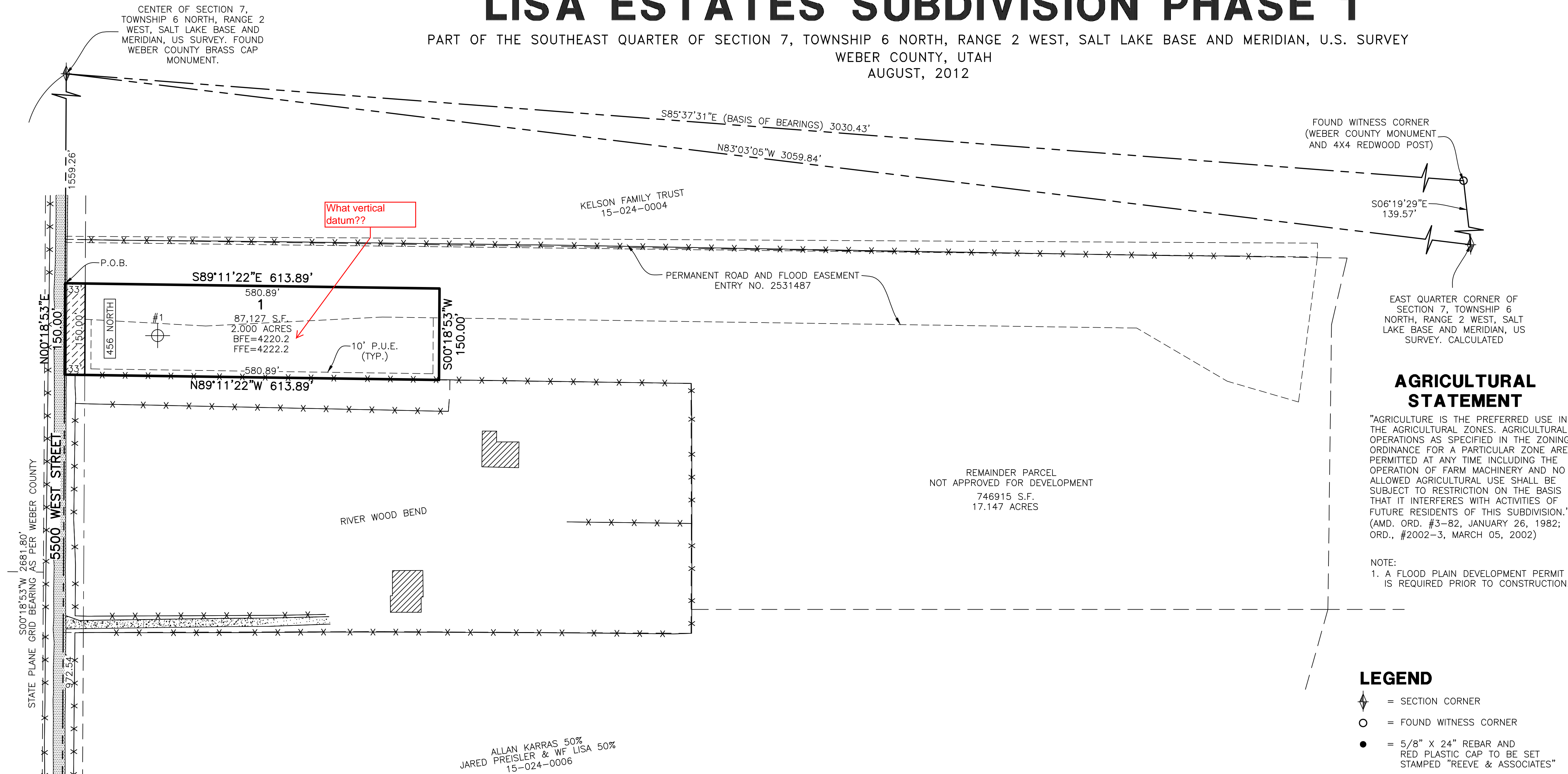


# LISA ESTATES SUBDIVISION PHASE 1

PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
WEBER COUNTY, UTAH  
AUGUST, 2012



**Subdivider:**  
ALLAN KARRAS  
CENTURY 21  
2609 N MAIN  
SUNSET, UT 80415

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE LINE BETWEEN THE CENTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY AND A FOUND FOUND WITNESS CORNER (WEBER COUNTY MONUMENT AND 4X4 REDWOOD POST). SHOWN HEREON AS: S85°37'31\"/>

## NARRATIVE

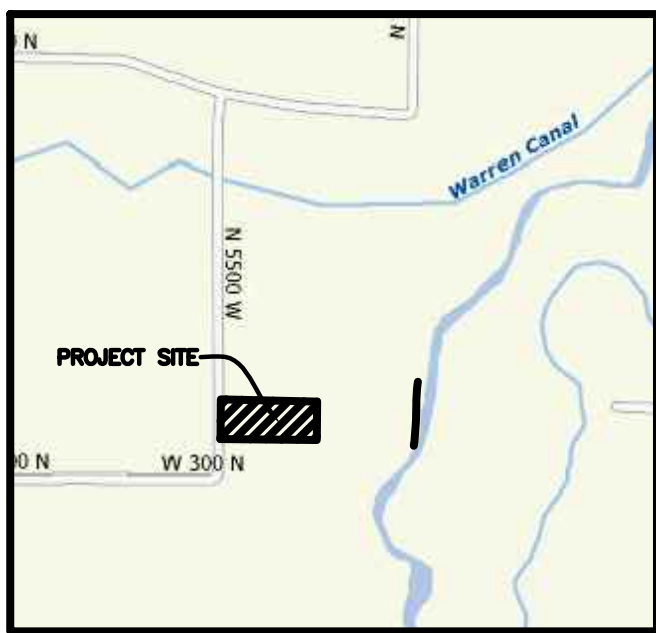
THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS AS SHOWN. ALL LOT CORNERS TO BE SET WITH A 5/8\"/>

## BOUNDARY DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTERLINE OF 5500 WEST STREET, SAID POINT BEING S00°18'53\"/>

CONTAINING 87,127 SQUARE FEET OR 2.000 ACRES



**VICINITY MAP**  
NOT TO SCALE

## AGRICULTURAL STATEMENT

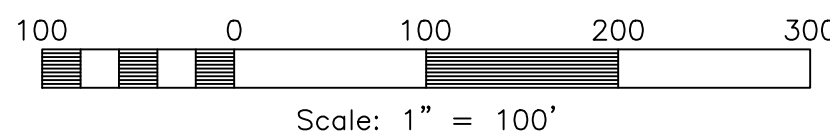
"AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURAL ZONES. AGRICULTURAL OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOWED AGRICULTURAL USE SHALL BE SUBJECT TO RESTRICTION ON THE BASIS THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION." (AMD. ORD. #3-82, JANUARY 26, 1982; ORD., #2002-3, MARCH 05, 2002)

NOTE:  
1. A FLOOD PLAIN DEVELOPMENT PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.

## LEGEND

- ◆ = SECTION CORNER
- = FOUND WITNESS CORNER
- = 5/8\"/>
- ⊕ = SOIL EXPLORATION HOLE
- BFE = BASE FLOOD ELEVATION
- FFE = FINISHED FLOOR ELEVATION

- = BOUNDARY LINE
- - - = ADJOINING PROPERTY
- · - · - = EASEMENTS
- - - - - = SECTION TIE LINE
- x x x = EXISTING FENCELINE
- [Pattern] = EXISTING PAVEMENT
- [Pattern] = ROAD DEDICATION FOR 5500 WEST STREET
- [Pattern] = EXISTING DIRT ROAD



## WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

## WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

\_\_\_\_\_  
WEBER COUNTY ENGINEER

## WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST

## WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
WEBER COUNTY SURVEYOR

## WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
WEBER COUNTY ATTORNEY

## WEBER-MORGAN HEALTH DEPARTMENT

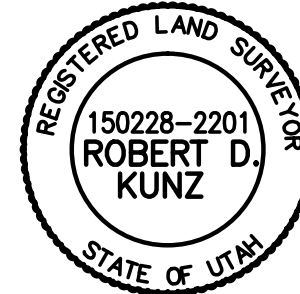
I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS. SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
WEBER-MORGAN HEALTH DEPARTMENT

## SURVEYOR'S CERTIFICATE

I, **ROBERT D. KUNZ**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, IN ACCORDANCE WITH TITLE 58, CHAPTER 27, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **LISA ESTATES SUBDIVISION PHASE 1** IN **WEBER COUNTY**, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



150228  
UTAH LICENSE NUMBER      **ROBERT D. KUNZ**

## OWNERS DEDICATION AND CERTIFICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **LISA ESTATES SUBDIVISION PHASE 1**, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY, STORM WATER DETENTION PONDS DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
ALLAN KARRAS      JARED PREISLER

\_\_\_\_\_  
LISA PREISLER

## ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

\_\_\_\_\_  
COMMISSION EXPIRES      NOTARY PUBLIC

## ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

\_\_\_\_\_  
COMMISSION EXPIRES      NOTARY PUBLIC

## Project Info.

Surveyor: **R. KUNZ**  
Designer: **N. ANDERSON**  
Begin Date: **03-10-11**  
Name: **LISA ESTATES SUBDIVISION PHASE 1**  
Number: **1714-27**  
Revision: \_\_\_\_\_  
Scale: **1\"/>**



## Weber County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_  
Filed For Record \_\_\_\_\_  
And Recorded, \_\_\_\_\_  
At \_\_\_\_\_ in Book \_\_\_\_\_  
Of The Official Records, Page \_\_\_\_\_  
Recorded For: \_\_\_\_\_  
\_\_\_\_\_  
Weber County Recorder  
\_\_\_\_\_  
Deputy.



