



EXISTING CLUB AND GOLF MAINT.

BLDG A
RETAIL LEVEL
FFE 5272.50
EVENT LEVEL
FFE 5284.50

BLDG B
FFE 5272.50

BLDG C
FFE 5272.50

EXISTING BARN
INSTALL NEW SSMH TIE EXISTING LATERAL INTO MANHOLE VERIFY LOCATION OF SEWER LATERAL
RIM 5280.64
INV OUT 5268.00

UTILITY KEYNOTES:

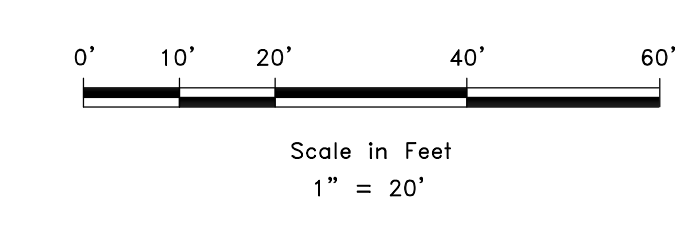
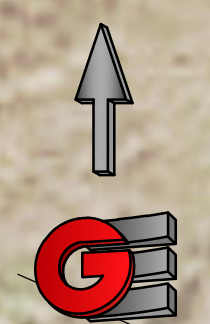
- | | |
|-------------------------------|--------------------------------------|
| 1 EXISTING 8" WATERLINE | 16 PROPOSED STORM DRAIN JUNCTION BOX |
| 2 EXISTING FIRE HYDRANT | 17 PROPOSED WATER METER |
| 3 EXISTING WATER GATE VALVE | 18 PROPOSED IRRIGATION METER |
| 4 EXISTING 8" SEWER LINE | 19 PROPOSED FIRE HYDRANT |
| 5 EXISTING SEWER MH | 20 PROPOSED STORM DRAIN LINE |
| 6 EXISTING SEWER LATERAL | 21 PROPOSED WATER LINE |
| 7 EXISTING IRRIGATION | 22 PROPOSED IRRIGATION LINE |
| 8 EXISTING STORM DRAIN | 23 PROPOSED SEWER LINE |
| 9 EXISTING CATCH BASIN | 24 PROPOSED DRAIN BOXES |
| 10 REMOVE/ABANDON IRRIGATION | 25 EXISTING POWER LINE |
| 11 REMOVE/ABANDON STORM DRAIN | |
| 12 REMOVE/ABANDON SEWER | |
| 13 PROPOSED GATE VALVE | |
| 14 PROPOSED SEWER MANHOLE | |
| 15 PROPOSED CATCH BASIN | |

