

Sun Crest Meadows Subdivision Phase 1

Weber County, Utah

A Part of the Northwest Quarter of Section 32,
Township 6 North, Range 2 West, Salt Lake Base & Meridian

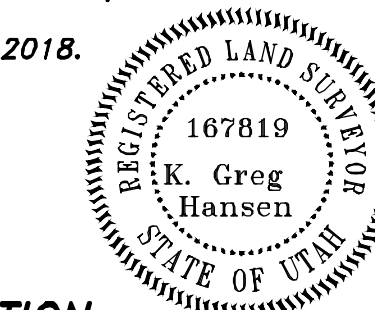
November, 2017

SURVEYOR'S CERTIFICATE

I, K. Greg Hansen, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act; and I have completed a Survey of the property described on this plat in accordance with Section 17-23-17 and have verified all measurements, and have placed monuments as represented on this plat, and have hereby subdivided said tract into eleven (11) lots, known hereafter as Sun Crest Meadows Subdivision Phase 1 in Weber County, Utah, and has been correctly drawn to the designated scale and is true and correct representation of the herein described lands included in said Subdivision, based upon data compiled from records in the Weber County Recorder's Office and from said survey made by me or under my supervision on the ground; I further hereby certify that the requirements of all applicable statutes and ordinances of Weber County concerning Zoning Requirements regarding lot measurements have been complied with.

Signed this _____ day of _____, 2018.

K. Greg Hansen P.L.S.
Utah Land Surveyor License No. 167819



BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 6 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT A POINT ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF 2550 SOUTH STREET LOCATED 807.96 FEET NORTH 89°06'33" WEST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER AND 23.55 FEET SOUTH 00°34'18" WEST FROM THE NORTHEAST CORNER OF SAID SECTION NORTHWEST QUARTER;

RUNNING THENCE SOUTH 00°34'18" WEST 279.45 FEET ALONG THE WEST BOUNDARY LINE OF NIELSEN ACRES SUBDIVISION FILED AS ENTRY NO. 16337888 IN THE FILES OF THE WEBER COUNTY RECORDER TO THE SOUTHWEST CORNER OF SAID NIELSEN ACRES SUBDIVISION; THENCE SOUTH 89°06'33" EAST 233.82 FEET ALONG THE SOUTH BOUNDARY LINE OF SAID NIELSEN ACRES SUBDIVISION; THENCE SOUTH 00°41'00" WEST 232.19 FEET; THENCE NORTH 89°15'50" WEST 6.92 FEET; THENCE TO THE LEFT ALONG THE ARC OF A 220.00 FOOT RADIUS CURVE, A DISTANCE OF 72.65 FEET, CHORD BEARS SOUTH 81°16'19" WEST 72.32 FEET, HAVING A CENTRAL ANGLE OF 18°55'11"; THENCE SOUTH 00°43'54" WEST 246.66 FEET; THENCE NORTH 89°19'00" WEST 406.46 FEET; THENCE NORTH 84°30'36" WEST 61.51 FEET; THENCE NORTH 89°19'00" WEST 267.01 FEET; THENCE NORTH 09°58'17" EAST 149.66 FEET; THENCE NORTH 00°41'00" EAST 615.75 FEET TO SAID EXISTING SOUTH RIGHT-OF-WAY LINE; THENCE SOUTH 89°33'42" EAST 554.73 FEET ALONG SAID EXISTING SOUTH RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING. CONTAINING 11.997 ACRES.

OWNER'S DEDICATION AND CERTIFICATION

Know all men by these presents that we, the undersigned Owners of the above described tract of land having caused the same to be subdivided into lots and streets, as shown on this plat and name said tract Sun Crest Meadows Subdivision Phase 1 and hereby dedicate, grant and convey, in perpetuity, pursuant to the provisions of 17-27a-607, Utah code, without condition, restriction or reservation to Weber County, Utah, all those parts or portions of said tract of land designated as streets the same to be used as public thoroughfares forever, and also dedicate to Weber County those certain strips as easements for public utility and drainage purposes as shown hereon. The same to be used for the installation, maintenance and operation of public utility service lines and drainage as may be authorized by the Governing Authority in witness we have here unto set our signature this _____ day of _____, 2018.

Reed D. Wight Trustee Velda H. Wight Trustee
of the Wight Family Revocable Trust

Michael Nielsen Joint Tenant Natasha M. Nielsen Joint Tenant
of the Michael and Natasha Nielsen Family Trust

TRUST ACKNOWLEDGMENT

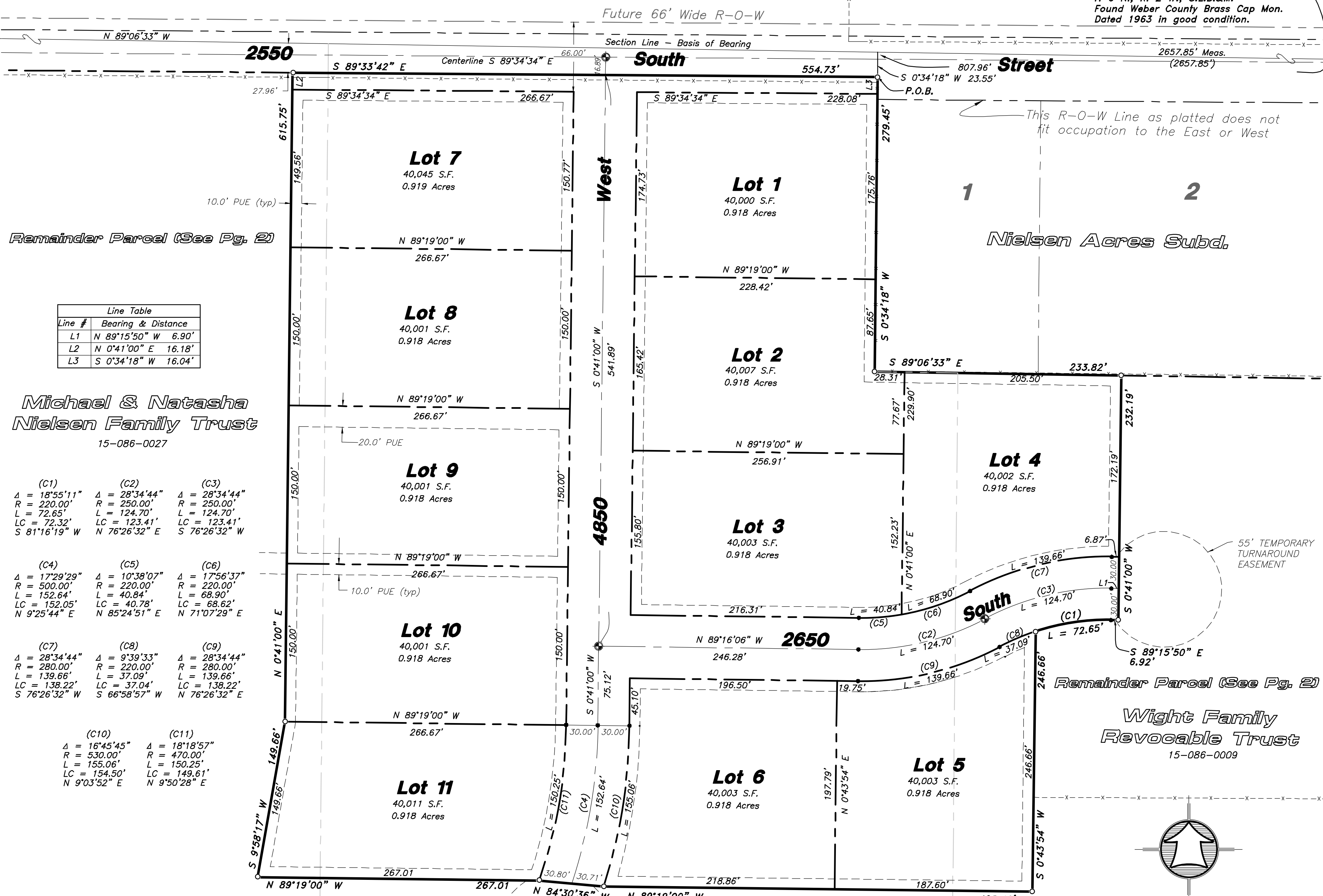
State of Utah
County of Weber
On this _____ day of _____, 20____.
Reed D. Wight and Velda H. Wight, Trustees of the Wight Family Revocable Trust, personally appeared before me, the undersigned notary public in and for said county, in the state of Utah, the signers of the attached owners dedication, two in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned on behalf of said trust.