\_\_\_\_\_  
Weber County Recorder

\_\_\_\_\_  
Deputy.

ROBERT D. KUNZ

## LISA PREISLER

## NOTARY PUBLIC

## NOTARY PUBLIC

Checked: \_\_\_\_\_



# Reeve & Associates, Inc.

4155 S. HARRISON BLVD., SUITE 310, OGDEN, UTAH 84403  
TEL: (801) 621-3100 FAX: (801) 621-2666 [www.reeve-associ.com](http://www.reeve-associ.com)

4155 S. HARRISON BLVD., SUITE 310, OGDEN, UTAH 84403  
TEL: (801) 621-3100 FAX: (801) 621-2666 [www.reeve-gssoc.com](http://www.reeve-gssoc.com)

Scale: 1"=100'

Checked: \_\_\_\_\_

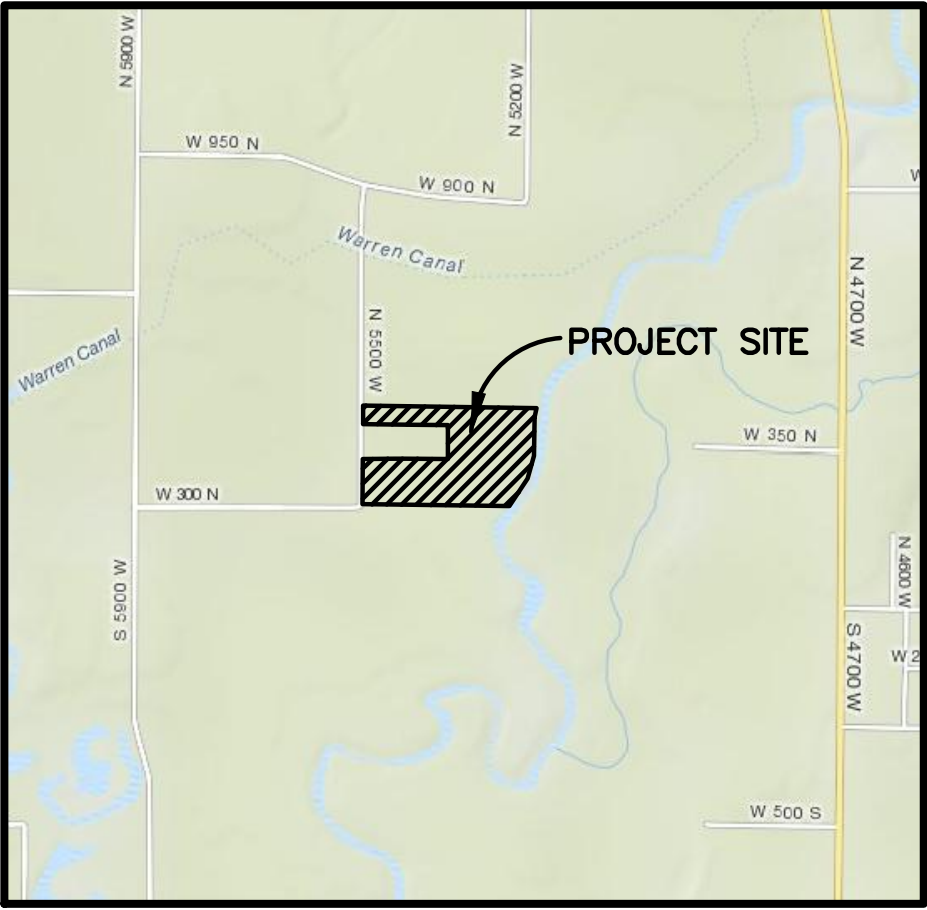


Project Narrative/Notes/Revisions

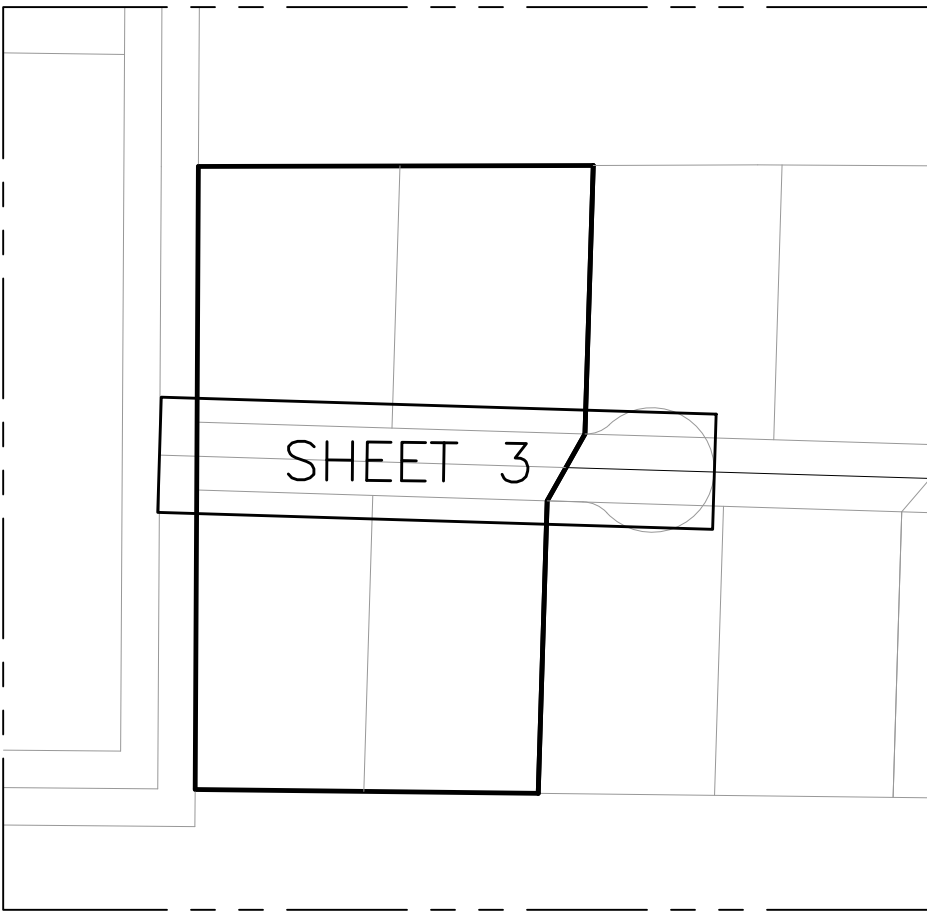
- 4/1/11 RH - PREPARED PLANS FOR CLIENT.
- 4/14/11 RH - REVISED PLANS PER COUNTY COMMENTS.
- 6/15/11 RH - REVISED PLANS PER COUNTY COMMENTS.
- 9/29/11 RH - REVISED PLANS PER COUNTY COMMENTS.
- 8/1/12 RH - ADDED STORM DRAIN PER COUNTY COMMENTS.
- 9/25/12 RH - REVISED PLANS PER COUNTY COMMENTS.

