cap Monuments were found at the East 1/4 corner and the Southeast corner of Section 28, T6N, R2W, SLB&M.

A line bearing South 0°36'20" West between these two monuments was used as the basis of bearings.

Property corners will be set as depicted on this plat once the construction is complete.

If Curb and Gutter is installed, "Rivets will be set in the Top Back of Curb on the extension of the Property Line.

If Curb and Gutter is deferred, the front Property Corners will be required to have Rebar and Cap set.

CURVE DATA				
Curve	Delta	Radius	Length	Chord Bearing
(C1)	90°00'00"	10.00	15.71	S 44°13'14" E
(C2)	30°53'40"	100.00	53.92	S 16°13'37" W
(C3)	30°53'40"	160.00	86.27	S 16°13'37" W
(C4)	30°53'40"	100.00	53.92	S 16°13'37" W
(C5)	4°38'05"	160.00	12.94	S 29°21'24" W
(C6)	26°15'35"	160.00	73.33	S 13°54'34" W
(C7)	90°00'00"	10.00	15.71	S 45°46'46" W
(C100)	30°53'40"	130.00	70.10	N 16°13'37" E
(C101)	30°53'40"	130.00	70.10	N 16°13'37" E
(C200)	174°02'46"	45.00	136.70	S 4°49'23" W

LINE DATA		
Line	Bearing	Length
L1	N 0°46'46" E	45.41
L2	N 31°40'27" E	45.01

Southeast Corner of the Southeast 1/4 of Section 28, T6N, R2W, SLB&M, U.S. Survey (Found Brass Cap Monument)

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with lines and monument on record in County Offices. The approval of this plat by the Weber County Surveyor does not relieve the licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.

Signed this _____ day of _____, 2017.

Weber County Surveyor

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat, and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.

Signed this _____ day of _____, 2017.

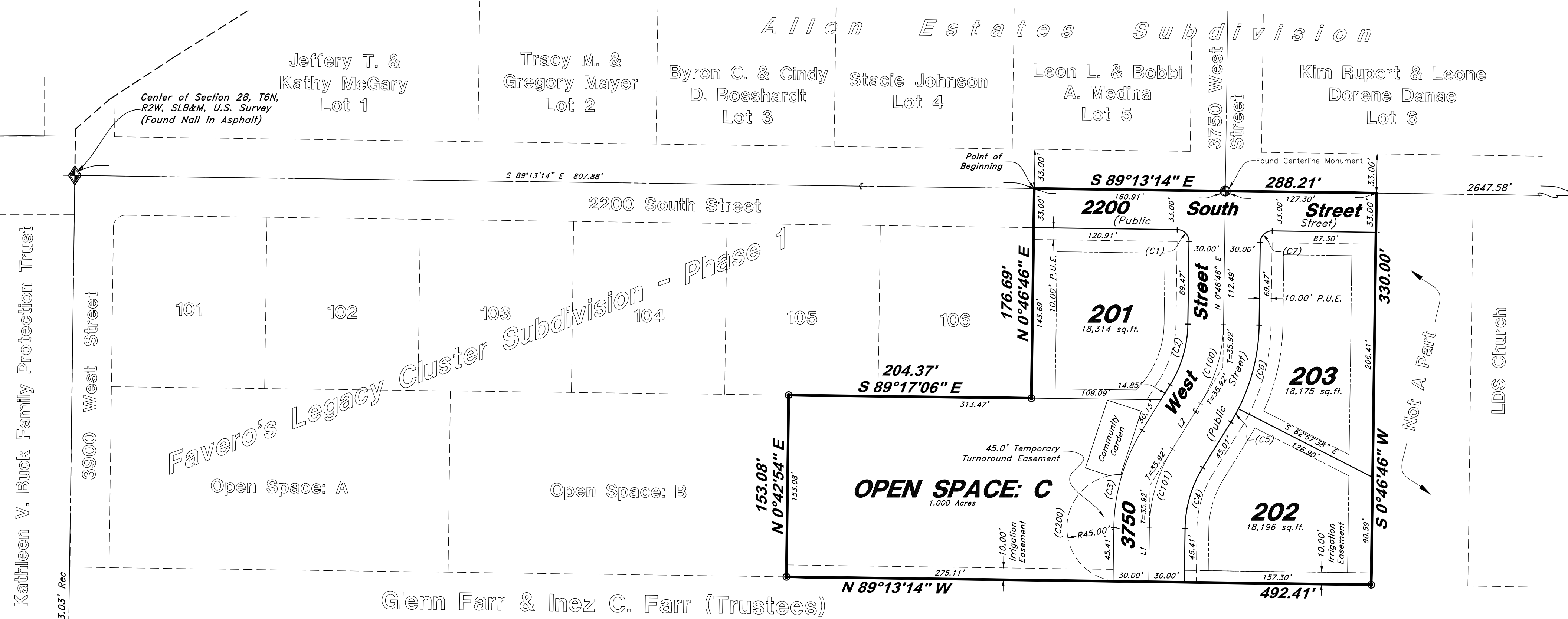
Weber County Attorney

HOOVER WATER IMPROVEMENT DISTRICT

This is to certify that this subdivision plat was duly approved by Hoover Water Improvement District.