TRUST ACKNOWLEDGMENT

State of Utah
County of Weber
On this _____ day of _____, 20____.
Michael Nielsen and Natasha M. Nielsen as joint tenants of the Michael and Natasha Nielsen Family Trust, personally appeared before me, the undersigned notary public in and for said county, in the state of Utah, the signers of the attached owners dedication, two in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned on behalf of said trust.

Northwest Corner of Section 32,
T. 6 N., R. 2 W., S.L.B.&M.
Found Weber County Brass Cap Mon.
Dated 2003 in good condition.

North Quarter Corner of Section 32,
T. 6 N., R. 2 W., S.L.B.&M.
Found Weber County Brass Cap Mon.
Dated 1963 in good condition.



LEGEND

- Subject Property Line
- Interior Lot Lines
- Adjoining Property Line
- Previous Property Line
- Centerline
- Public Utility Easement (PUE)
- Ditch
- Field Separation Line
- Fence Line (Wire)
- Fence Line (wood or Vinyl)
- Street Monument
- Found rebar set by others
- Set 5/8"x24" Rebar With Cap
- Section Corner

Michael & Natasha
Nielsen Family Trust

15-086-0027

WEBER COUNTY ENGINEER

I hereby certify that the Required Public Improvement Standards and Drawings for this Subdivision Conform with the County Standards and the Amount of the Financial Guarantee is Sufficient for the Installation of these Improvements.
Signed this _____ Day of _____, 2018.

Weber County Engineer

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has Reviewed this Plat and all conditions for approval by this office have been satisfied. The approval of this Plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.
Signed this _____ Day of _____, 2018.

Weber County Surveyor

AGRICULTURAL NOTE

Agriculture is the preferred use in the Agriculture Zones. Agriculture operations as specified in the zoning ordinance for a particular zone are permitted at any time including the operation of farm machinery and no allowed agriculture use shall be subject to restriction on that it interferes with activities of future residents of this subdivision

All Public Utility Easements are 10.0' Wide Unless Noted Otherwise.

Rebar w/HAI cap or curb nail set on all Property Corners.

Developer:
Blackburn Jones
905 24th Street
Ogden, Utah 84404
(801) 776-0068



HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hais.net
Brigham City Ogden Logan
(435) 723-3491 (801) 399-4905 (435) 752-8272

NARRATIVE

The Purpose of this Survey was to Establish and set the Property Corners of the 11 Lot Subdivision as Shown and Described Hereon. This Survey was Ordered by Carson Jones of Blackburn Jones. The POB for this Subdivision is on the projection of the west boundary line of the Nielsen Acres Subdivision. The new south right-of-way line of 2550 South Street is that which seems to fit in best harmony for a future 66' wide right-of-way. Said south right-of-way line does not line up with that as platted on the Nielsen Acres Subdivision. The Control used to Establish the Property Corners was the Existing Weber County Surveyor Monumentation Surrounding Section 32, Township 6 North, Range 2 West, S.L.B.&M. The basis of bearing is the North line of the Northwest Quarter of said Section which bears North 89°06'33" West, Utah North, State Plane, Calculated N.A.D.83 Bearing.

WEBER COUNTY COMMISSION ACCEPTANCE

This is to Certify that this Subdivision Plat, the Dedication of Streets and other Public Ways and Financial Guarantee of Public Improvements Associated with this Subdivision, Thereon are Hereby Approved and Accepted by the Commissioners of Weber County Utah
Signed this _____ Day of _____, 2018.

Chairman, Weber County Commission

AHest

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to Certify that this Subdivision Plat was Duly Approved by the Weber County Planning Commission.
Signed this _____ Day of _____, 2018.

Chairman, Weber County Planning Commission

Weber County Attorney

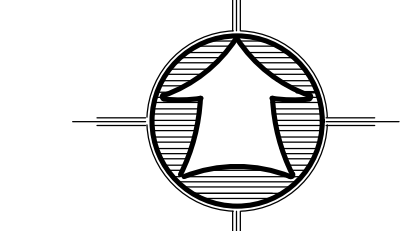
WEBER COUNTY ATTORNEY

I Have Examined the Financial Guarantee and Other Documents Associated with this Subdivision Plat, and in my Opinion they Conform with the County Ordinance Applicable Thereto and now in Force and Affect
Signed this _____ Day of _____, 2018.

WEBER-MORGAN HEALTH DEPARTMENT

I hereby certify that the Soils, Percolation Rates, and Site Conditions for this Subdivision have been Investigated by this Office and are Approved for On-Site Wastewater Disposal Systems.
Signed this _____ Day of _____, 2018.

Weber-Morgan Health Department



Scale: 1" = 60'
Scale in Feet
(Data in Parentheses is Record)