LISA ESTATES SUBDIVISION  
Phase-1 & Phase-2  
Improvement Plans

WARREN, WEBER COUNTY, UTAH  
MARCH, 2011



Vicinity Map  
NOT TO SCALE



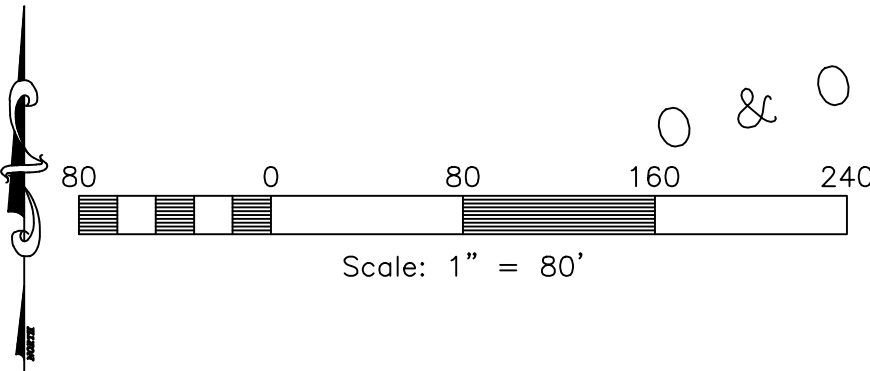
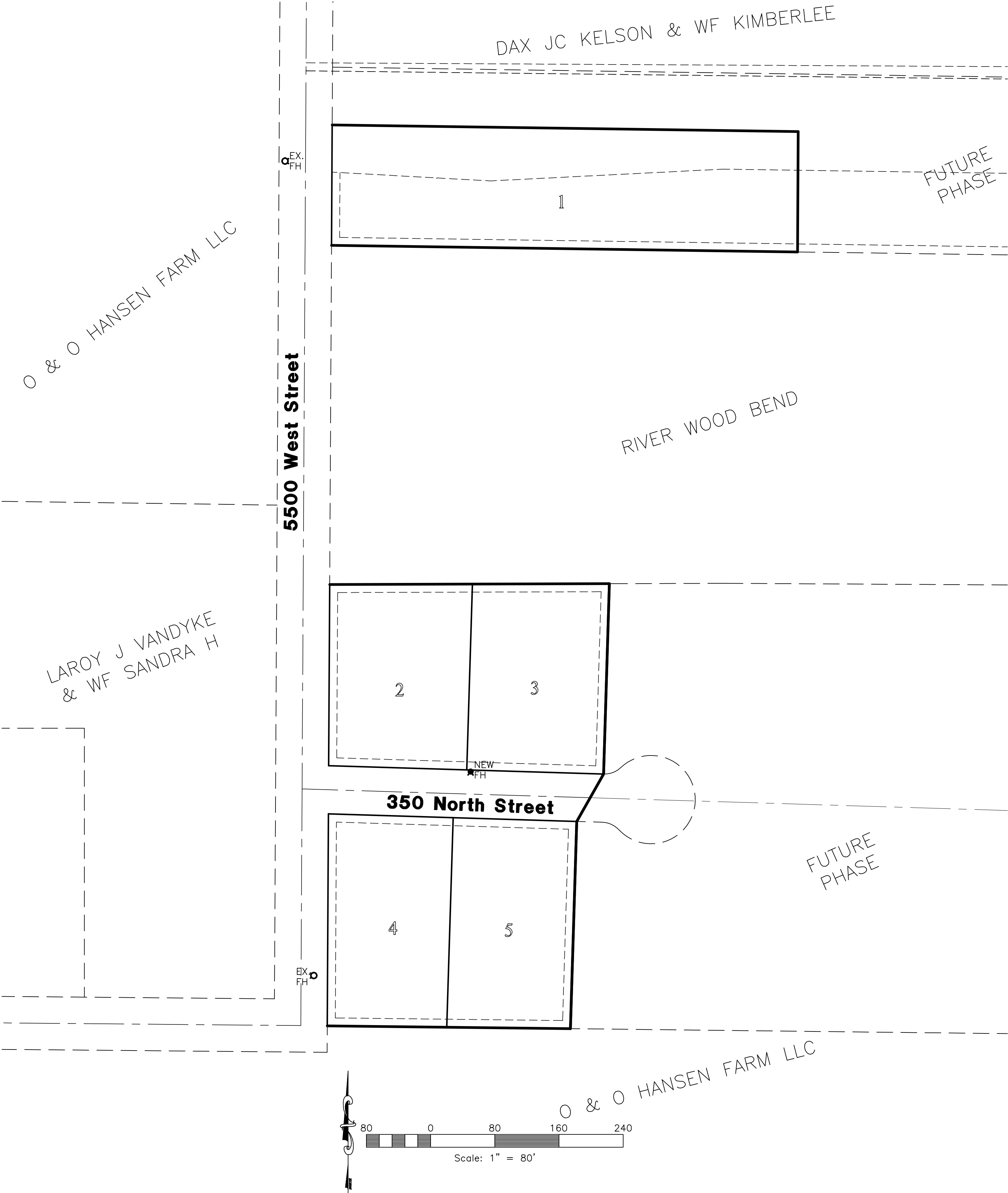
Sheet Index Key Map  
NOT TO SCALE

Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Street Cross-Sections/Legend/Notes
- Sheet 3 - 350 North Street 10+00.00 - 15+50.00
- Sheet 4 - Overall Secondary Water Plan & 5500 West Ditch Piping Plan
- Sheet 5 - Storm Water Pollution Prevention Plan
- Sheet 6 - Storm Water Pollution Prevention Plan

General Notes

- CONSTRUCTION STAKING TO BE PROVIDED BY REEVE & ASSOCIATES, INC.
- ANY MODIFICATION TO THIS CONSTRUCTION PACKAGE OR TO THE CONSTRUCTION SCHEDULE SHALL BE APPROVED BY THE ENGINEER. PRIOR TO SAID APPROVAL, ALL IMPROVEMENT DRAWINGS SHALL BE RESUBMITTED AND APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL LOCATE, RETAIN AND PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL MAINTAIN 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION, CULINARY WATER LINES, SANITARY SEWER, AND STORM DRAIN LINES.
- THE CONTRACTOR SHALL INSTALL ALL SANITARY SEWER MAINS, SERVICE LINES AND STORM DRAIN LINES PRIOR TO INSTALLING ANY WATER SYSTEM IMPROVEMENTS. ADJUST WATER MAINS FROM 4'-6" TO 6'-6" OF COVER AS REQUIRED TO AVOID SANITARY SEWER SERVICE LINES.
- SIDEWALKS SHALL BE FOUR INCHES THICK, UNLESS FRONTING DRIVEWAY, THEN SIX INCHES THICK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL UTILITY CONFLICTS UPON DISCOVERY.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY. OWNER SHALL PAY ALL ASSOCIATED UTILITY COMPANY FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SLOPE AND CONSTRUCTION OF CONNECTING SEWER PIPING.
- CONTRACTOR SHALL BE RESPONSIBLE OF PROPER BACKFILLING, COMPACTING, AND PAVEMENT RESTORATION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMIT(S) AND COMPLY WITH ALL PERMITTING REQUIREMENTS.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED.
- ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH A NON-OXIDE WASH AND WRAPPED IN 8-MIL POLYETHYLENE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENTS STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- ALL EXISTING ASPHALT SHALL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.
- CONTRACTOR TO INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL PVC PIPING.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE PROJECT.
- TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT CITY AND/OR STATE TRANSPORTATION ENGINEERS' MANUAL.
- A UPDES GENERAL CONSTRUCTION STORM WATER PERMIT MUST BE OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE APWA AND CITY SPECIFICATIONS AND DRAWINGS.



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Contact:

Allan Karras  
Century 21  
2609 N. Main  
Sunset, Utah 84015  
PH: (801) 564-0909

Blue Stakes Location Center

Call: Toll Free  
1-800-662-4111

Two Working Days Before You Dig

Reeve & Associates, Inc.  
4155 S. HARRISON BLVD., SUITE 310, OGDEN, UTAH 84403  
TEL: (801) 621-3100 FAX: (801) 621-3666 www.reeve-associates.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
4-14-11	RH	County Comments
6-15-11	RH	County Comments
9-29-11	RH	County Comments
8-29-12	RH	County Comments
8-01-12	RH	County Comments
9-25-12	RH	County Comments

Lisa Estates Subdivision  
Phase 1 & 2  
WARREN, WEBER COUNTY, UTAH  
Cover/Index Sheet