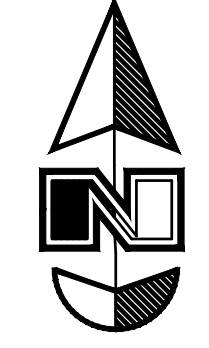
Signed this _____ day of _____, 2017.

Hoover Water Improvement District



SURVEYOR'S CERTIFICATE
I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described herein in accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Favero's Legacy Cluster Subdivision - Phase 2 in Weber County, Utah and that it has been correctly drawn to the designated scale and to a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat. I furthermore certify that all lots within this Subdivision hereby meet all current lot width and area requirements of the Weber County Zoning Ordinance.
Signed this _____ day of _____, 2017.

6242920 License No. Andy Hubbard



East Quarter Corner of the Southeast 1/4 of Section 28, T6N, R2W, SLB&M, U.S. Survey (Found Brass Cap Monument)

Scale: 1" = 60'
Graphic Scale

Legend

- ⊕ Monument to be set (Rad.) Radial Line (N/R) Non-Radial Line
- P.U.E. Public Utility Easement
- P.U.&D.E. Public Utility & Drainage Easement
- - - - - Fence
- Buildable Area
- Set Hub & Tack
- ▲ A will be set Nail in Curb
- ⊙ Extension of Property
- ⊕ Set 5/8" x 24" Long Rebar & Cap w/ Lathe

Southeast Corner of the Southeast 1/4 of Section 28, T6N, R2W, SLB&M, U.S. Survey (Found Brass Cap Monument)

DESCRIPTIONS

A part of the Southeast Quarter of Section 28, Township 6 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah:

Beginning at a point 807.88 feet South 89°13'14" East along the Section Line from the Center of said Section 28; and running thence South 89°13'14" East 288.21 feet; thence South 0°46'46" West 330.00 feet; thence North 89°13'14" West 492.41 feet to the Easterly Line of Favero's Legacy Cluster Subdivision - Phase 1; thence along said Easterly Line the following three (3) courses: (1) North 0°42'54" East 153.08 feet, (2) South 89°17'06" East 204.37 feet and (3) North 0°46'46" East 176.69 feet to the point of beginning.

Contains 126,404 Sq. Ft. or 2.902 Acres

ACKNOWLEDGMENT

State of Utah } ss
County of _____ }
The foregoing instrument was acknowledged before me this _____ day of _____, 2016 by Robert L. Favero, Roger K. Favero and Giovanni D. Favero.
Residing At: _____ A Notary Public commissioned in Utah
Commission Number: _____
Commission Expires: _____

Print Name

OWNERS DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown on the plat and name said tract Favero's Legacy Cluster Subdivision - Phase 2 and do hereby grant and convey to the subdivision lot (unit) owners association, all those parts or portions of said tract of land designated as Open Space parcels to be used for agricultural, recreational and open space purposes and grant and dedicate to Weber County a perpetual right and easement on and over the Open Space parcels for agriculture preservation easements to guarantee to Weber County that the Open Space parcels remain open and undeveloped except for approved agricultural, recreational, and open space purposes except to be used and maintained by the owner of said parcel(s) for approved agricultural purposes, and also do grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility easements, the same to be used for the maintenance and operation of public utility service line and storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements.

Signed this _____ Day of _____, 2017.

Robert L. Favero - Owner

Roger K. Favero - Owner

Giovanni D. Favero - Owner

Giovanni D. Favero - Owner

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission.
Signed this _____ day of _____, 2017.

Chairman, Weber County Planning Commission

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.

Weber County Engineer

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the commissioners of Weber County, Utah.
Signed this _____ day of _____, 2017.

Chairman, Weber County Commission

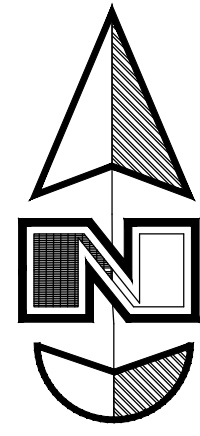
TAYLOR WEST WEBER WATER

This is to certify that this subdivision plat was duly approved by Taylor West Weber Water.
Signed this _____ day of _____, 2017.