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND

RECORDED _____

IN BOOK _____ OF OFFICIAL

RECORDS, PAGE _____ RECORDED

FOR _____

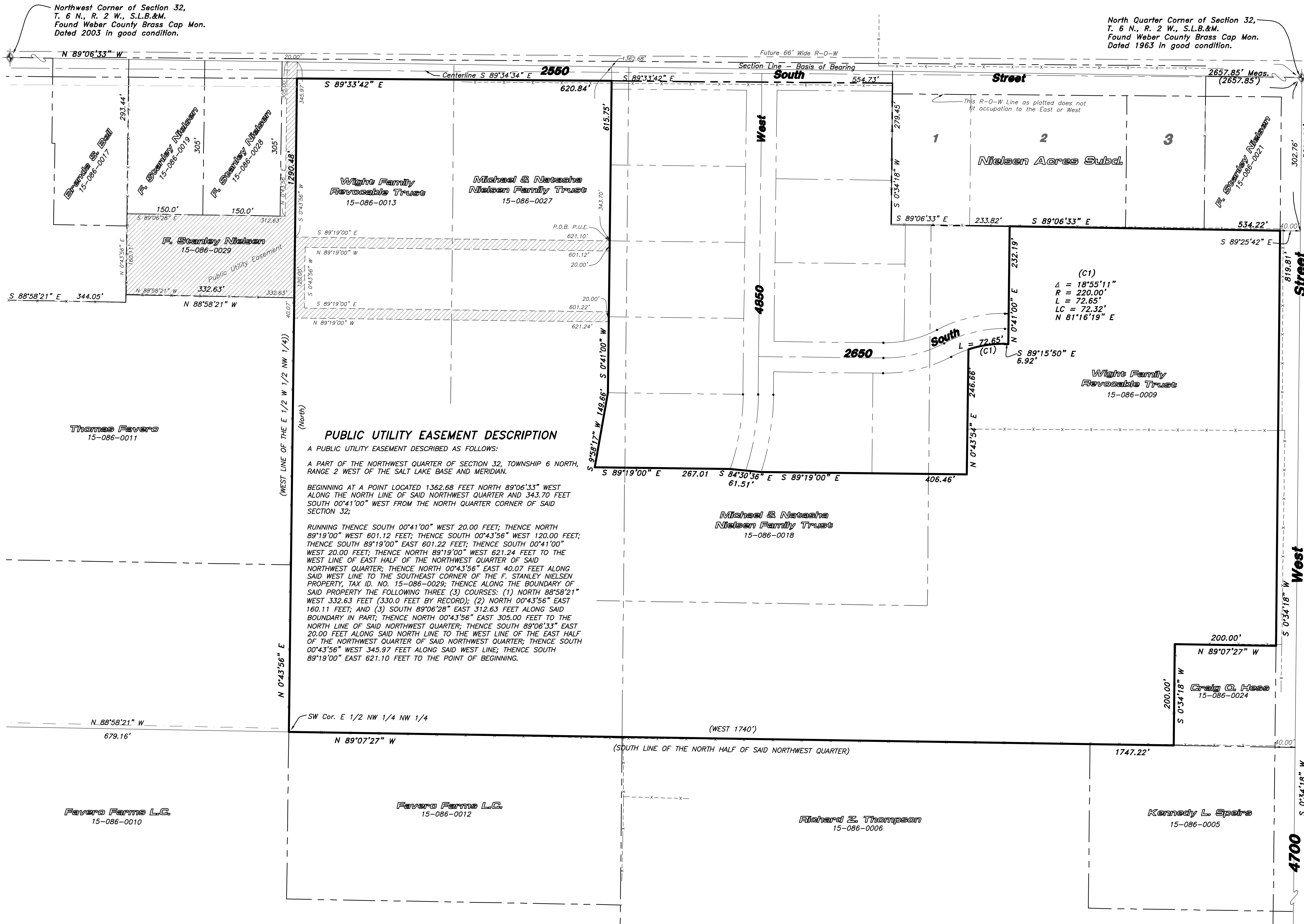
COUNTY RECORDER

BY: _____ DEPUTY

Sun Crest Meadows Subdivision Phase 1

Weber County, Utah

A Part of the Northwest Quarter of Section 32,
Township 6 North, Range 2 West, Salt Lake Base & Meridian



Northwest Corner of Section 32,
T. 6 N., R. 2 W., S.L.B.&M.
Found Weber County Brass Cap Mon.
Dated 2003 in good condition.

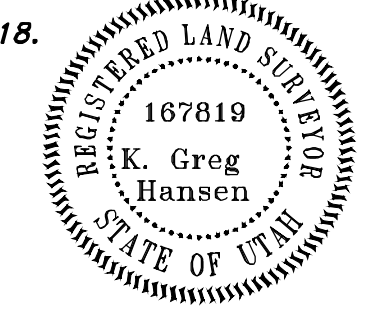
North Quarter Corner of Section 32,
T. 6 N., R. 2 W., S.L.B.&M.
Found Weber County Brass Cap Mon.
Dated 1963 in good condition.

SURVEYOR'S CERTIFICATE

I, K. Greg Hansen, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act; and I have completed a Survey of the property described on this plat in accordance with Section 17-23-17 and have verified all measurements, and have placed monuments as represented on this plat, and have hereby subdivided said tract into eleven (11) lots, known hereafter as Sun Crest Meadows Subdivision Phase 1 in Weber County, Utah, and has been correctly drawn to the designated scale and is true and correct representation of the herein described lands included in said Subdivision, based upon data compiled from records in the Weber County Recorder's Office and from said survey made by me or under my supervision on the ground. I further hereby certify that the requirements of all applicable statutes and ordinances of Weber County Concerning Zoning Requirements regarding lot measurements have been complied with.

Signed this _____ day of _____, 2018.

K. Greg Hansen P.L.S.
Utah Land Surveyor License No. 167819



BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 6 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT THE SOUTHEAST CORNER OF THE F. STANLEY NIELSEN PROPERTY FILED AS ENTRY NO. 2822142 IN THE WEBER COUNTY RECORDER OFFICE, BEING A POINT LOCATED 302.76 FEET SOUTH 00°34'18" WEST ALONG THE EAST LINE OF SAID NORTHWEST QUARTER AND 40.00 FEET NORTH 89°25'42" WEST FROM THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER;

RUNNING THENCE SOUTH 00°34'18" WEST 819.81 FEET (817 FEET BY RECORD) ALONG SAID WEST RIGHT-OF-WAY LINE TO THE NORTHEAST PROPERTY CORNER OF THE CRAIG O. HESS PROPERTY, FILED AS ENTRY NO. 1122274 IN THE FILES OF THE WEBER COUNTY RECORDER; THENCE ALONG THE BOUNDARY LINE OF SAID HESS PROPERTY THE FOLLOWING TWO (2) COURSES; (1) NORTH 89°07'27" WEST 200.00 FEET; AND (2) SOUTH 00°34'18" WEST 200.00 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID NORTHWEST QUARTER BEING A POINT ON THE NORTH BOUNDARY LINE OF THE KENNEDY L. SPEIRS PROPERTY, FILED AS ENTRY NO. 2814936; THENCE NORTH 89°07'27" WEST 1747.22 FEET (WEST 1740 FEET BY RECORD) ALONG SAID SOUTH BOUNDARY LINE TO THE SOUTHWEST CORNER OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER; THENCE NORTH 00°43'56" EAST 1290.48 FEET ALONG THE WEST LINE OF SAID EAST HALF TO THE SOUTH RIGHT-OF-WAY LINE OF 2550 SOUTH STREET; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE SOUTH 89°33'42" EAST 620.84 FEET; THENCE SOUTH 00°41'00" WEST 615.75 FEET; THENCE SOUTH 09°58'17" WEST 149.66 FEET; THENCE SOUTH 89°19'00" EAST 267.01 FEET; THENCE SOUTH 84°30'36" EAST 61.51 FEET; THENCE SOUTH 89°19'00" EAST 406.46 FEET; THENCE NORTH 00°43'54" EAST 246.66 FEET; THENCE IN A EASTERLY DIRECTION TO THE RIGHT OF A NON-TANGENT 220.00 FOOT CURVE, A DISTANCE OF 72.65 FEET, CHORD BEARS NORTH 81°16'19" EAST 72.32 FEET, HAVING A CENTRAL ANGLE OF 18°55'11"; THENCE SOUTH 89°15'50" EAST 6.92 FEET; THENCE NORTH 00°41'00" EAST 232.19 FEET TO THE SOUTH BOUNDARY LINE OF NIELSEN ACRES SUBDIVISION FILED AS ENTRY NO. 1637888; THENCE ALONG THE SOUTH BOUNDARY LINE OF SAID NIELSEN ACRES SUBDIVISION AND THEN SAID F. STANLEY NIELSEN PROPERTY SOUTH 89°06'33" EAST 534.22 FEET TO THE POINT OF BEGINNING. CONTAINING 40.07 ACRES.

PUBLIC UTILITY EASEMENT DESCRIPTION

A PUBLIC UTILITY EASEMENT DESCRIBED AS FOLLOWS:

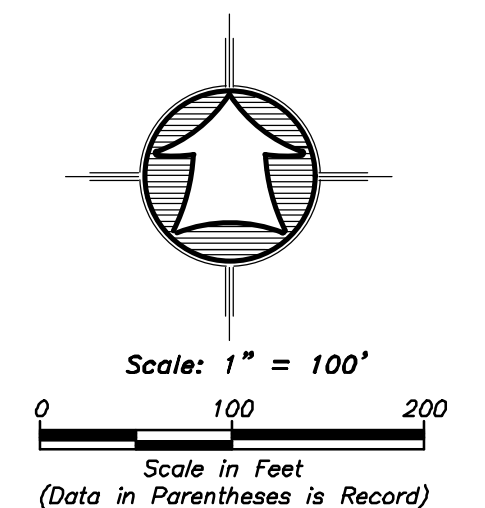
A PART OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 6 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT A POINT LOCATED 1362.68 FEET NORTH 89°06'33" WEST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER AND 343.70 FEET SOUTH 00°41'00" WEST FROM THE NORTH QUARTER CORNER OF SAID SECTION 32;

RUNNING THENCE SOUTH 00°41'00" WEST 20.00 FEET; THENCE NORTH 89°19'00" WEST 801.12 FEET; THENCE SOUTH 00°43'56" WEST 120.00 FEET; THENCE SOUTH 89°19'00" EAST 601.22 FEET; THENCE SOUTH 00°41'00" WEST 20.00 FEET; THENCE NORTH 89°19'00" WEST 621.24 FEET TO THE WEST LINE OF EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER; THENCE NORTH 00°43'56" EAST 40.07 FEET ALONG SAID WEST LINE TO THE SOUTHEAST CORNER OF THE F. STANLEY NIELSEN PROPERTY, TAX ID, NO. 15-086-0029; THENCE ALONG THE BOUNDARY OF SAID PROPERTY THE FOLLOWING THREE (3) COURSES: (1) NORTH 89°39'21" WEST 332.63 FEET (330.0 FEET BY RECORD); (2) NORTH 00°43'56" EAST 160.11 FEET; AND (3) SOUTH 89°06'28" EAST 312.63 FEET ALONG SAID BOUNDARY IN PART; THENCE NORTH 00°43'56" EAST 305.00 FEET TO THE NORTH LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 89°06'33" EAST 20.00 FEET ALONG SAID NORTH LINE TO THE WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER; THENCE SOUTH 00°43'56" WEST 343.97 FEET ALONG SAID WEST LINE; THENCE SOUTH 89°19'00" EAST 621.10 FEET TO THE POINT OF BEGINNING.