REVISIONS	DESCRIPTION
DATE	

SITE UTILITY
COMERCIAL CORE AREA
3844 WOLF CREEK DR.
EDEN, WEBER, UTAH

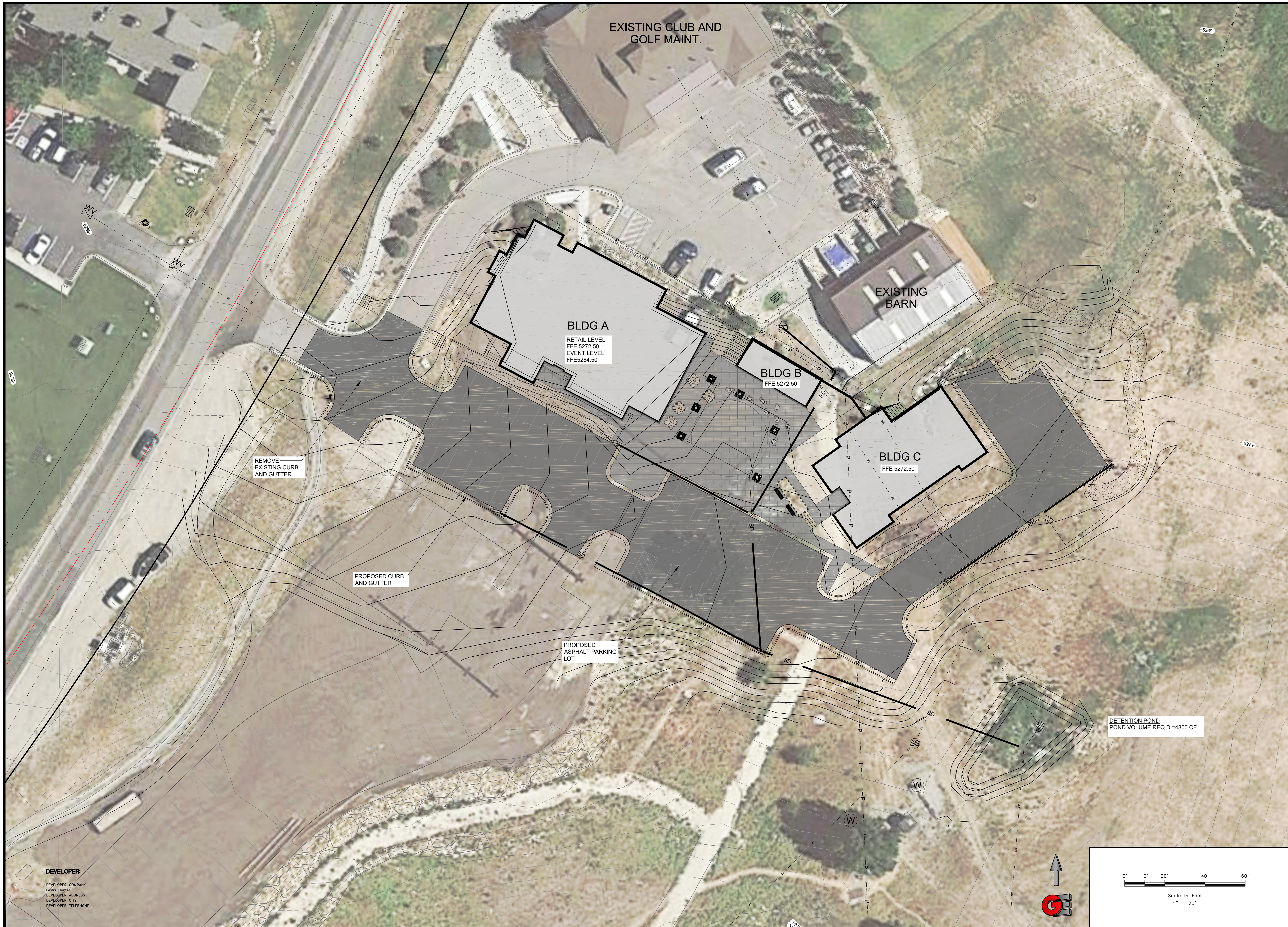
GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 3725 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

DEVELOPER:
DEVELOPER COMPANY
Lewis Hogens
DEVELOPER ADDRESS
DEVELOPER CITY
DEVELOPER TELEPHONE



CE1-01

SCALE: 1" = 20'
DATE: 2-17-17
DESIGN: KAN
DRAWN: KAN
CHECKED: JC
DWG#: RA\1001 - LEWIS HOGENS\1702 - COMERCIAL CORE\DESIGN CORE AREA SITE PLAN 021417.DWG



EXISTING CLUB AND GOLF MAINT.