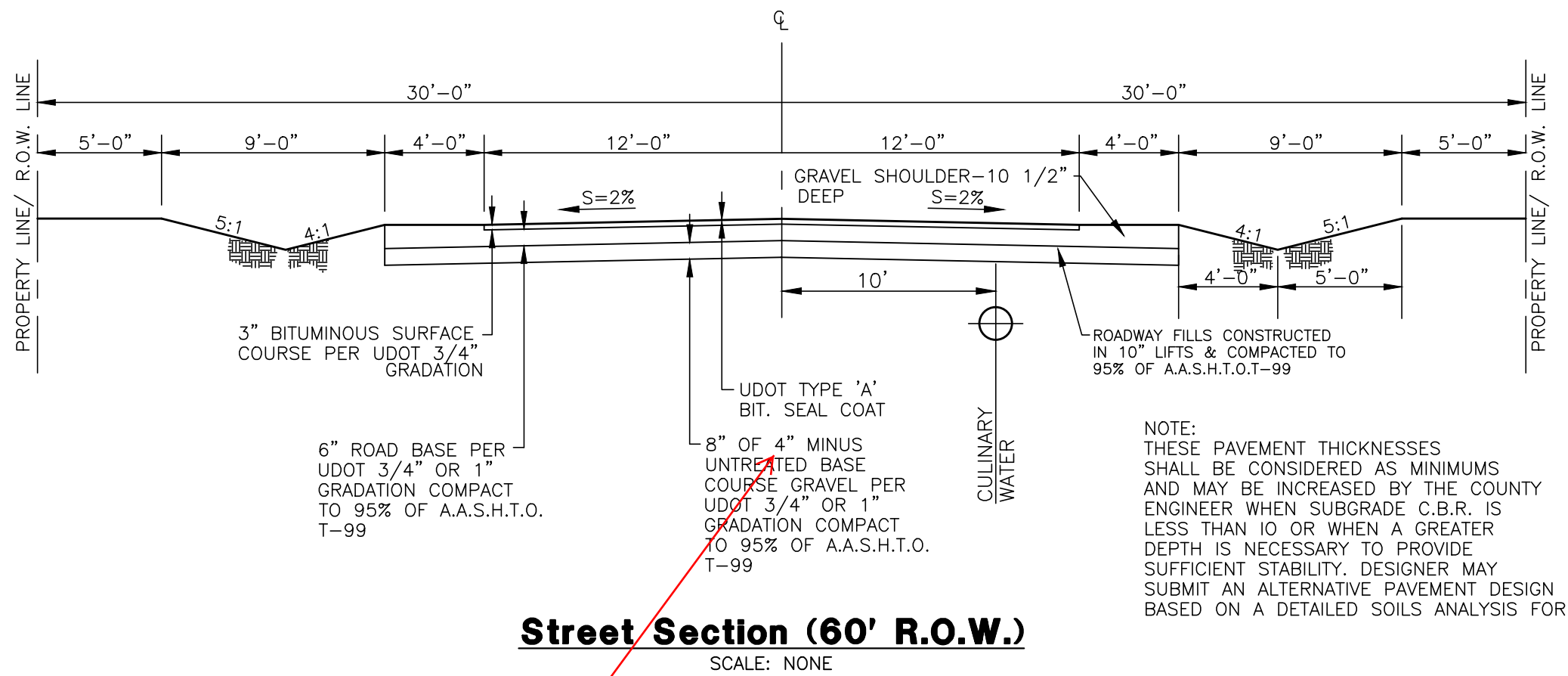


Project Info.

Engineer:  
J. NATE REEVE, P.E.  
Drafter:  
R. HANSEN  
Begin Date:  
MARCH 18, 2011  
Name:  
LISA ESTATES  
SUBDIVISION  
PHASE 1 & 2  
Number: 1714-27

Sheet	6
1	Sheets





I believe that  
UDOT spec is 3"  
not 4". Granular  
Barrow

—W—	= PROPOSED CULINARY WATER LINE
—EX.W---	= EXISTING CULINARY WATER LINE
—SS—	= PROPOSED SANITARY SEWER LINE
—EX.SS---	= EXISTING SANITARY SEWER LINE
—SD—	= PROPOSED STORM DRAIN LINE
—EX.SD---	= EXISTING STORM DRAIN LINE
—LD—	= PROPOSED LAND DRAIN LINE
—EX.LD---	= EXISTING LAND DRAIN LINE
—SW—	= PROPOSED SECONDARY WATER LINE
—EX.SW---	= EXISTING SECONDARY WATER LINE
—IRR—	= PROPOSED IRRIGATION LINE
—EX.IRR---	= EXISTING IRRIGATION LINE
—OHP---	= EXISTING OVERHEAD POWER LINE
—TEL---	= EXISTING TELEPHONE LINE
—GAS---	= EXISTING NATURAL GAS LINE
—	= EXISTING EDGE OF PAVEMENT
X—X—X	= FENCE LINE
— — —	= MASONRY BLOCK/RETAINING WALL
— . . .	= DITCH/SWALE FLOWLINE
●	= PROPOSED FIRE HYDRANT
○	= EXISTING FIRE HYDRANT
●	= PROPOSED MANHOLE
○	= EXISTING MANHOLE
●	= PROPOSED SEWER CLEAN-OUT
X	= PROPOSED GATE VALVE
X	= EXISTING GATE VALVE
■	= PROPOSED WATER METER
■	= EXISTING WATER METER
■	= PROPOSED CATCH BASIN

□	= EXISTING CATCH BASIN	L.F.	= LINEAR FEET
⬤	= EXISTING SPRINKLER	NG	= NATURAL GRADE
⬤	= PLUG W/ 2" BLOW-OFF	O.C.	= ON CENTER
⬤	= AIR-VAC ASSEMBLY	PC	= POINT OF CURVE
▼	= PROPOSED REDUCER	PRC	= POINT OF REVERSE CURVE
⬤	= PLUG & BLOCK	PRVC	= POINT OF REVERSE VERTICAL CURVE
⬤	= STREET LIGHT	PT	= POINT OF TANGENT
⬤	= SIGN	PP	= POWER/UTILITY POLE
BLDG	= BUILDING	P.U.E.	= PUBLIC UTILITY EASEMENT
BVC	= BEGIN VERTICAL CURVE	R/C	= REBAR & CAP
C&G	= CURB & GUTTER	RCB	= REINFORCED CONCRETE BOX
CB	= CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
C.F.	= CUBIC FEET	RIM	= RIM OF MANHOLE
C.F.S.	= CUBIC FEET PER SECOND	R.O.W.	= RIGHT-OF-WAY
CL	= CENTERLINE	SD	= STORM DRAIN
DI	= DUCTILE IRON	SS	= SANITARY SEWER
EP	= EDGE OF PAVEMENT	SW	= SECONDARY WATER
EVC	= END VERTICAL CURVE	TBC	= TOP BACK OF CURB
FC	= FENCE CORNER	TOE	= TOE OF SLOPE
FF	= FINISH FLOOR	TOP	= TOP OF SLOPE
FFE	= FINISH FLOOR ELEVATION	TOW	= TOP OF WALL
FG	= FINISHED GRADE	TSW	= TOP OF SIDEWALK
FH	= FIRE HYDRANT	VPI	= VERTICAL POINT OF INTERSECT.
FL	= FLOW LINE	W	= CULINARY WATER
GB	= GRADE BREAK	WM	= WATER METER
HDPE	= HIGH DENSITY POLYETHYLENE PIPE		= NEW PAVEMENT
INV	= INVERT		= NEW CONCRETE
IRR	=IRRIGATION		
LD	= LAND DRAIN		

### General Notes

- ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF WEBER COUNTY AND THE STANDARD DRAWINGS CONTAINED THEREIN. WEBER COUNTY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- THE STREET STRUCTURAL CROSS SECTION IS PER WEBER COUNTY DETAILS CONTAINED WITHIN THESE PLANS.
- WATER LINE PIPE SHALL BE PVC C-900 CLASS 200. WASHOUT ASSEMBLIES SHALL CONSIST OF A KUPFERLE FOUNDRY CO. 2" BLOW-OFF HYDRANT (OR COUNTY-APPROVED EQUIV.).
- SECONDARY WATER LINE SHALL BE PVC C-900 CLASS 200. ALL SECONDARY WATER VALVE LIDS SHALL BE STAMPED "IRRIGATION".

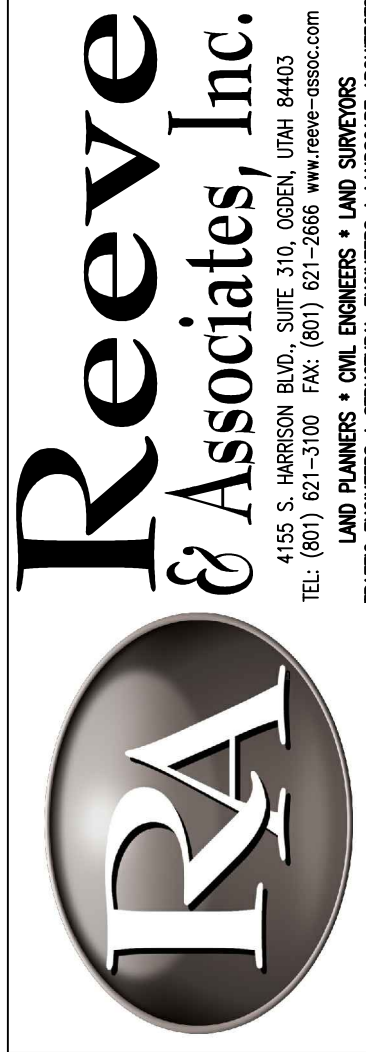
Lisa Estates Subdivision  
Phase 1 & 2  
WARREN, WEBER COUNTY, UTAH