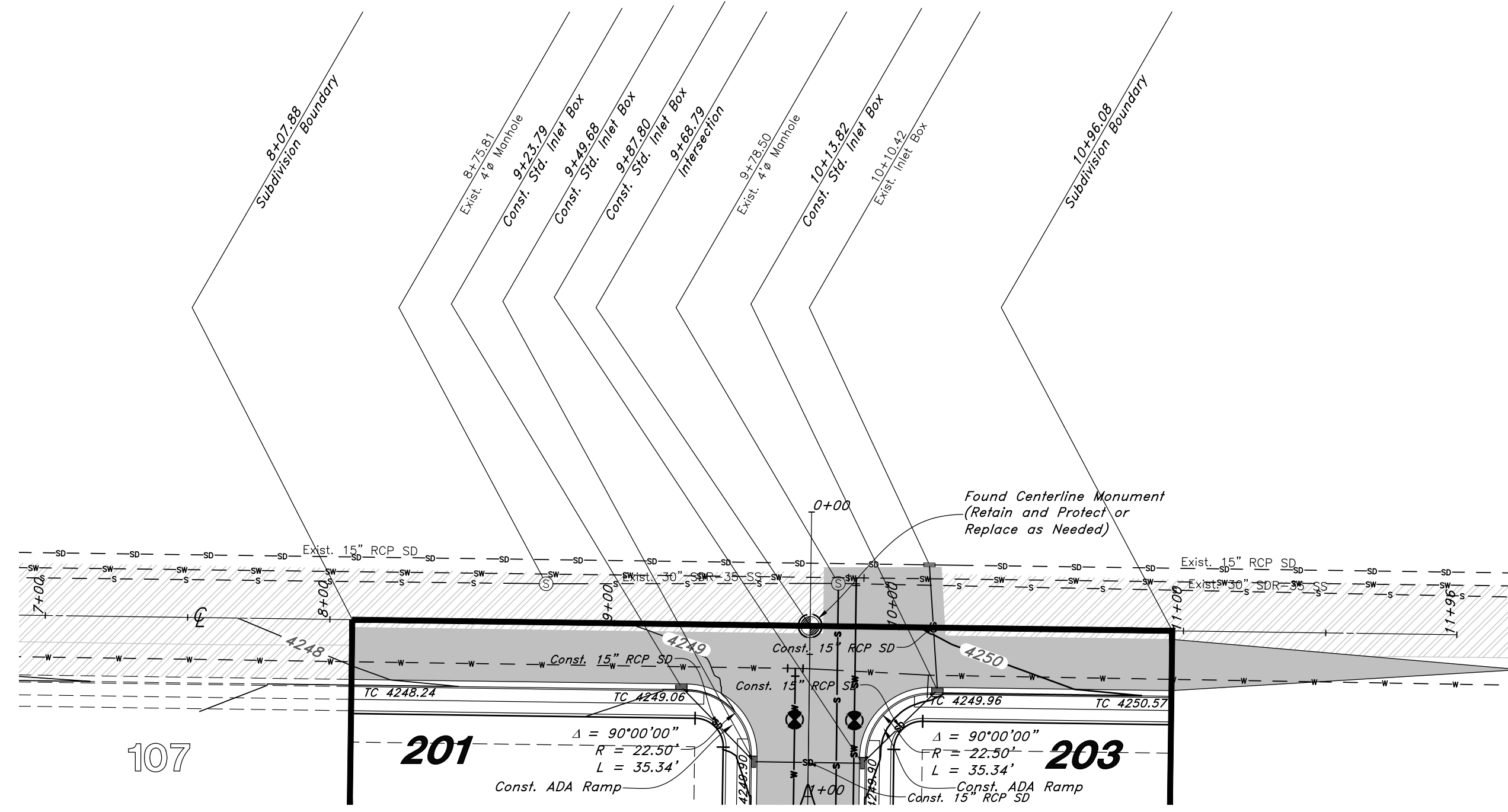
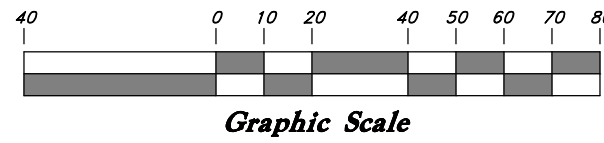
Taylor West Weber Water