EXISTING BARN

BLDG A
RETAIL LEVEL
FFE 5272.50
EVENT LEVEL
FFE5284.50

BLDG B
FFE 5272.50

BLDG C
FFE 5272.50

REMOVE
EXISTING CURB
AND GUTTER

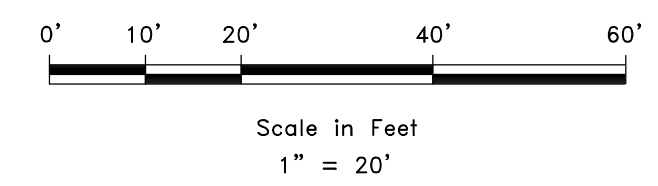
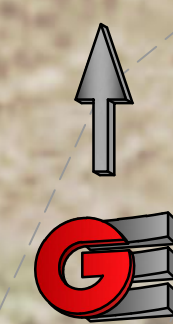
PROPOSED CURB
AND GUTTER

PROPOSED
ASPHALT PARKING
LOT

DETENTION POND
POND VOLUME REQ.D =4800 CF

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DESIGN KAN
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DWG: RA\1001 - LEWIS HOGENS\1702 - COMMERCIAL CORE\DESIGN CORE AREA SITE PLAN 021417.DWG

GRADING

COMERCIAL CORE AREA

3844 WOLF CREEK DR.

EDEN, WEBER, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING

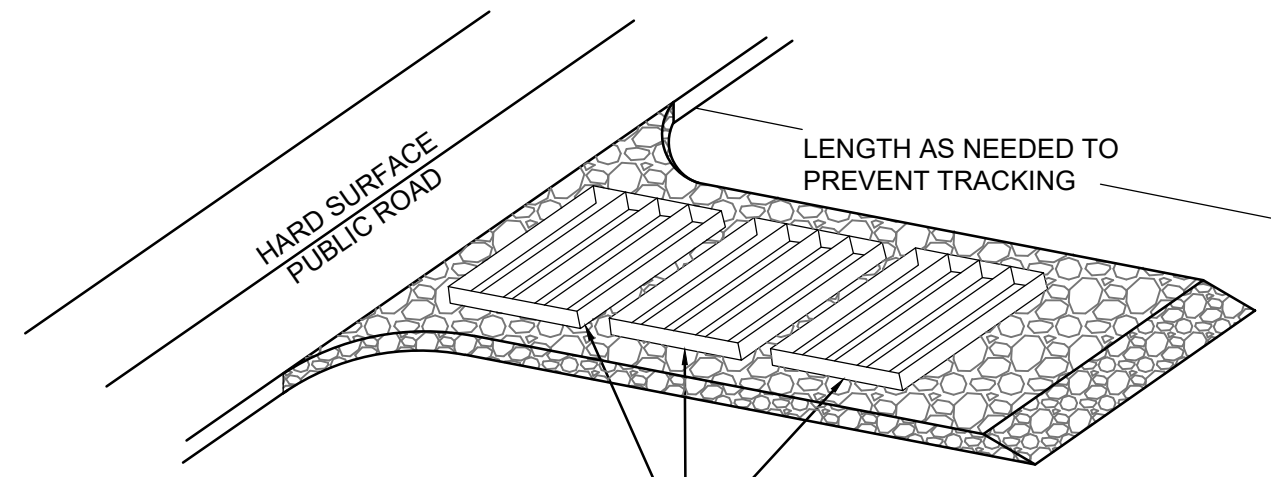
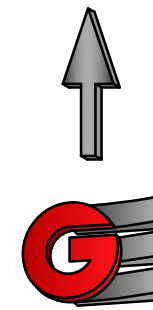


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CE1-02

EROSION CONTROL NOTES:

- SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
- AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
- STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
- THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

ENTRANCE STABILIZATION NOTES:

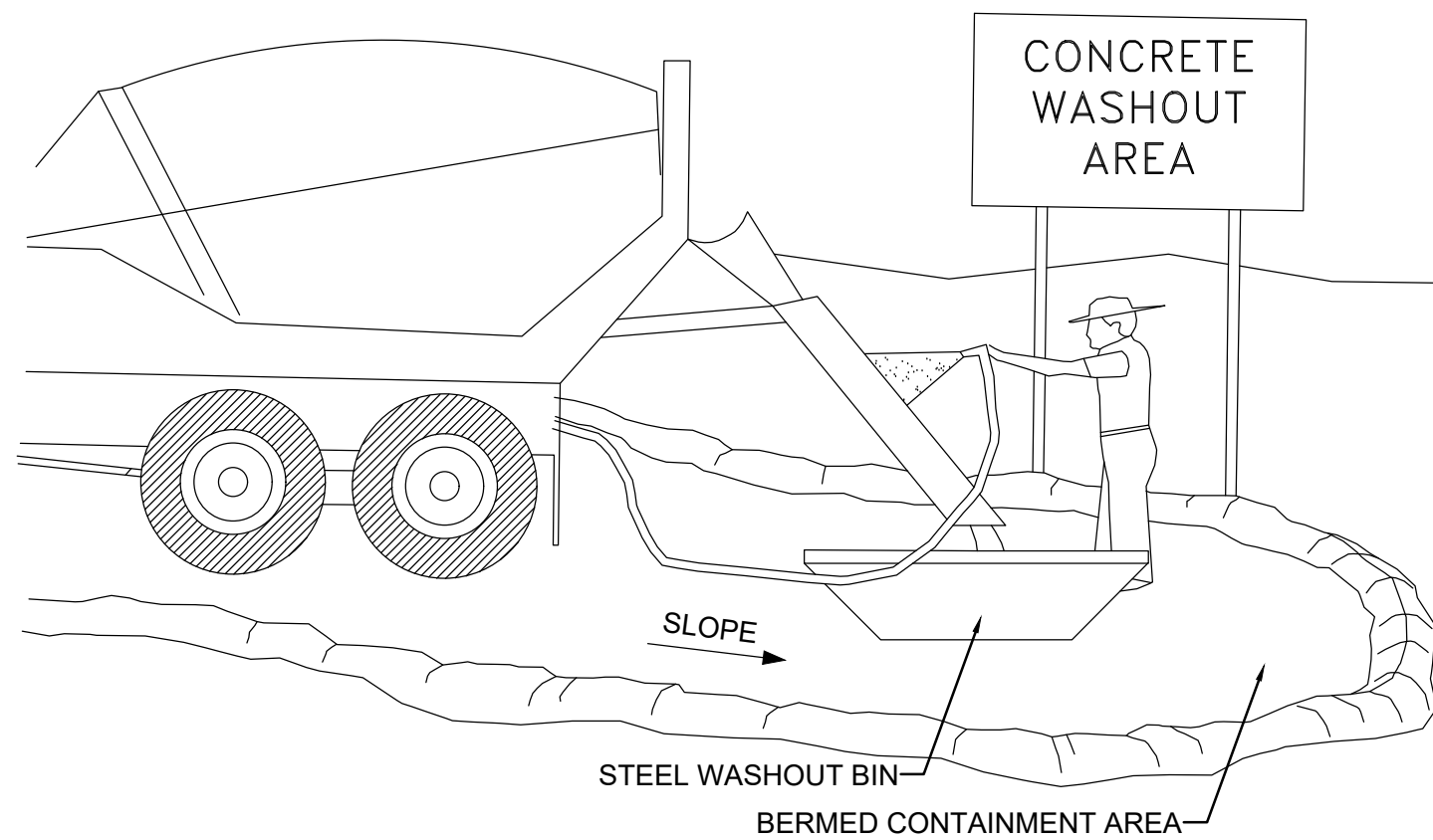
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
 - ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
 - ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

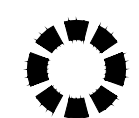
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET



NOTES:

