

**BENSTOG SUBDIVISION**  
**OGDEN VALLEY, WEBER COUNTY, UTAH**  
 LYING AND SITUATE IN THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN  
 SURVEY PERFORMED: JUNE 2016

AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURAL ZONES. AGRICULTURAL OPERATIONS AS SPECIFIED IN THE LAND USE CODE FOR A PARTICULAR ZONE ARE PERMITTED AT ANYTIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO AGRICULTURAL USE SHALL BE SUBJECT TO RESTRICTIONS ON THE BASIS THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THE SUBDIVISION (MCO Ord. 100-1-8(2)(5))

**SURVEYORS CERTIFICATE**

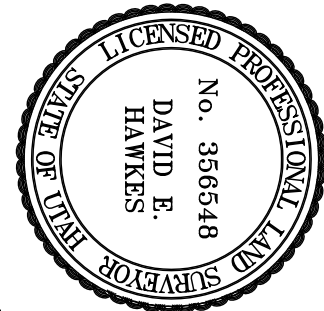
I, David E. Hawkes, certify that I am a Professional Land Surveyor holding license number 356548. I have personally supervised the survey of the above described tract of land and have completed the same in accordance with the provisions of the Utah Professional Land Surveyors Licensing Act and that a survey of the described tract of land has been completed by me in accordance with Section 17-23-17 and that I have verified all measurements, have placed monuments as shown hereon and that all lots meet the requirements of the Land Use Code.

**NARRATIVE**

See Record of Survey #5657 as filed with the Weber County Surveyor.

**BOUNDARY DESCRIPTION**

A parcel of land lying and situate in the Southeast Quarter of section 16, Township 6 North, Range 2 East, Salt Lake Base and Meridian. Comprising the remaining 12.24 acres of Lot 16 of said Section 16, a "School Section" subdivided by that certain survey certified by HJ Brown, November 30, 1899, approved by the Secretary State Board of Land Commissioners, November 8, 1909 and filed with the Weber County Clerk under the name of "Benstog Subdivision", and hereby dedicate, grant and convey to Weber County, Utah, all those parts or portions of said tract of land designated as public streets, whether the same be used as public streets, for public utility and drainage purposes as shown hereon. We also hereby dedicate that certain portion of roadway for ingress and egress purposes for Lot 3, their guests and/or utility service lines and drainage as may be authorized by the governing authority in witness we have hereunto set our signature.



**OWNERS DEDICATION**

Known all men by these presents that we, the undersigned owners of the above described tract of land having caused the same to be subdivided into three lots, a public street, and a private right of way, as shown on this plat and name said tract, BENSTOG SUBDIVISION, and hereby dedicate, grant and convey to Weber County, Utah, all those parts or portions of said tract of land designated as public streets, whether the same be used as public streets, for public utility and drainage purposes as shown hereon. We also hereby dedicate that certain portion of roadway for ingress and egress purposes for Lot 3, their guests and/or utility service lines and drainage as may be authorized by the governing authority in witness we have hereunto set our signature.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Patrick Benstog  
 Paul Benstog  
 John Benstog

**ACKNOWLEDGMENT**

On the \_\_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared before me, the undersigned Notary, in and for said County of Weber, in said State of Utah, the signers of the above Owner's Declaration, four (4) in number, who duly acknowledged to me that they signed it freely and voluntarily for the purposes therein mentioned.