TENTATIVE FINAL

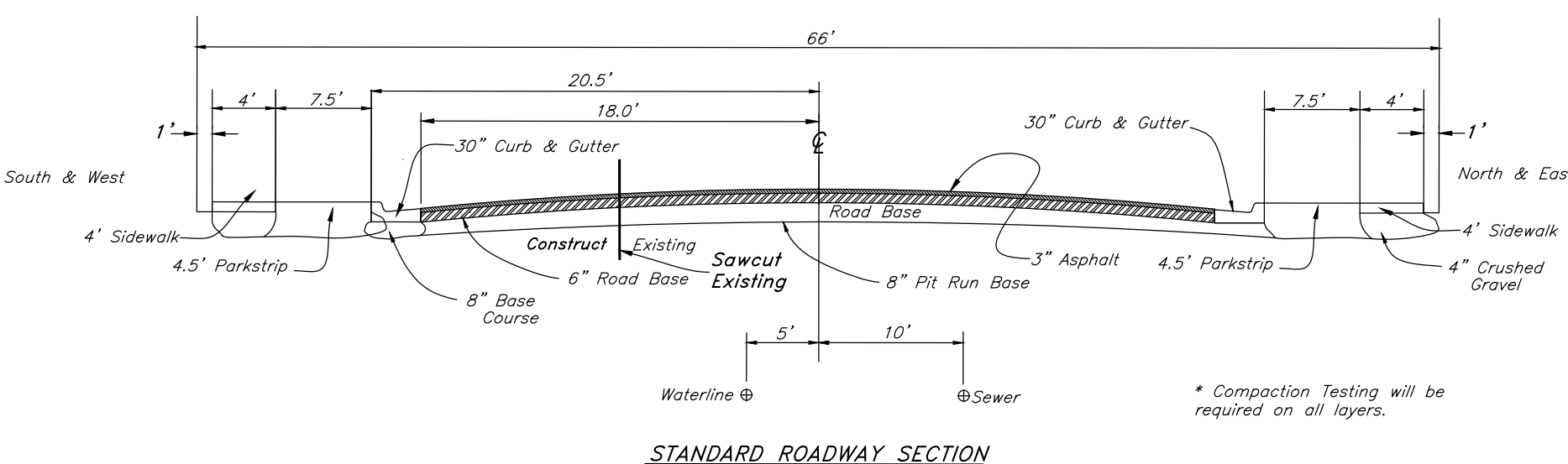
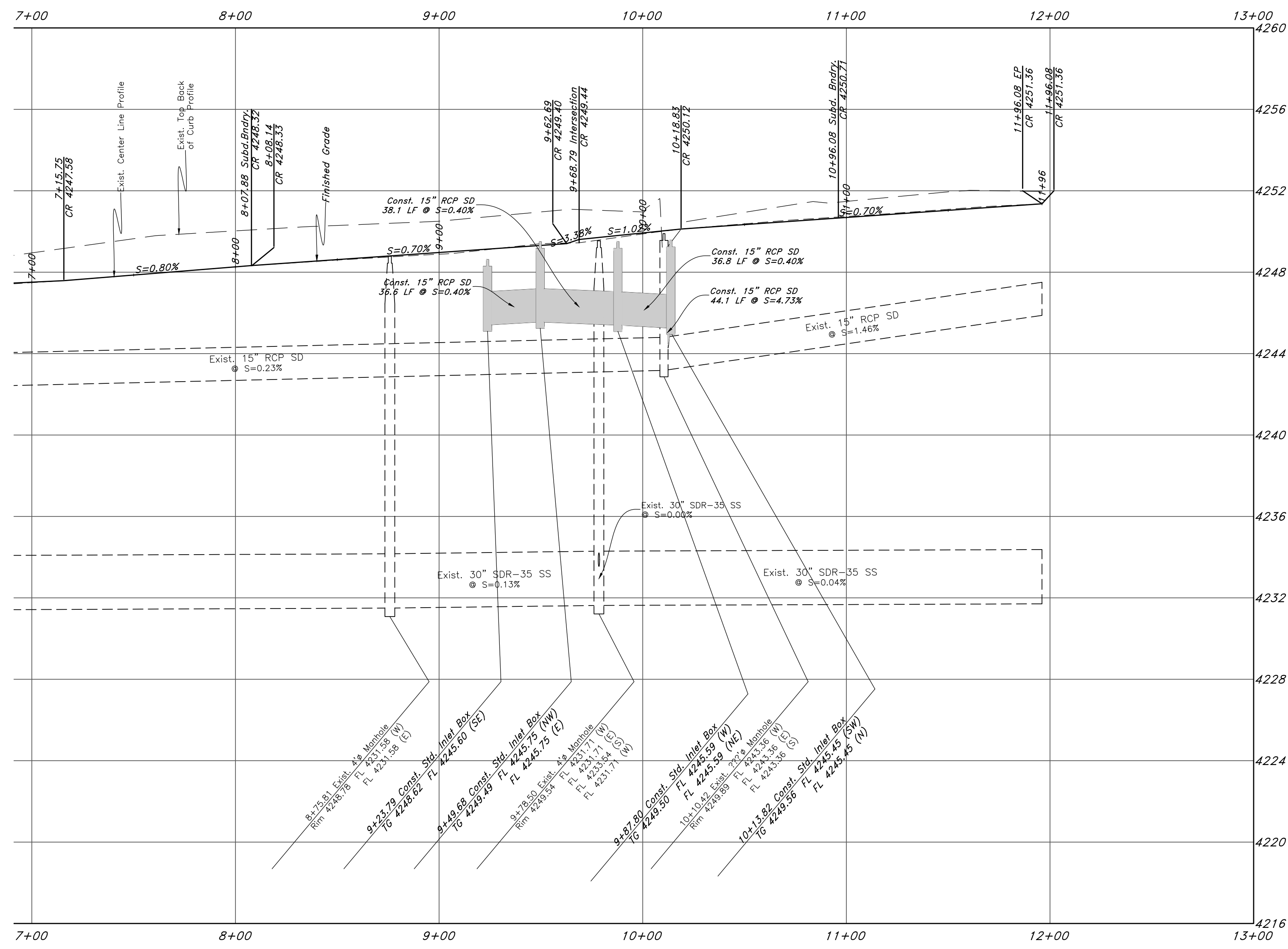
WEBER COUNTY RECORDER	
ENTRY NO. _____	FEE PAID _____
RECORDED _____	FILED FOR RECORD AND _____
_____	AT _____
_____	IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____	RECORDED FOR _____
WEBER COUNTY RECORDER	
BY: _____	DEPUTY _____