(C1)
Δ = 18°55'11"
R = 220.00'
L = 72.65'
LC = 72.32'
N 81°16'19" E

- ### LEGEND
- Subject Property Line
 - - - Interior Lot Lines
 - - - Adjoining Property Line
 - - - Previous Property Line
 - - - Centerline
 - - - Public Utility Easement (PUE)
 - - - Ditch
 - - - Field Separation Line
 - - - Fence Line (Wire)
 - - - Fence Line (wood or Vinyl)
 - Street Monument
 - Found rebar set by others
 - Set 5/8"x24" Rebar With Cap
 - Section Corner



WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

FILED FOR RECORD AND RECORDED _____

IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____

COUNTY RECORDER

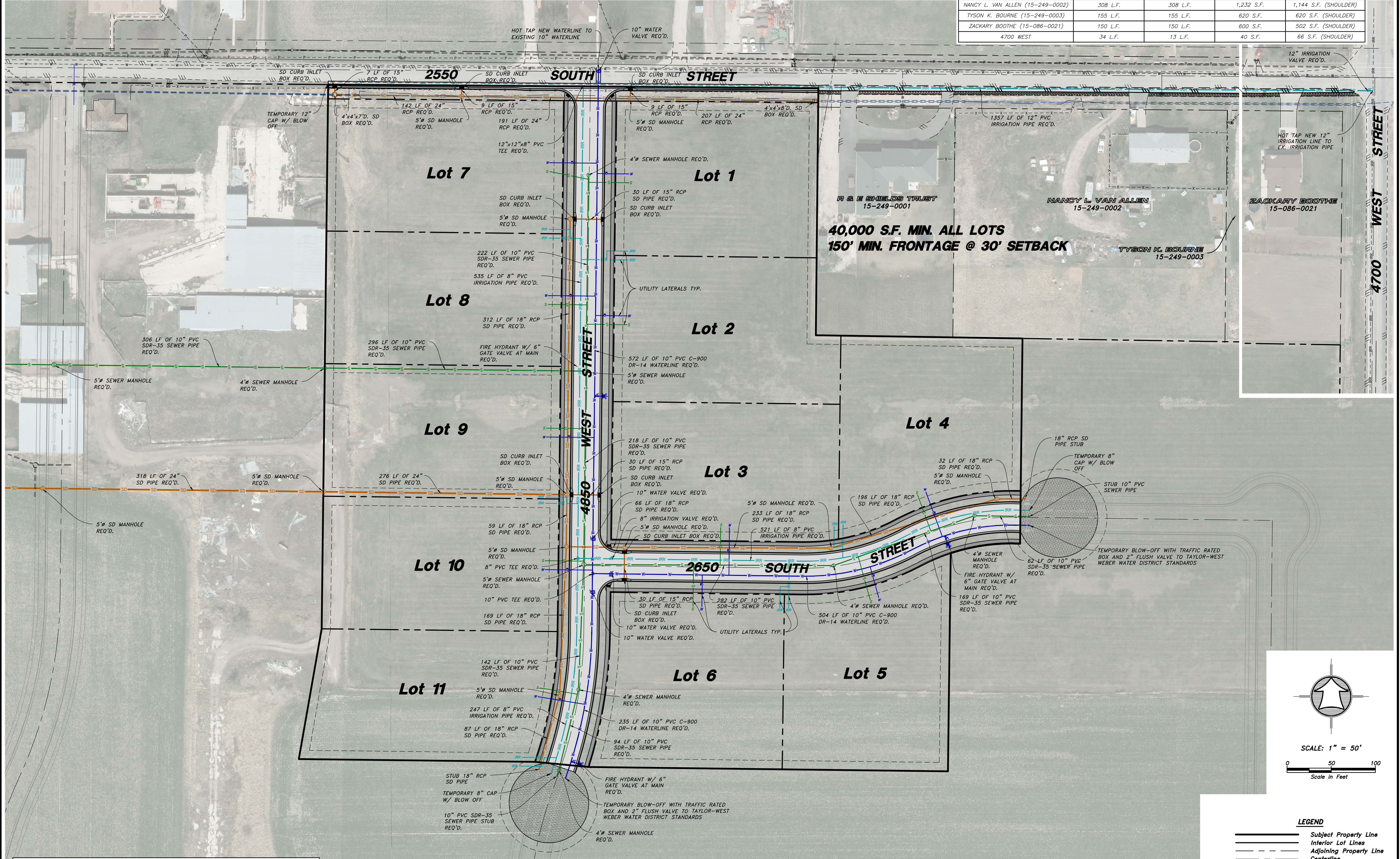
BY: _____ DEPUTY

HANSEN & ASSOCIATES, INC.
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538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Brigham City Ogden Logan
(435) 723-3491 (801) 399-4905 (435) 752-8272

SUN CREST MEADOWS SUBDIVISION PHASE 1

MASTER UTILITY PLAN

2550 SOUTH IMPROVEMENTS				
PROPERTY OWNER TO SOUTH	12" PVC IRRIGATION PIPE REQ'D.	SAW-CUT EXISTING ASPHALT REQ'D.	4' ASPHALT ROAD WIDENING REQ'D.	CURB & GUTTER/ 4' WIDE SHOULDER REQ'D.
SUN CREST MEADOWS (LOTS 1 & 7)	555 L.F.	555 L.F.	3,108 S.F.	526 L.F. (CURB & GUTTER)
R & E SHIELDS TRUST (15-249-0001)	155 L.F.	155 L.F.	620 S.F.	485 S.F. (SHOULDER)
NANCY L. VAN ALLEN (15-249-0002)	308 L.F.	308 L.F.	1,232 S.F.	1,144 S.F. (SHOULDER)
TYSON K. BOURNE (15-249-0003)	155 L.F.	155 L.F.	620 S.F.	620 S.F. (SHOULDER)
ZACKARY BOOTHE (15-086-0021)	150 L.F.	150 L.F.	600 S.F.	502 S.F. (SHOULDER)
4700 WEST	34 L.F.	13 L.F.	40 S.F.	66 S.F. (SHOULDER)



SS = WEBER COUNTY/CENTRAL WEBER SEWER DISTRICT
 W = TAYLOR-WEST WEBER WATER IMPROVEMENT DISTRICT
 I = HOOPER IRRIGATION DISTRICT

LEGEND

	Subject Property Line
	Interior Lot Lines
	Adjoining Property Line
	Centerline
	Sewer Line
	Water Line
	Irrigation Line

HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hanzen.net
 Logan
 Brigham City
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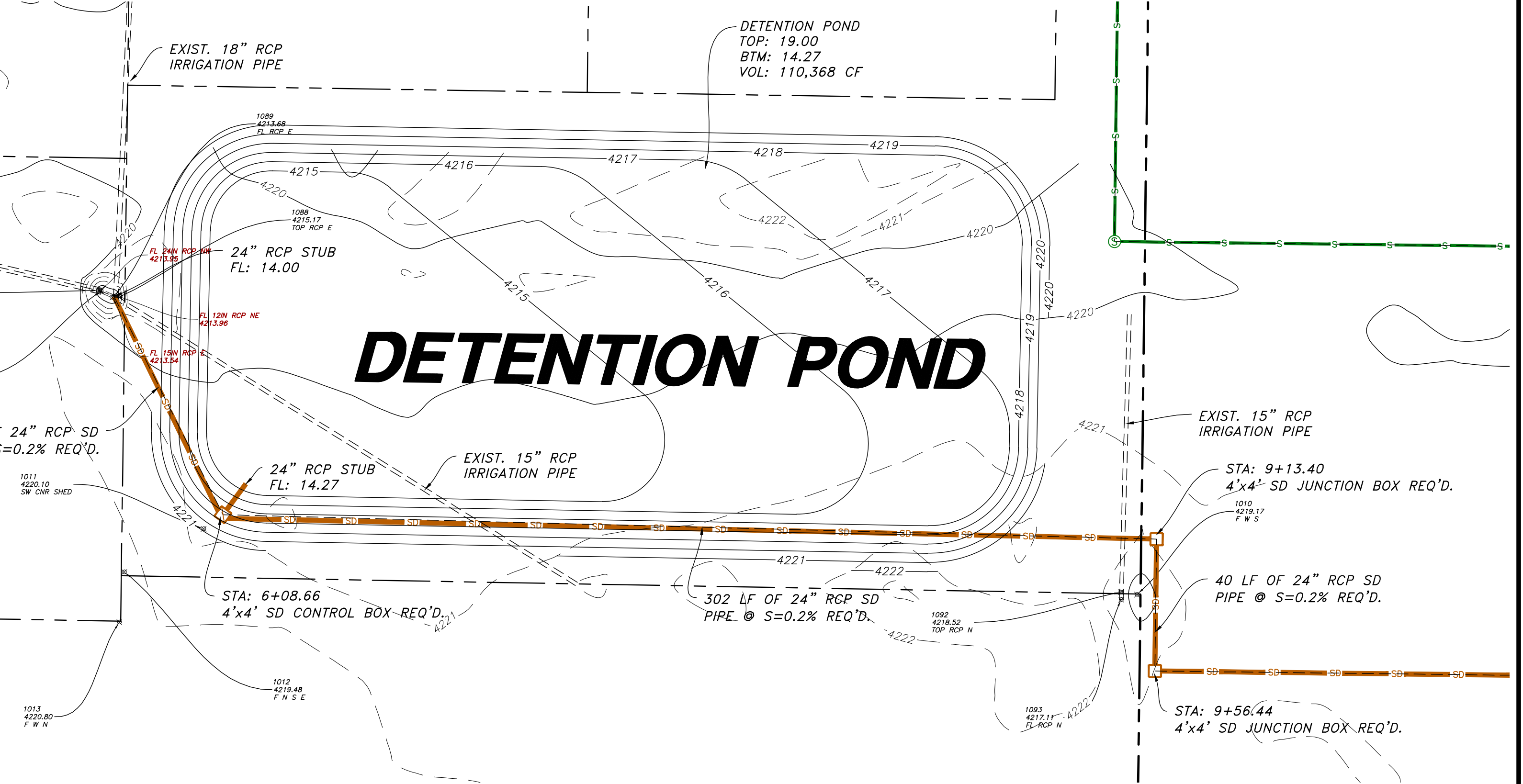
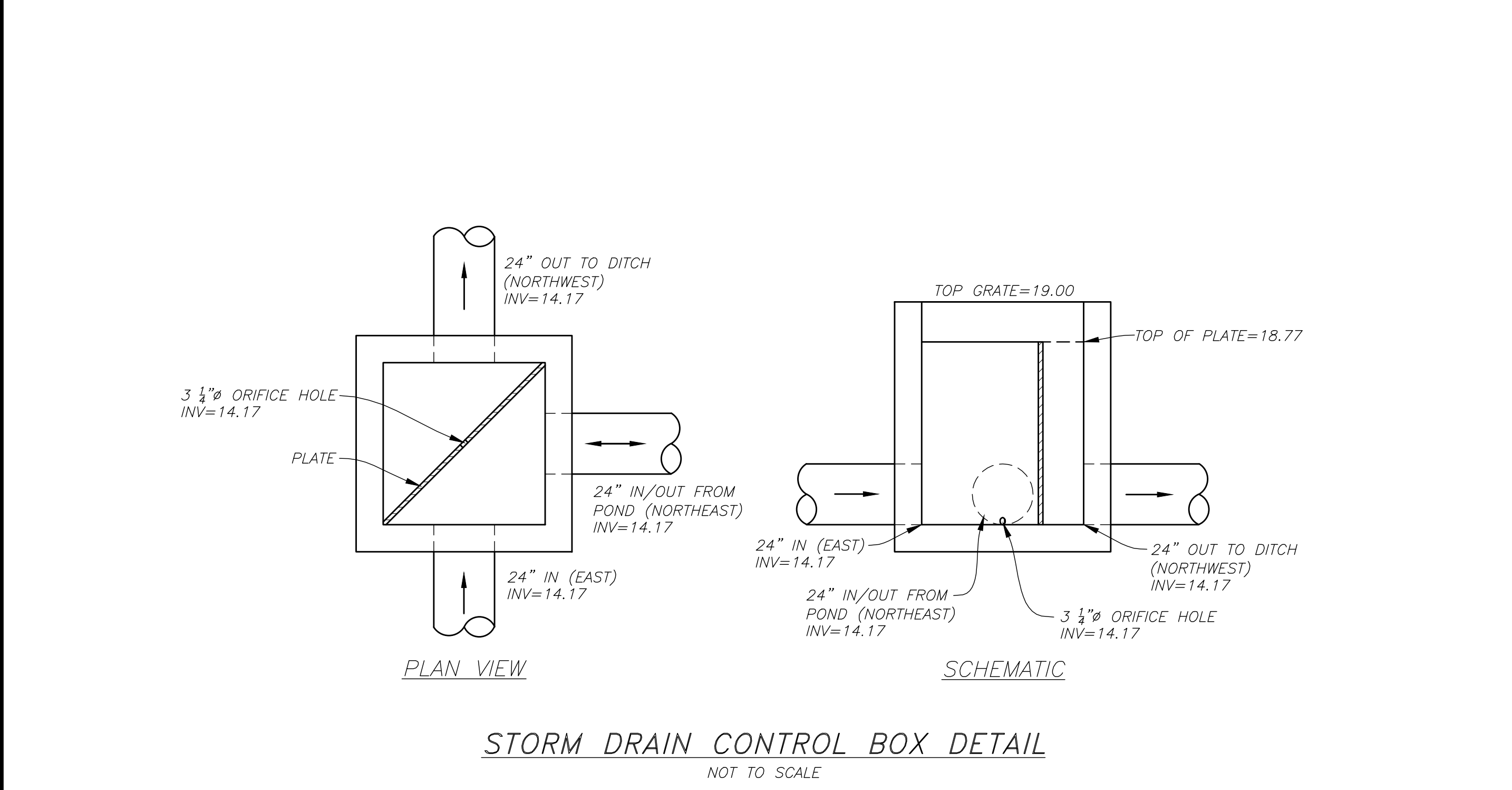
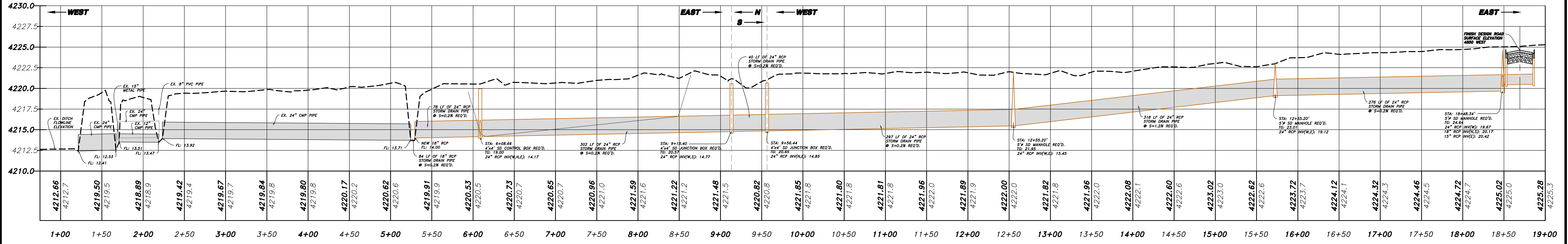
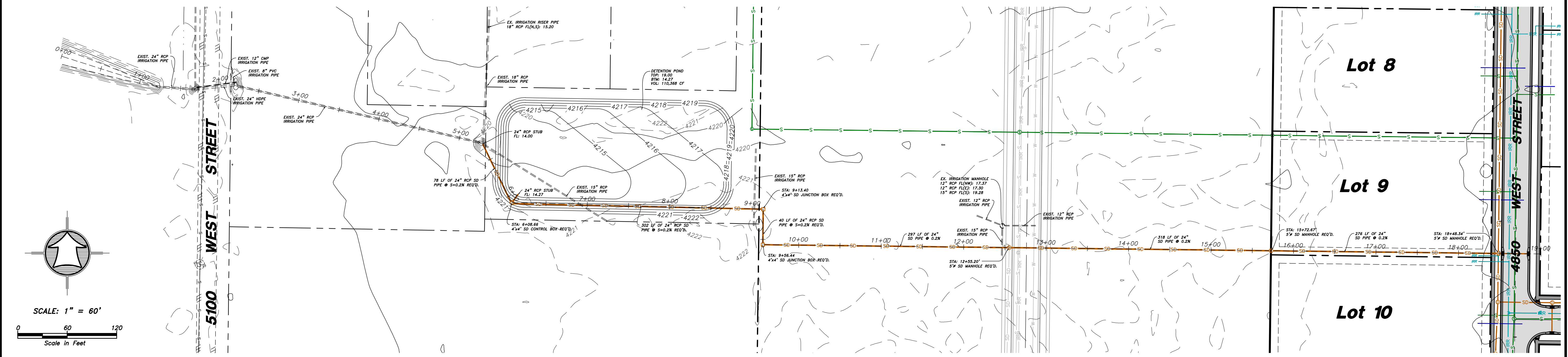
Drawn By: MTH Date: 08/02/18
 Designed By:
 Checked By:
 Approved By:
 Scale: 1" = 50'
 Drawing File: 16-10516(07-02-18)
 JOB NUMBER: 16-105