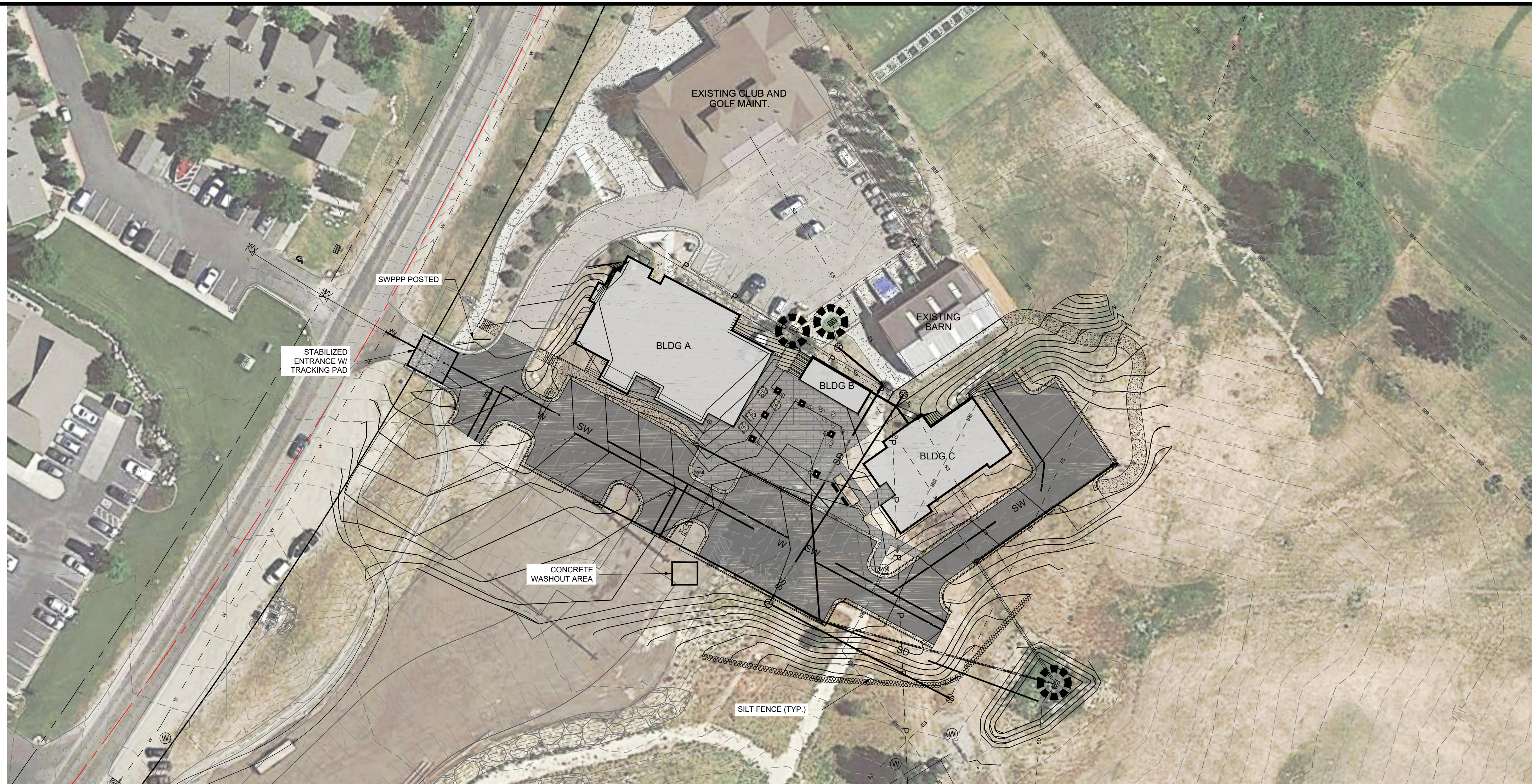
- EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
- ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



INLET PROTECTION (EITHER OPTION)