Street Cross-Sections/  
Master Legend/Notes



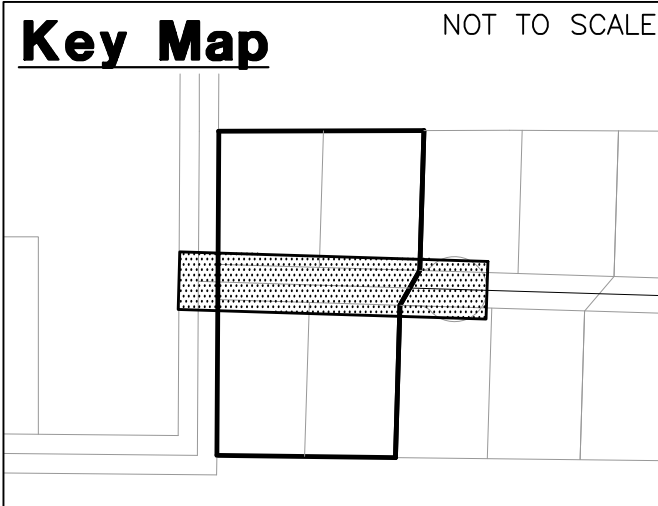
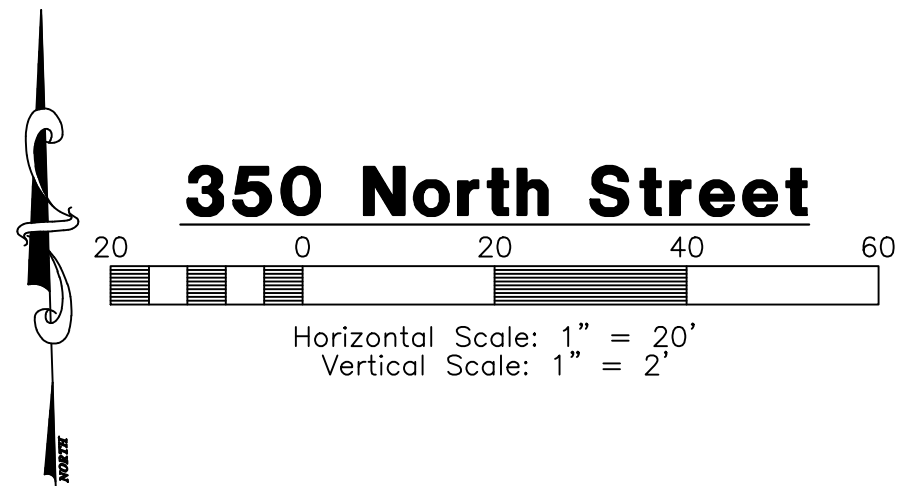
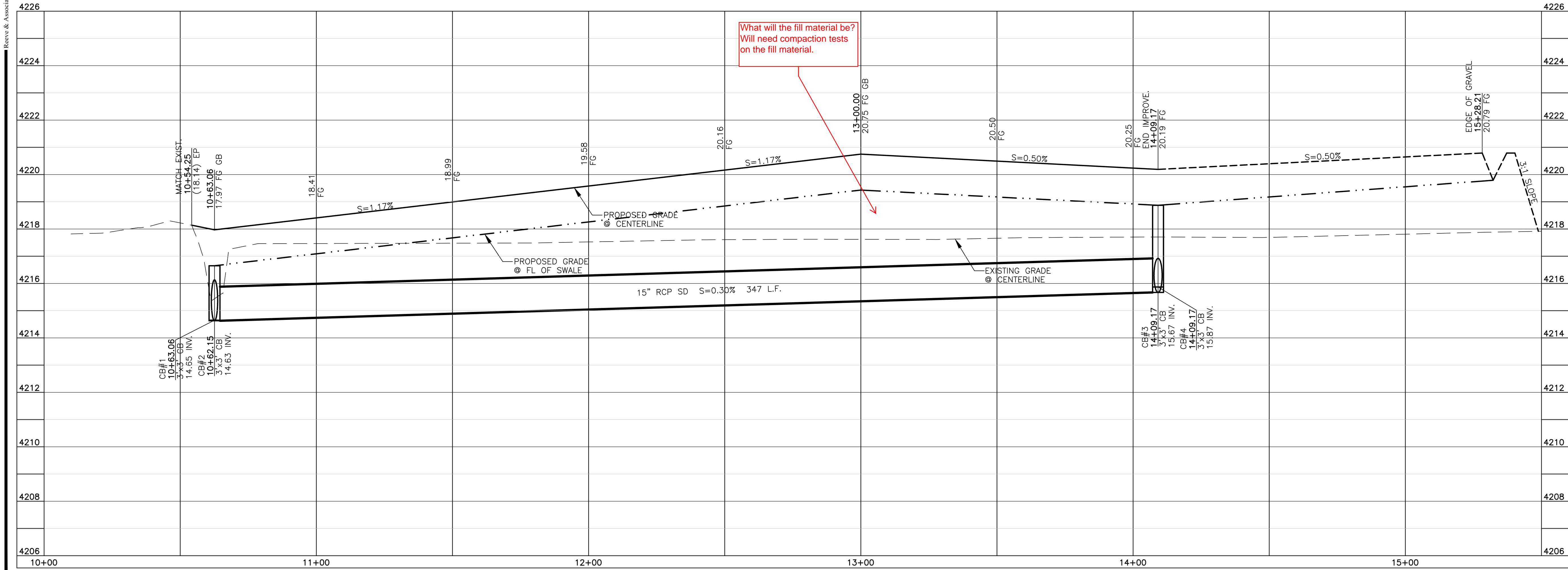
**Project Info.**  
Engineer:  
J. NATE REEVE, P.E.  
Drafter:  
R. HANSEN  
Begin Date:  
MARCH 18, 2011  
Name:  
LISA ESTATES  
SUBDIVISION  
PHASE 1 & 2  
Number: 1714-27

Sheet  
2  
6  
Sheets



REVISIONS	DATE	DESCRIPTION
4-14-11	RH	County Comments
6-18-11	RH	County Comments
9-29-11	RH	County Comments
6-29-12	RH	County Comments
8-01-12	RH	County Comments
9-25-12	RH	County Comments





**Construction Notes:**

1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF WEBER COUNTY.

**CULINARY WATER**  
W/10 - 10" PVC C-900 CLASS 200 WATER

**STORM DRAIN**  
SD/15 - 15" RCP STORM DRAIN

**SECONDARY WATER**  
SW/6 - 6" PVC C-900 SECONDARY WATER LINE

**Reeve & Associates, Inc.**  
4155 S. HARRISON BLVD., SUITE 310, OGDEN, UTAH 84403  
TEL: (801) 621-3100 FAX: (801) 621-3666 www.reeve-associates.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

**RA**

REVISIONS	DATE	DESCRIPTION
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**Lisa Estates Subdivision**  
**Phase 1 & 2**  
WARREN, WEBER COUNTY, UTAH

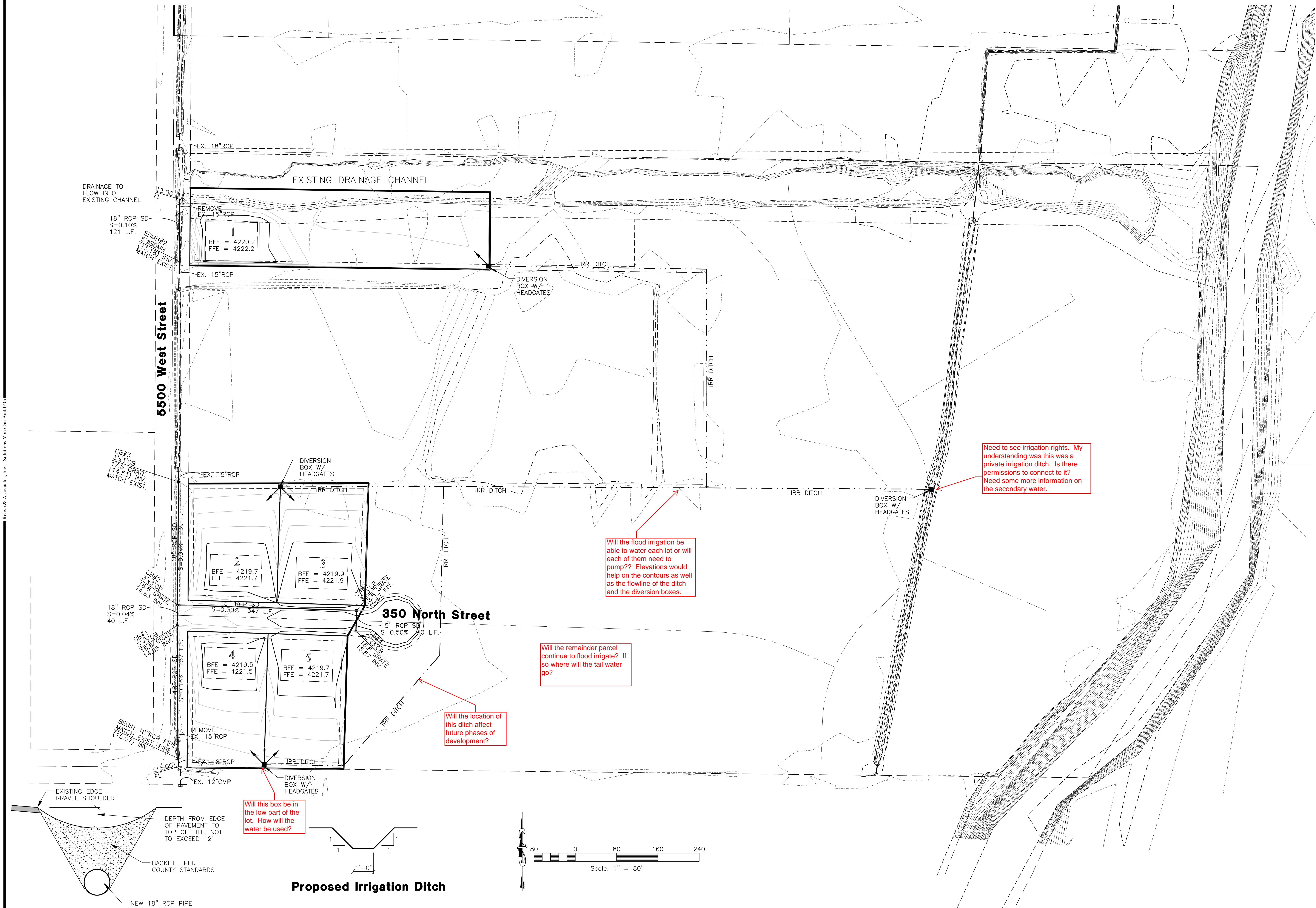
**350 North Street**  
**10+00.00 - 15+50.00**