MASTER UTILITY PLAN FOR
SUN CREST MEADOWS
SUBDIVISION PHASE 1
 2550 NORTH 4900 WEST
 TAYLOR, UT 84401

Sheet
2
 of
12
 Sheets

SUN CREST MEADOWS SUBDIVISION PHASE 1

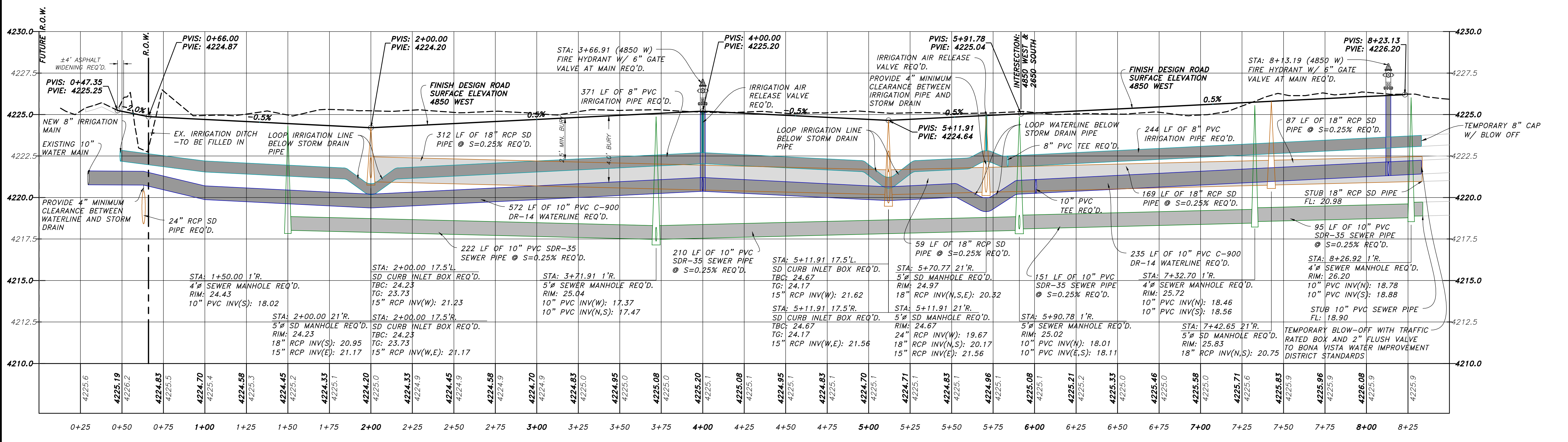
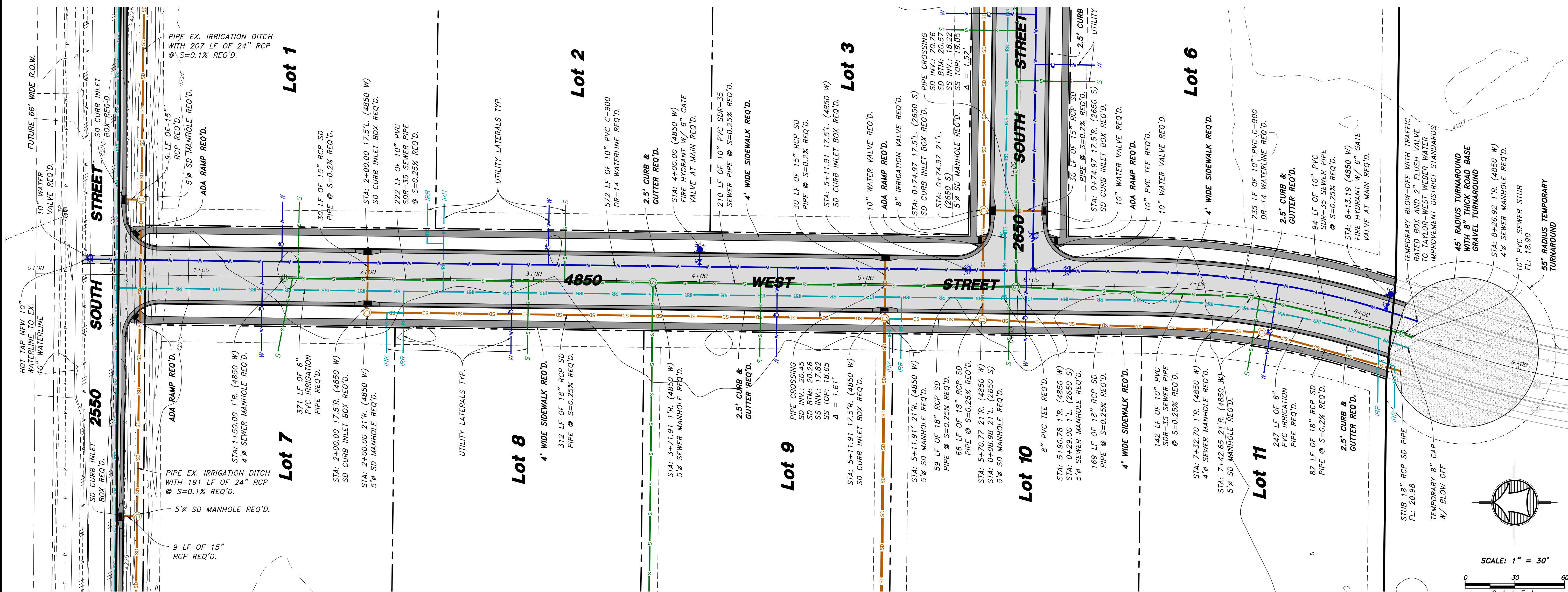
OFF-SITE STORM DRAIN PLAN & PROFILE