Horz. Scale: 1"=40'
Vert. Scale: 1"=4'



2200 South Street



CAUTION NOTICE TO CONTRACTOR
The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

- GENERAL UTILITY NOTES:**
- Coordinate all utility connections to building plumbing plans and building contractor.
 - Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - All catch basin and inlet box grates are to be bicycle proof.
 - All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 - Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
 - Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
 - Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
 - All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:
All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

- CULINARY SERVICE LATERALS**
- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
 - Over 2" diameter pipe - AWWA C-900 Class 150 pipe

- WATER MAIN LINES AND FIRE LINES**
- Pipe material as shown on utility plan view or to meet city standards.

- SANITARY SEWER LINES**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

- STORM DRAIN LINES**
- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
 - 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

- NATURAL GAS SERVICE LATERALS (QUESTAR)**
- PLASTIC PIPING MATERIAL: All plastic pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).
 - Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
 - Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
 - Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grills, etc.) shall be installed a minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.

- NOTES**
- All construction shall conform to Weber County standards and specifications.
 - All construction on the Irrigation Line shall meet or exceed Davis & Weber Canal Company Standards and Specifications.
 - Underground utility piping materials will meet or exceed West Point City Standards.
 - Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
 - 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
 - 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
 - Saw Cut Existing Asphalt to provide a smooth clean edge.
 - All utility trenches within the Street right of way shall have a City approved imported granular backfill.
 - Thrust block all water line fittings.
 - All inlet grates shall be bicycle safe.
 - All fire hydrants and access roads shall be installed before prior to any construction of any buildings.
 - All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
 - Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.

Legend

(Note: All items may not appear on drawing)

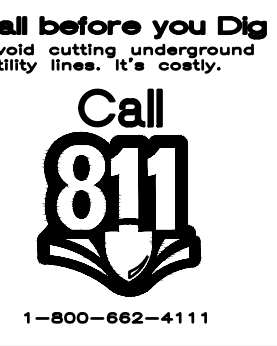
San. Sewer Manhole	⊙	Flowline	FL
Water Manhole	⊙	Finish Floor	FF
Storm Drain Manhole	⊙	Top of Curb	TC
Cleanout	⊙	Top of Wall	TW
Electrical Manhole	⊙	Top of Walk	TW
Catch Basins	⊙	Top of Concrete	TCN
Exist. Fire Hydrant	⊙	Natural Ground	NG
Exist. Water Valve	⊙	Finish Grade	FG
Water Valve	⊙	Match Existing	ME
Sanitary Sewer	—S—	Fire Department Connection	FDC
Culinary Water	—C—	Finish Contour	FC
Irrigation Line	—I—	Exist. Contour	EC
Storm Drain	—SD—	Exist. Grade	EG
Telephone Line	—T—	Exist. Grade	EG
Secondary Waterline	—SW—	Ridge Line	R
Fire Line	—F—	Existing Asphalt	⊘
Land Drain	—LD—	New Asphalt	▨
Power pole w/guy	⊙	Heavy Duty Asphalt	▨
Light Pole	⊙	Existing Concrete	⊘
Fence	—X—	New Concrete	⊘
Overhead Power line	—OHP—	Spill Curb & Gutter	⊘
Corrugated Metal Pipe	—CMP—	Demo Tree	⊙
Concrete Pipe	—CP—		
Reinforced Concrete Pipe	—RCP—		
Ductile Iron	—DI—		
Polyvinyl Chloride	—PVC—		
Top of Asphalt	—TA—		
Edge of Asphalt	—EA—		
Centerline	—CL—		