**REGISTERED PROFESSIONAL ENGINEER**  
375328  
J. NATE REEVE  
STATE OF UTAH

**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafter: R. HANSEN  
Begin Date: MARCH 18, 2011  
Name: LISA ESTATES  
SUBDIVISION  
PHASE 1 & 2  
Number: 1714-27

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### Pipe/Ditch Backfill Detail

### Proposed Irrigation Ditch

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**Reeve & Associates, Inc.**  
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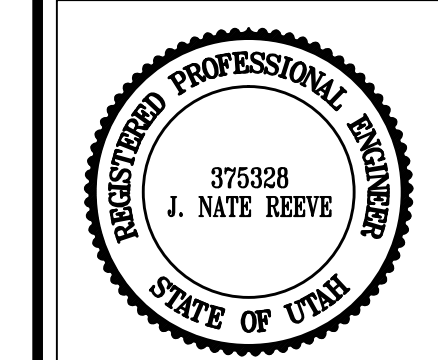
**RA**

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DATE	DESCRIPTION
4-14-11	County Comments
6-15-11	County Comments
9-29-11	County Comments
6-29-12	County Comments
8-01-12	County Comments
9-25-12	County Comments

**Lisa Estates Subdivision  
Phase 1 & 2**  
WARREN, WEBER COUNTY, UTAH

**Irrigation Plan &  
5500 West Ditch Piping Plan**



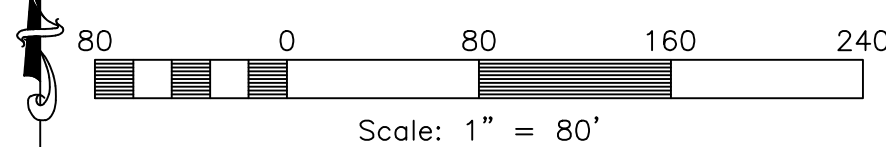
**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafter: R. HANSEN  
Begin Date: MARCH 18, 2011  
Name: LISA ESTATES  
SUBDIVISION  
PHASE 1 & 2  
Number: 1714-27

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4	Sheets

Revised 9-25-12



WARREN, WEBER COUNTY, UTAH  
MARCH, 2011



REVISIONS	
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**Lisa Estates Subdivision  
Phase 1 & 2**  
WARREN, WEBER COUNTY, UTAH

## Storm Water Pollution Prevention Plan Exhibit



### Project Info.

Engineer:  
J. NATE REEVE, P.E.

Drafter:  
R. HANSEN

Begin Date:  
MARCH 18, 2011

Name: LISA ESTATES

SUBDIVISION  
PHASE 1 & 2

Number: 1714-27

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5	

5 Sheets

Sheets

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Revised 9-25-12

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Notes:

1.

Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
2.

Describe BMP's to eliminate/reduce contamination of storm water from:

a.

Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.

b.

Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.

c.

Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.

d.

Fueling area:  
To be performed in designated areas only and surrounded with silt fence.

e.

Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.

f.

Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.

g.

Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.

h.

Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.

i.

Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.

j.

Service areas:  
To be performed in designated areas only and surrounded with silt fence.
3.

BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
4.

Construction Vehicles and Equipment:

a.

Maintenance

–

Maintain all construction equipment to prevent oil or other fluid leaks.

–

Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.

–

Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.

–

Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.

–

Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.

b.

Fueling

–

If fueling must occur on-site, use designated areas away from drainage.

–

Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.

–

Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.

–

Use drip pans for any oil or fluid changes.

c.

Washing

–

Use as little water as possible to avoid installing erosion and sediment controls for the wash area.

–

If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.

–

Use phosphate-free, biodegradable soaps.

–

Do not permit steam cleaning on-site.
5.

Spill Prevention and Control

a.

Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:

–

Contain the spread of the spill.

–

If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).

–

If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.

–

If the spill occurs during rain, cover the impacted area to avoid runoff.

–

Record all steps taken to report and contain spill.

b.

Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
6.

Post Roadway / Utility Construction

a.

Maintain good housekeeping practices.

b.

Enclose or cover building material storage areas.

c.

Properly store materials such as paints and solvents.

d.

Store dry and wet materials under cover, away from drainage areas.

e.

Avoid mixing excess amounts of fresh concrete or cement on-site.

f.

Perform washout of concrete trucks offsite or in designated areas only.

g.

Do not wash out concrete trucks into storm drains, open ditches, streets or streams.

h.

Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.

i.

All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.

j.

Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
7.

Erosion Control Plan Notes

a.

The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.

b.

A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.

c.

Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.

d.

Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. this should be confirmed by survey or other means acceptable to the engineer of record.

e.

All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.

f.

Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.

g.

All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.

h.

The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.

i.

Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.

j.

Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
8.

Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.

a.

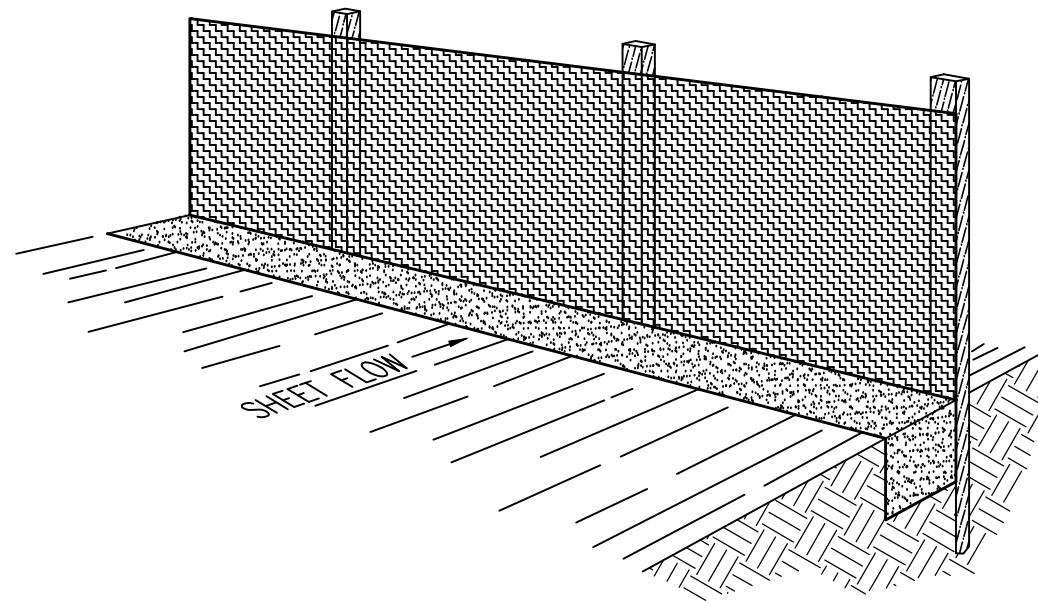
Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.

b.

Part II.D.4.C identifies the minimum inspection report requirements.

c.

failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2–5%	22.9m (75ft)	
5–10%	15.2m (50ft)	
10–20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

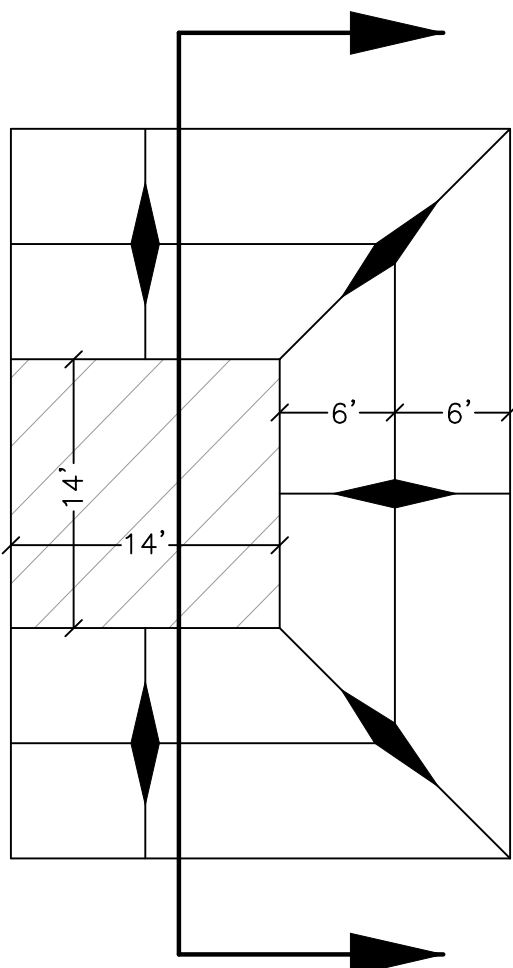
- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Unroll the silt fence, positioning the post against the downstream wall of the trench.
- \*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- \*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- \*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4–3.0m (8–10ft). Post spacing