<p>Drawn By: MTH Date: 08/02/18</p> <p>Designed By: _____</p> <p>Checked By: _____</p> <p>Approved By: _____</p> <p>Scale: 1" = 60'</p> <p>Drawing File: 16-10516(07-02-18)</p> <p>JOB NUMBER: 16-105</p>	<p style="text-align: right;">Revision</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">No.</td> <td style="width: 10%;">Date</td> <td style="width: 10%;">By</td> <td style="width: 10%;">Description</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Date	By	Description				
No.	Date	By	Description						
<p>HANSEN & ASSOCIATES, INC. Consulting Engineers and Land Surveyors 538 North Main Street, Brigham, Utah 84302 Visit us at www.hansen.net Logan, Utah (435) 723-3491 (801) 399-4905 (435) 752-8272</p>									
<p>HAI</p>									
<p>OFF-SITE STORM DRAIN PLAN & PROFILE</p> <p>SUN CREST MEADOWS SUBDIVISION PHASE 1</p> <p>2550 NORTH 4900 WEST TAYLOR, UT 84401</p>									
<p>Sheet 4 of 12 Sheets</p>									

SUN CREST MEADOWS SUBDIVISION PHASE 1

4850 WEST PLAN AND PROFILE



HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.haies.net
 Logan
 Ogden
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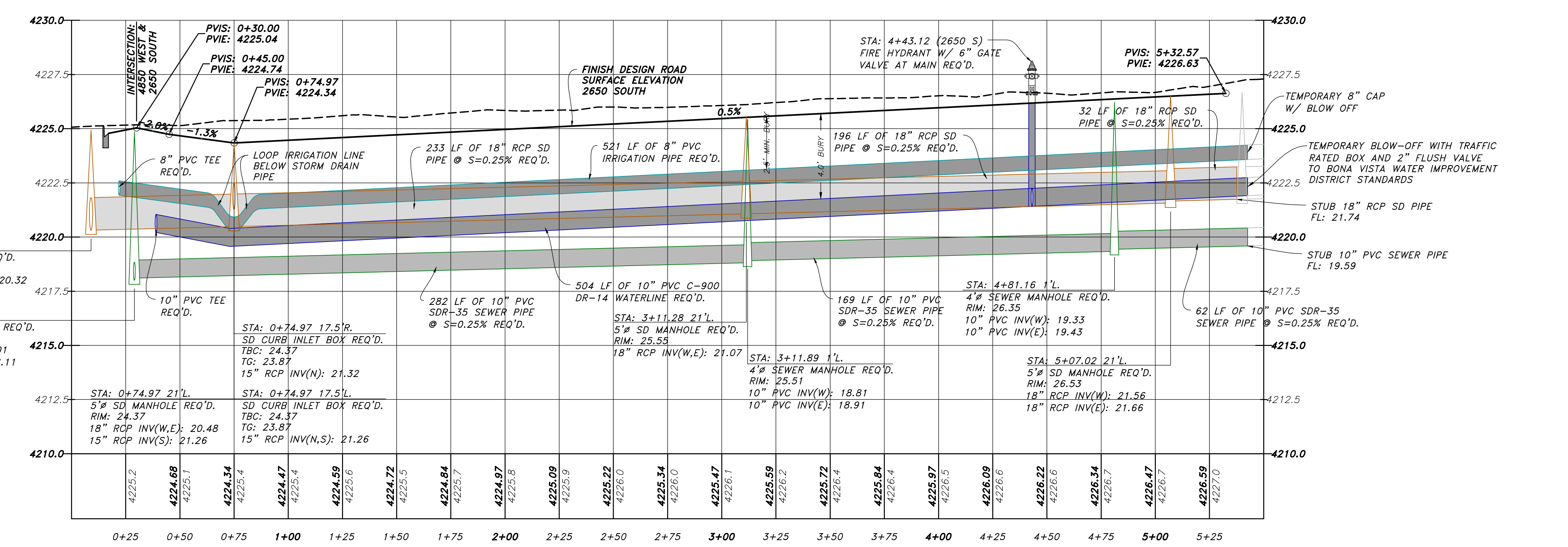
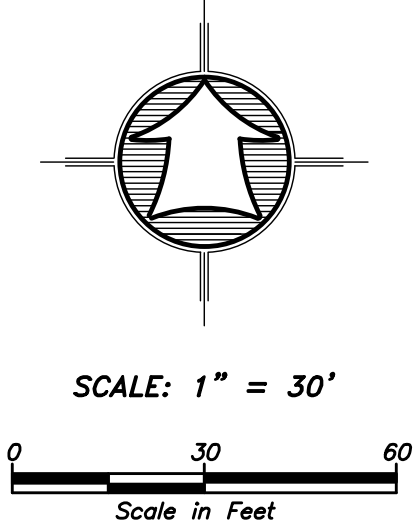
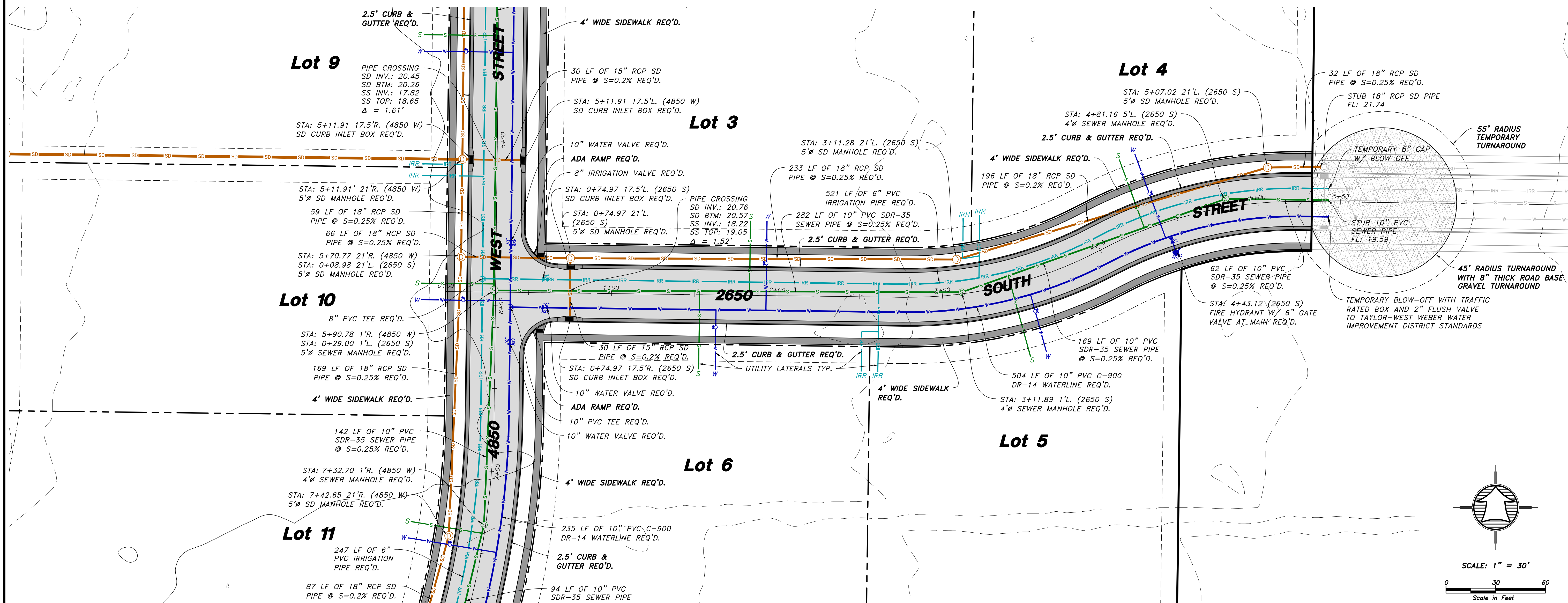
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 Designed By:
 Checked By:
 Approved By:
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 Drawing File: 16-105/16(07-02-18)
 JOB NUMBER: 16-105