GREAT BASIN ENGINEERING
5746 SOUTH 1475 EAST, OGDEN, UTAH 84403
PHONE: 469-3315 FAX: 469-3322
WWW.GREATBASINENGINEERING.COM

Plan and Profile
Favero's Legacy Cluster Subdivision - Phase 2
2200 South 3500 West
Weber County, Utah
A part of Section 28, T6N, R2W, S16&M, U.S. Survey

27 July, 2016
SHEET NO. 1
02N302

TENTATIVE FINAL

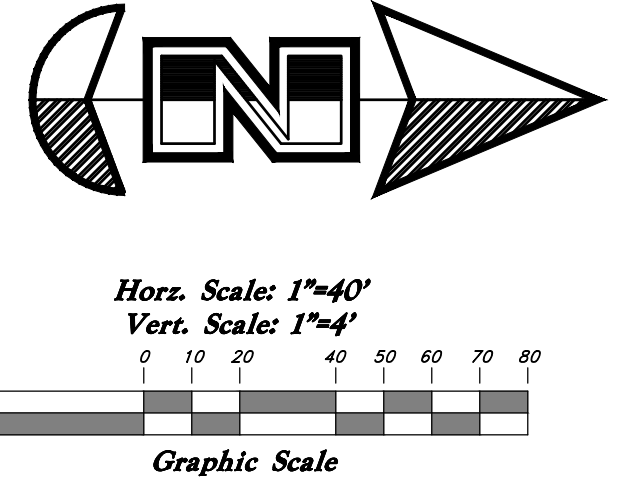
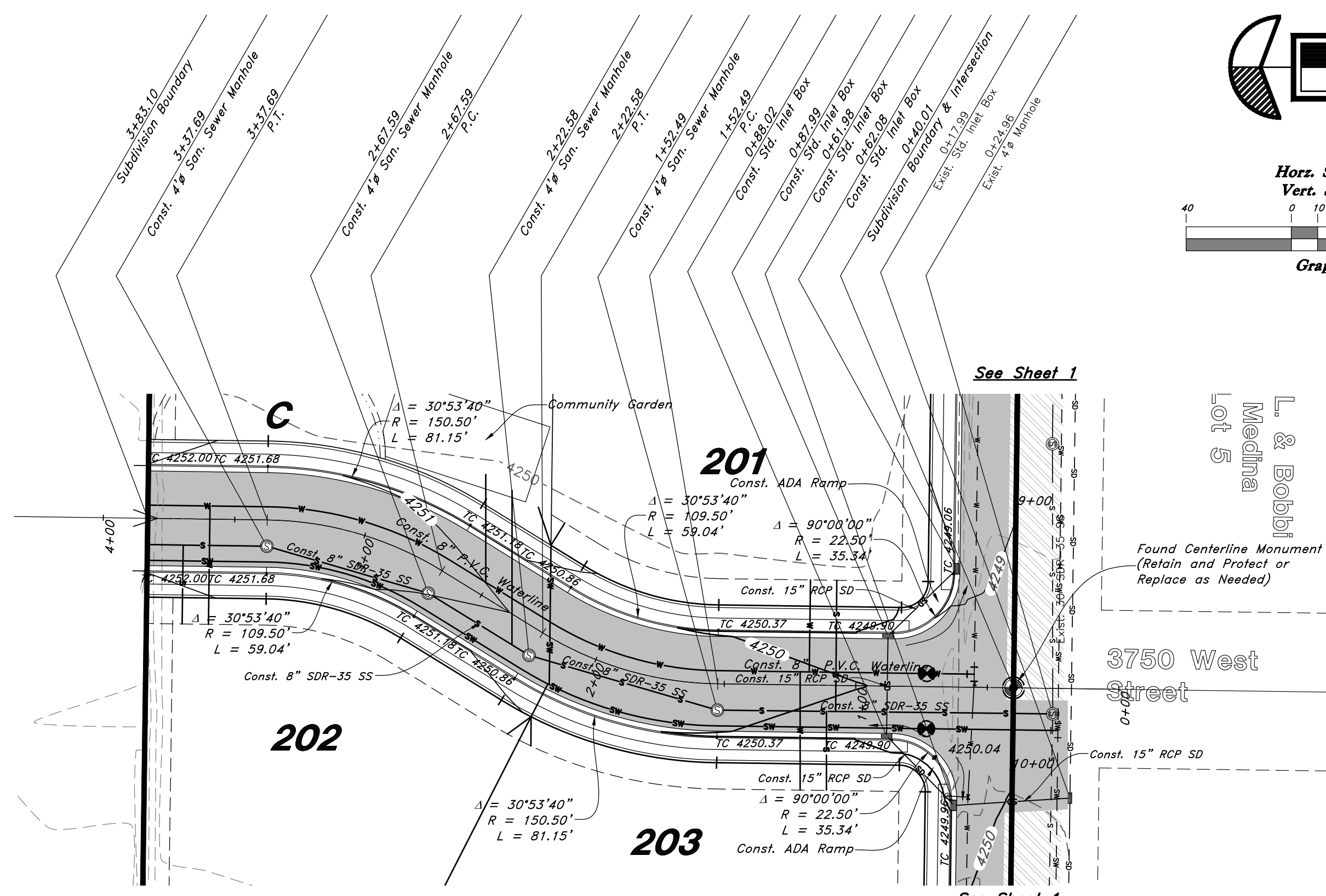