Notary Public \_\_\_\_\_ My Commission Expires \_\_\_\_\_

**WEBER MORGAN HEALTH DEPARTMENT**

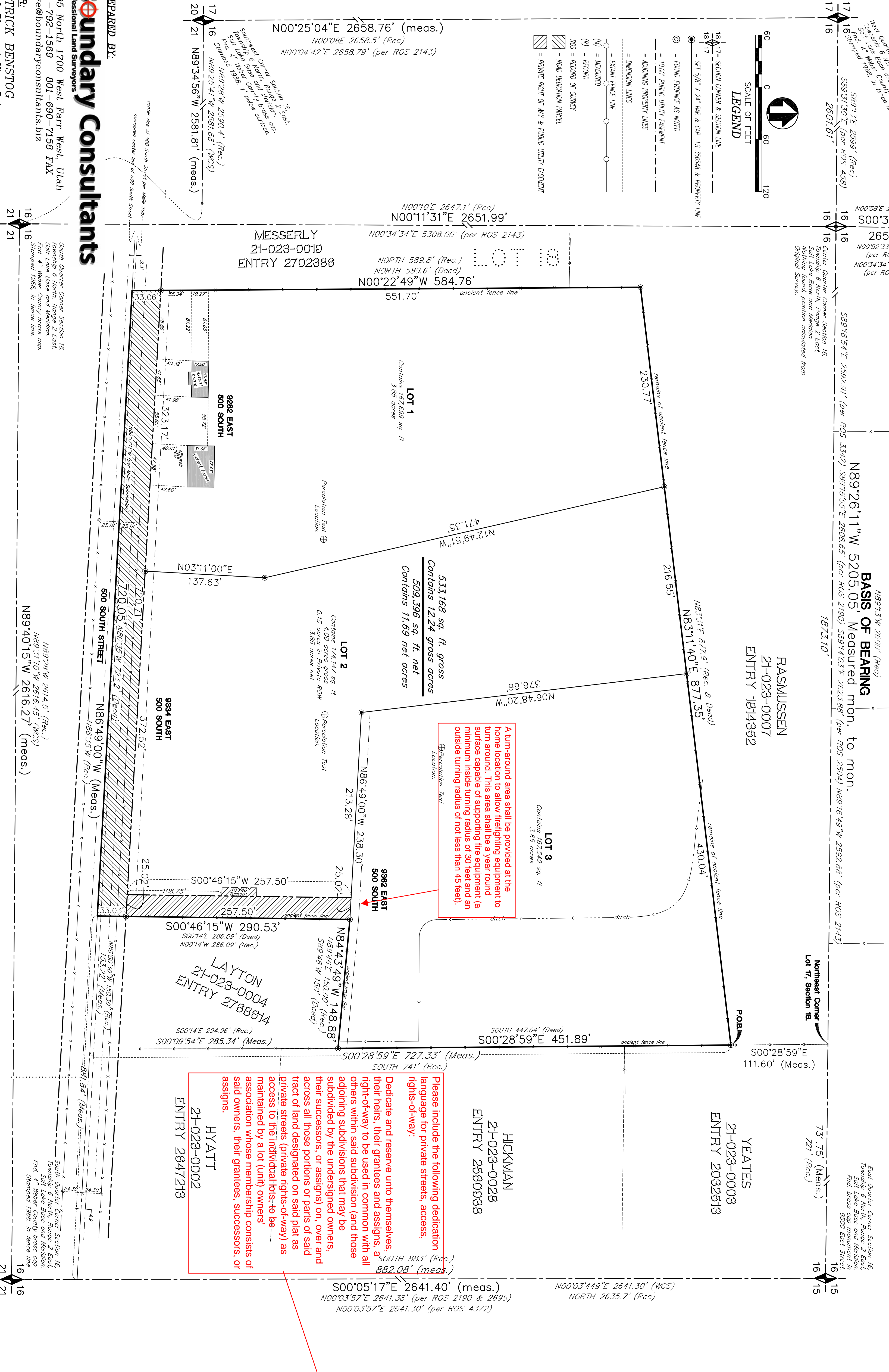
I hereby certify that the soils, percolation rates and site conditions for the proposed septic system have been inspected at the site and approved for on-site waste water system. This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**WEBER COUNTY RECORDER**

ENTRY NUMBER \_\_\_\_\_

FEE PAID \_\_\_\_\_ FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017, IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_ OF THE OFFICIAL RECORDS.

DEPUTY COUNTY RECORDER \_\_\_\_\_



**PREPARED BY:**  
**Boundary Consultants**  
 Professional Land Surveyors

1295 North 1700 West, Farr West, Utah  
 801-792-1569 801-690-7158 FAX  
 dave@boundaryconsultants.biz  
**FOR:**  
 PATRICK BENSTOG  
 1460 Pleasant View Drive  
 Pleasant View, Utah 84414  
 801-391-7495

**WEBER COUNTY ATTORNEY**

I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_  
 Signature

**COUNTY SURVEYORS CERTIFICATE**

I hereby certify that the Weber County Surveyors Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with lines and monuments on record in County offices. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who execute this plat from the responsibilities and/or liabilities associated therewith.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_  
 Signature

**WEBER COUNTY ENGINEER**

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_  
 Signature

**WEBER COUNTY PLANNING COMMISSION APPROVAL**

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman, Weber County Planning Commission  
 \_\_\_\_\_  
 Signature

**WEBER COUNTY COMMISSION ACCEPTANCE**

This is to certify that this subdivision plat, the dedication of streets and easements associated with this subdivision, have been approved and accepted by the Commissioners of Weber County, Utah this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman, Weber County Commission  
 \_\_\_\_\_  
 Title: \_\_\_\_\_