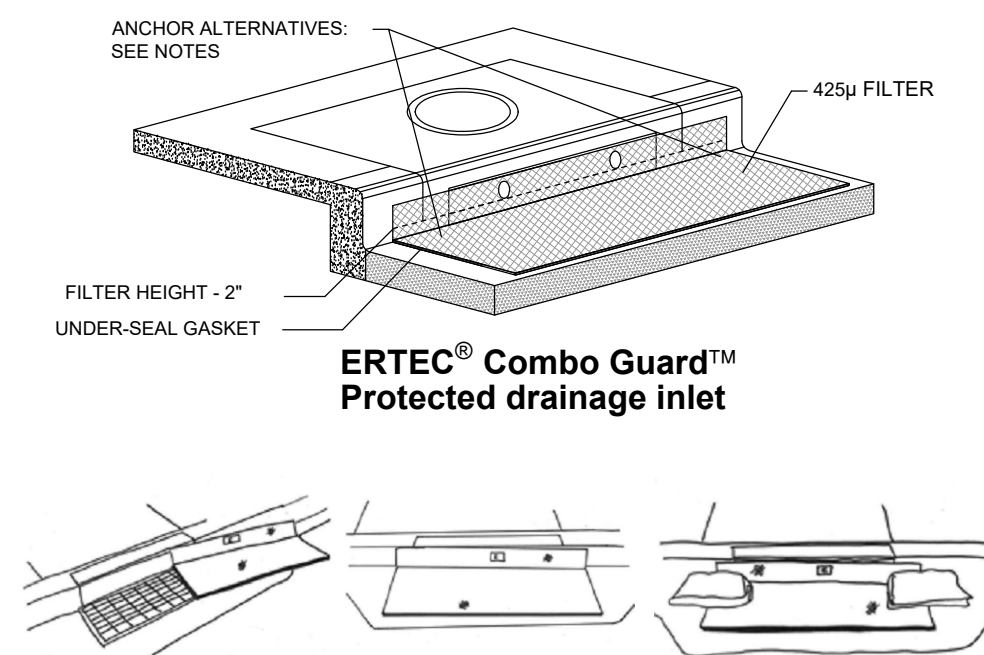


SILT FENCE

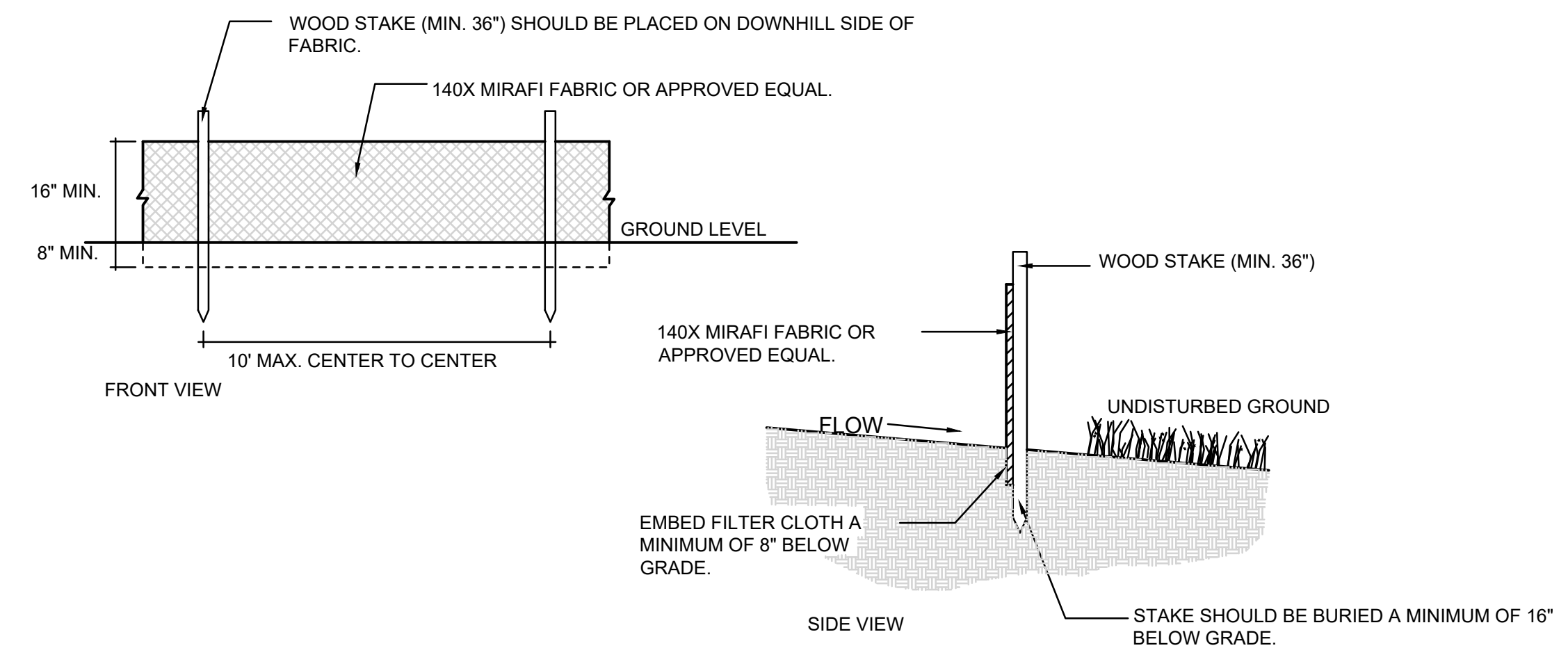


INSTALLATION NOTES

- PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
- OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
- ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
- ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES. CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.



ERTEC® Combo Guard™ Protected drainage inlet

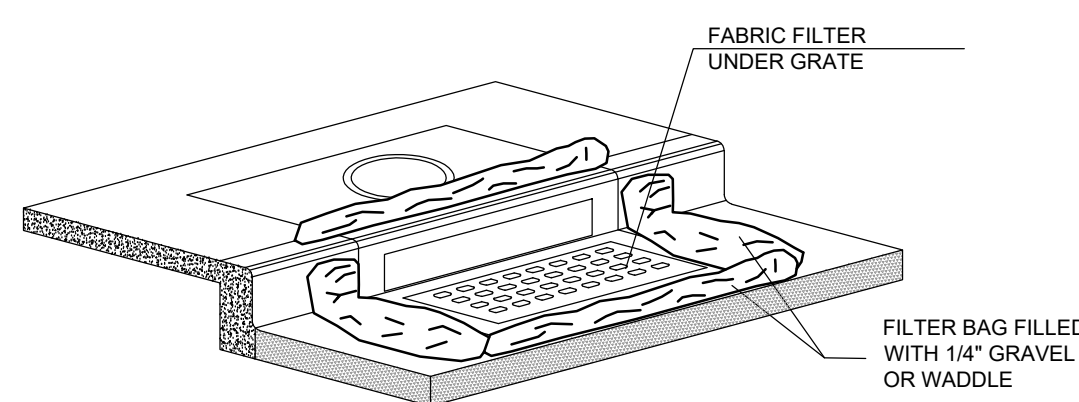


2 SILT FENCE

Scale: NTS

1A INLET PROTECTION - OPTION 1

Scale: NTS



1B INLET PROTECTION - OPTION 2

Scale: NTS

DEVELOPER:

DEVELOPER COMPANY
Lewis Homes
DEVELOPER ADDRESS
DEVELOPER CITY
DEVELOPER TELEPHONE



Scale in Feet
1" = 40'

REVISIONS	DESCRIPTION
DATE	

SCALE: 1" = 40'
DATE: 8-17-17
DESIGN: KAN
DRAWN: KAN
CHECKED: JC

DWG: RA1201 - LEWIS HOMES 1702 - COMMERCIAL CORE/DESIGN CORE AREA SITE PLAN 021417.DWG

SWPPP
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CE1-03