1-800-862-4111

Legend

(Note: All items may not appear on drawing)

San. Sewer Manhole	Water Manhole	Storm Drain Manhole	Cleanout	Electrical Manhole	Catch Basins	Exist. Fire Hydrant	Fire Hydrant	Exist. Water Valve	Water Valve	Sanitary Sewer	Culinary Water	Gas Line	Irrigation Line	Storm Drain	Telephone Line	Secondary Waterline	Fire Line	Land Drain	Power pole	Power pole w/guy	Fence	Flowline of ditch	Overhead Power Line	Corrugated Metal Pipe	Concrete Pipe	Reinforced Concrete Pipe	Ductile Iron	Polyvinyl Chloride	Top of Asphalt	Edge of Asphalt	Centerline
⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	—S—	—W—	—G—	—I—	—SD—	—T—	—SW—	—F—	—LD—	⊙	⊙	—X—	—UHP—	—CMP—	—CP—	—RCP—	—DI—	—PVC—	—TA—	—CA—	—CL—	



3750 West Street

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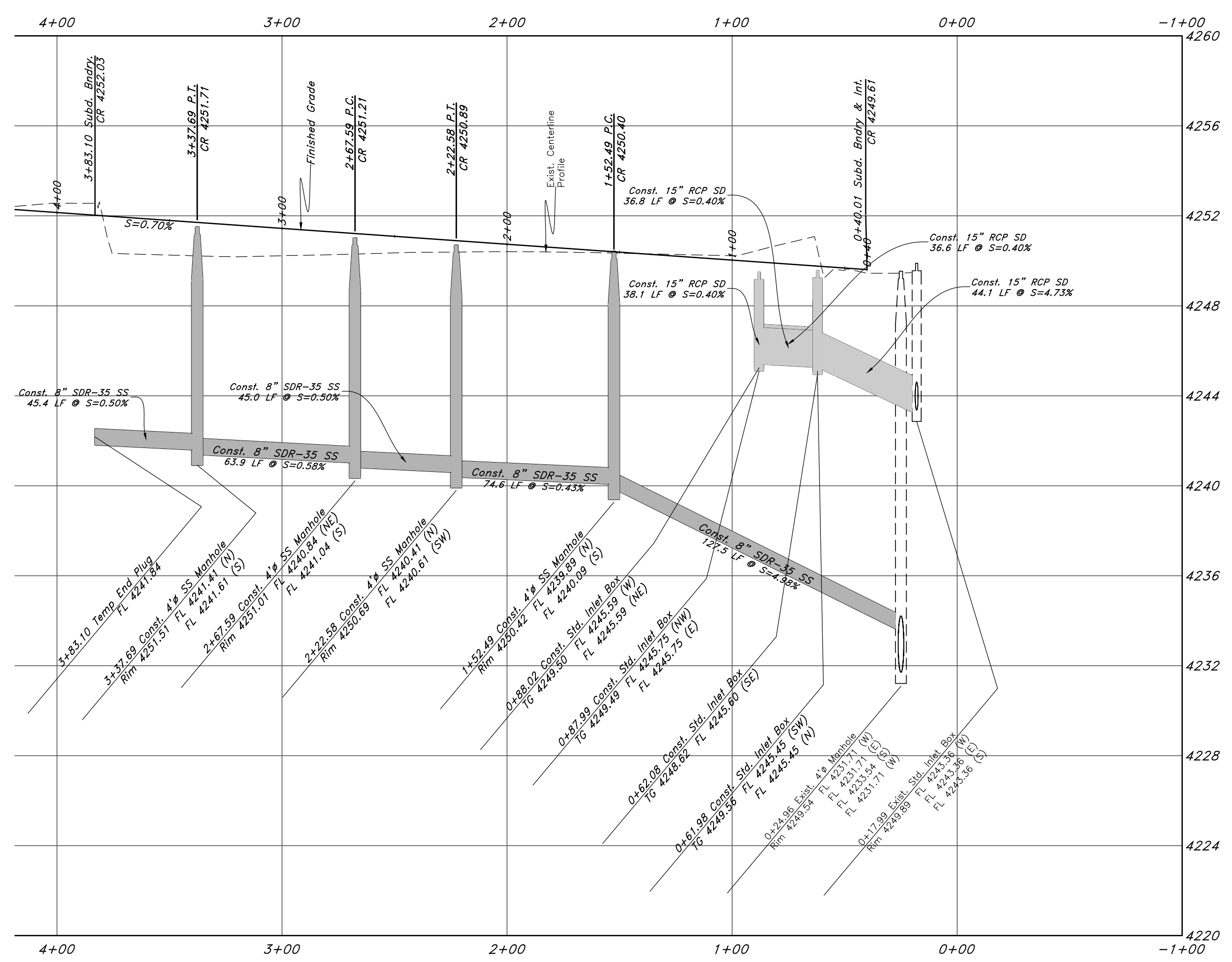
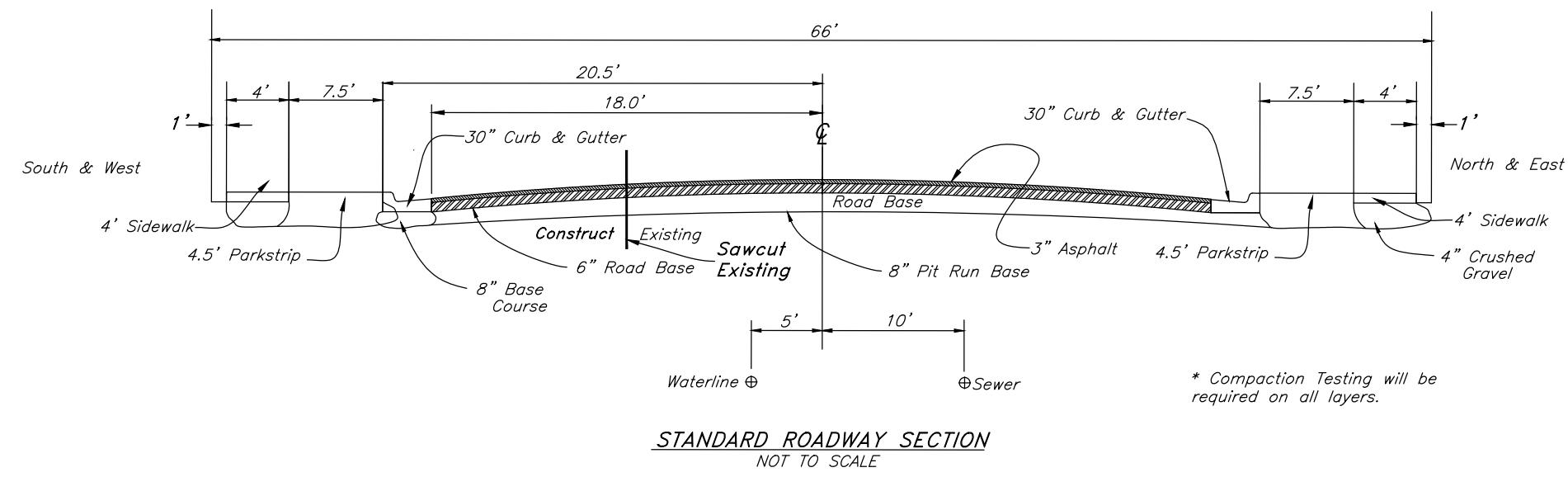
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TENTATIVE FINAL



GREAT BASIN ENGINEERING
 5746 SOUTH 1475 EAST, SUITE 100, DENVER, CO 80232
 WWW.GREATBASINENGINEERING.COM

Plan and Profile
Favero's Legacy Cluster Subdivision - Phase 2
 2200 South 3500 West
 Weber County, Utah
 A part of Section 28, T6N, R2W, SLB&M, U.S. Survey

27 July, 2016
 SHEET NO. 2
 02N302