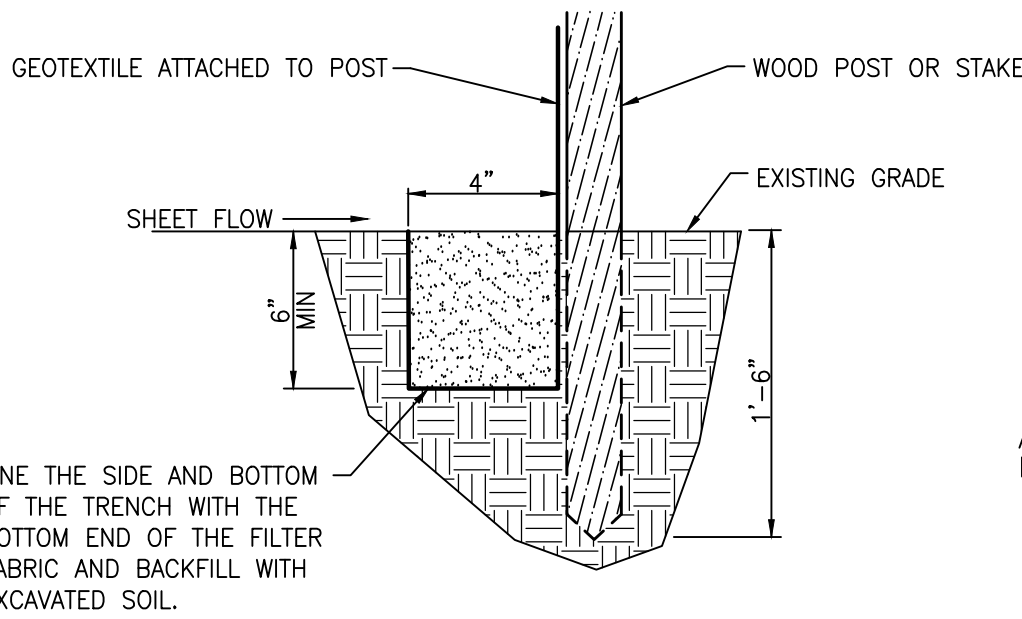
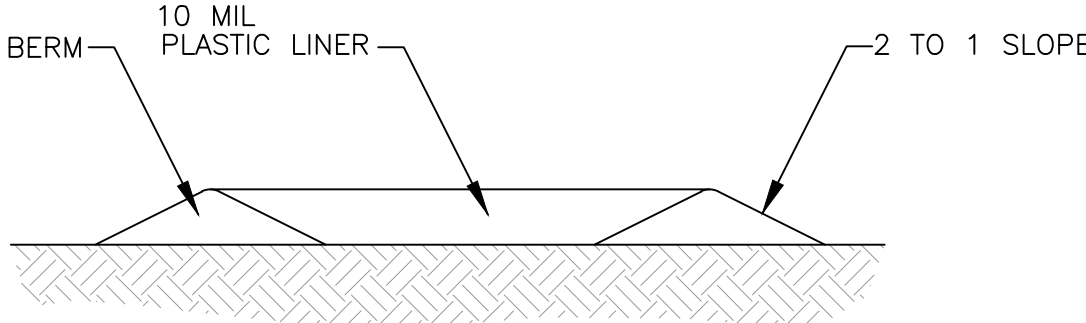
Silt Fence Detail

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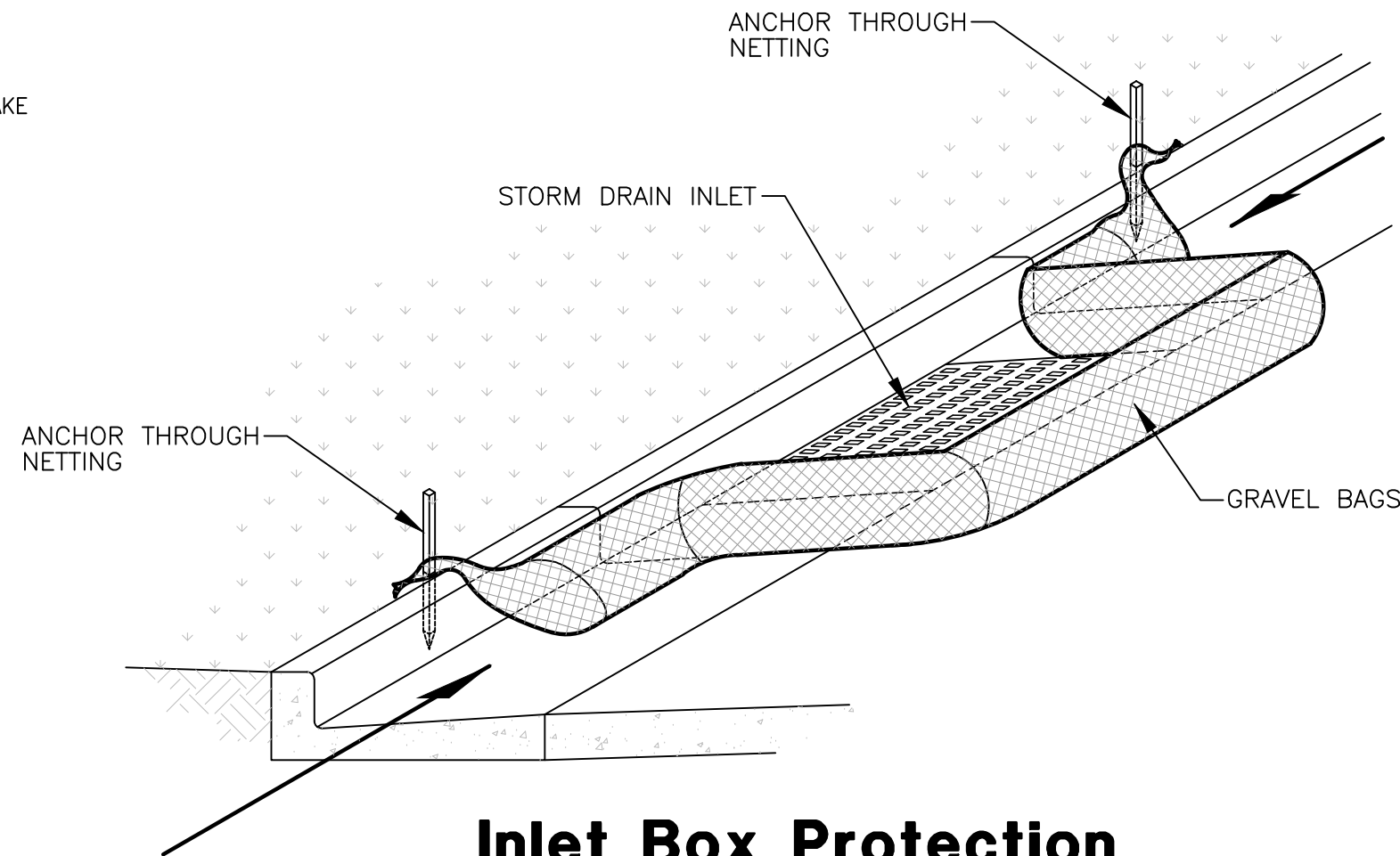


Concrete Washout Area w/ 10 mil Plastic Liner

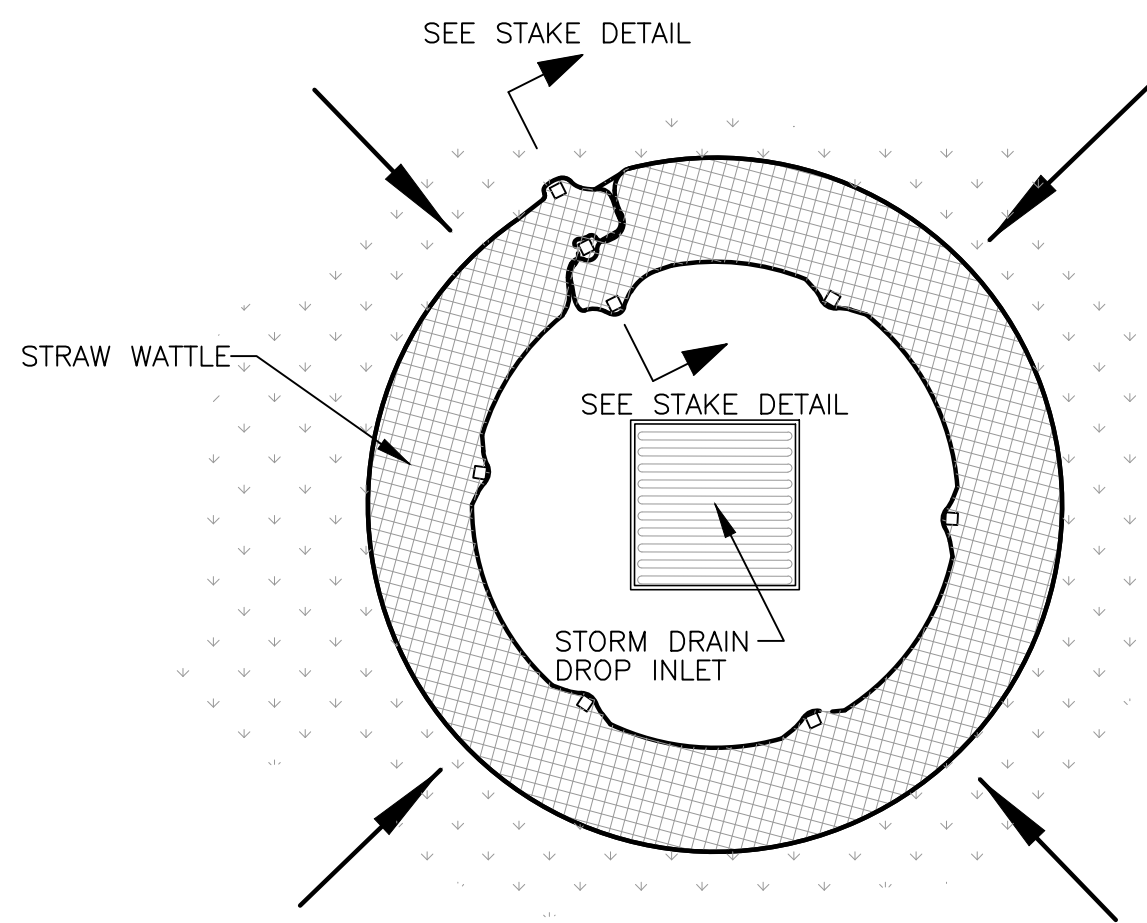
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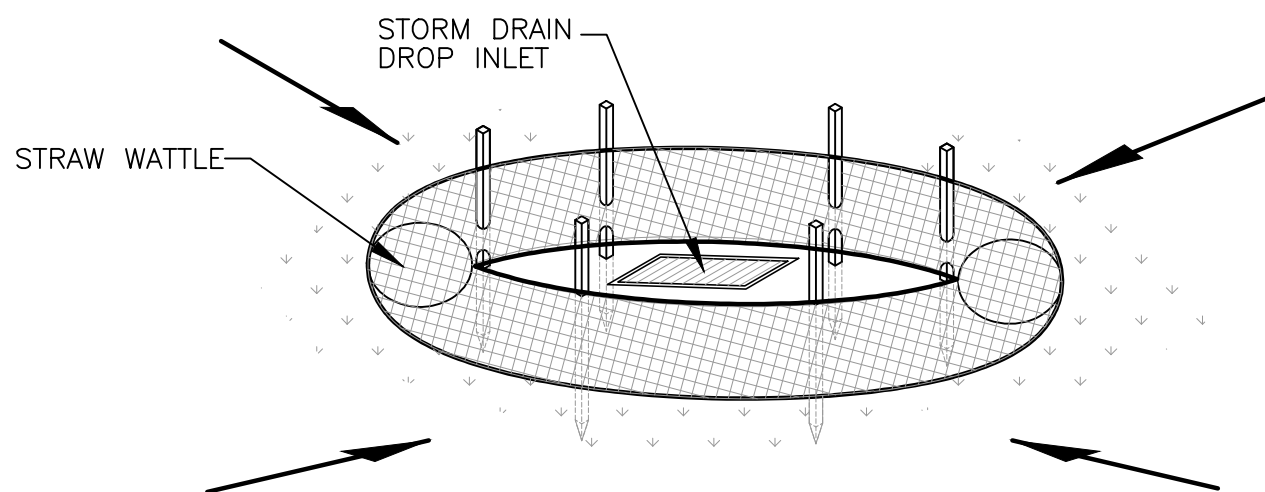
Section



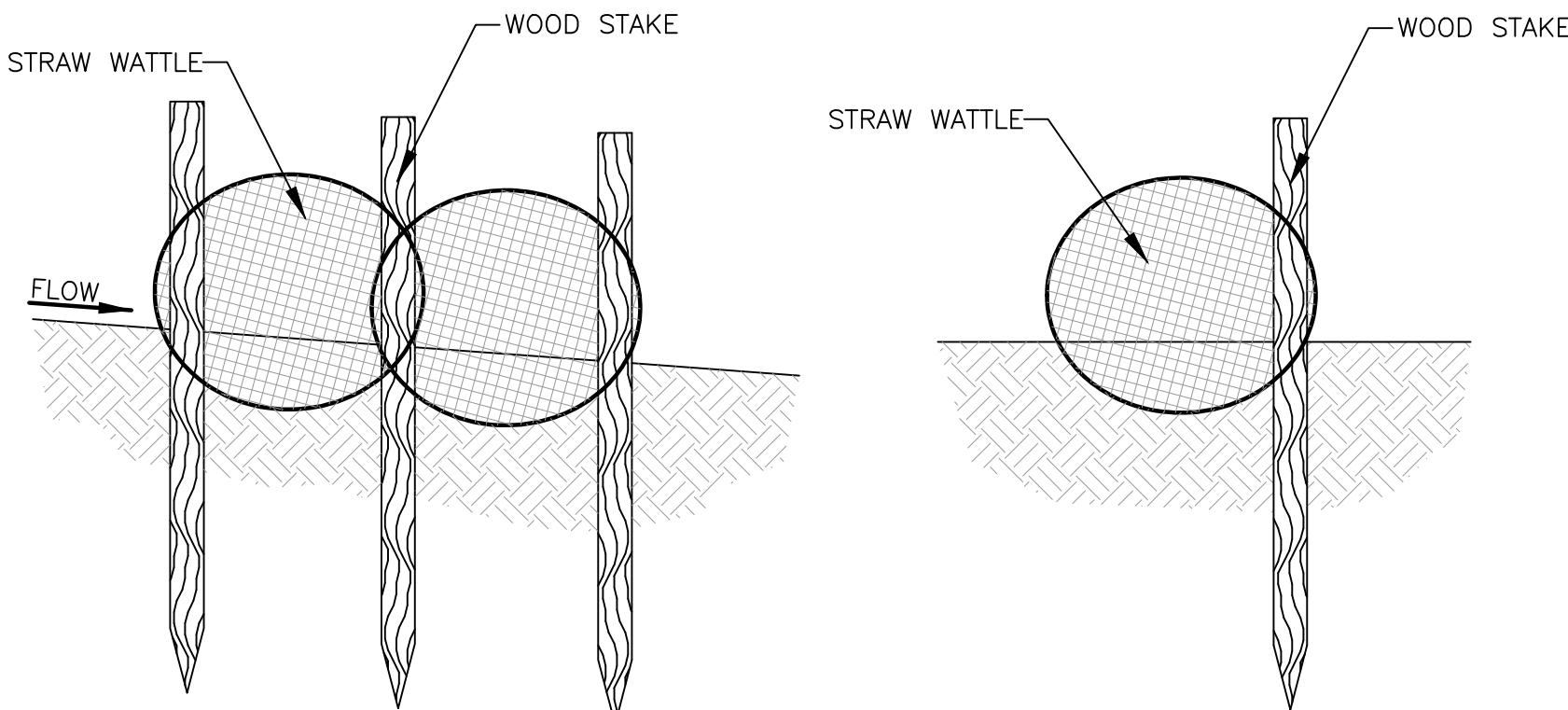
Inlet Box Protection



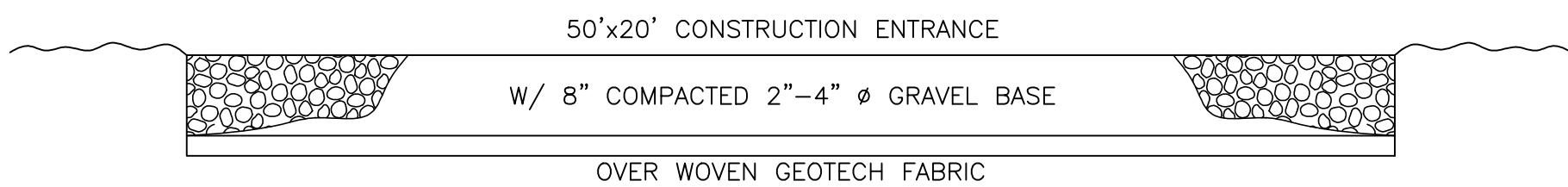
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance

Reeve & Associates, Inc.

IRA

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Lisa Estates Subdivision

Phase 1 & 2

WARREN, WEBER COUNTY, UTAH

Storm Water Pollution

Prevention Plan Exhibit



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Drafter:	R. HANSEN
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