SUN CREST MEADOWS SUBDIVISION PHASE 1

4850 WEST PLAN & PROFILE

SUN CREST MEADOWS SUBDIVISION PHASE 1

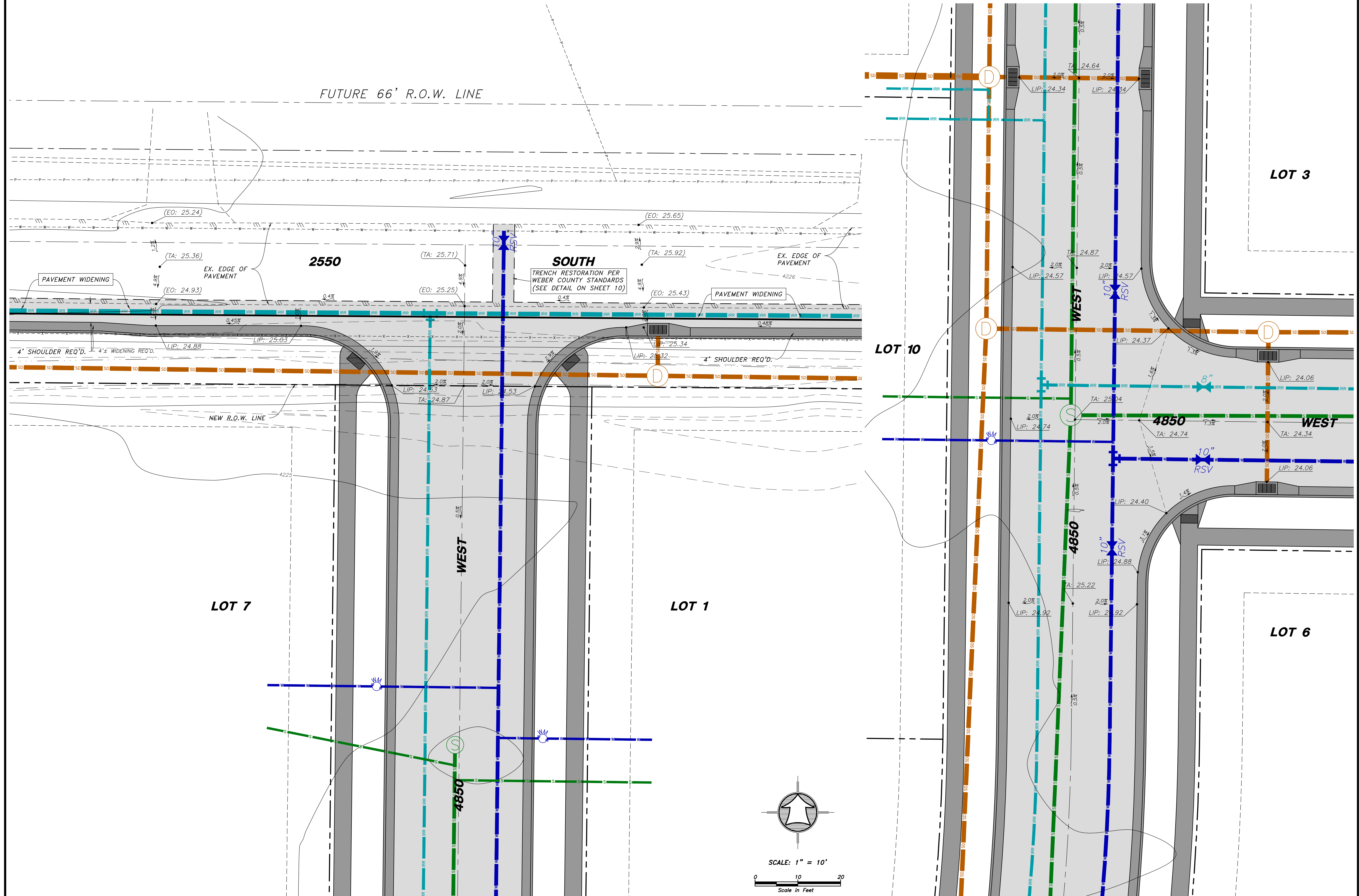
2650 SOUTH PLAN AND PROFILE



<p>Drawn By: MTH Date: 08/02/18</p> <p>Designed By: _____</p> <p>Checked By: _____</p> <p>Approved By: _____</p> <p>Scale: 1" = 30"</p> <p>Drawing File: 16-105/16(07-02-18)</p> <p>JOB NUMBER: 16-105</p>	<p>No. _____</p> <p>Date _____</p> <p>By _____</p>
<p>HANSEN & ASSOCIATES, INC. Consulting Engineers and Land Surveyors 538 North Main Street, Brigham, Utah 84302 Visit us at www.hansen.net Logan, Utah (435) 752-4272</p>	
<p>HAI</p>	
<p>2650 SOUTH PLAN & PROFILE</p> <p>SUN CREST MEADOWS SUBDIVISION PHASE 1</p> <p>2550 NORTH 4900 WEST TAYLOR, UT 84401</p>	
<p>Sheet 6 of 12 Sheets</p>	

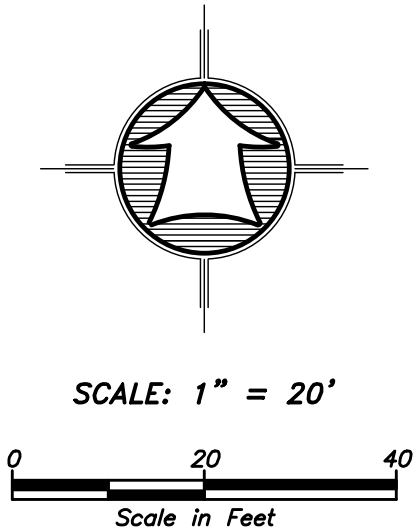
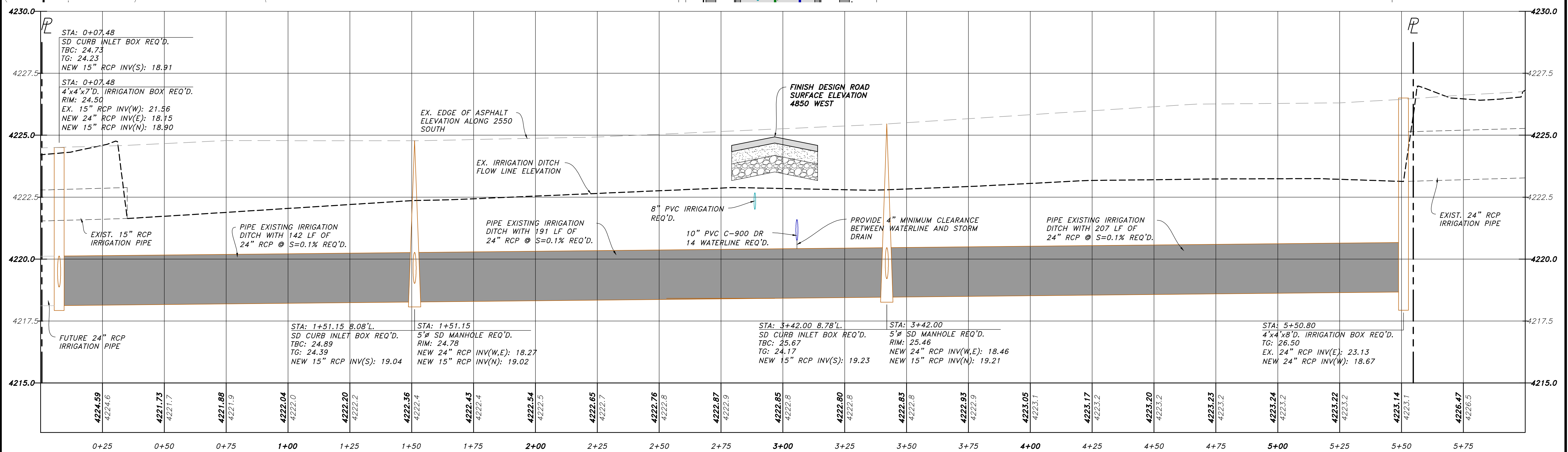
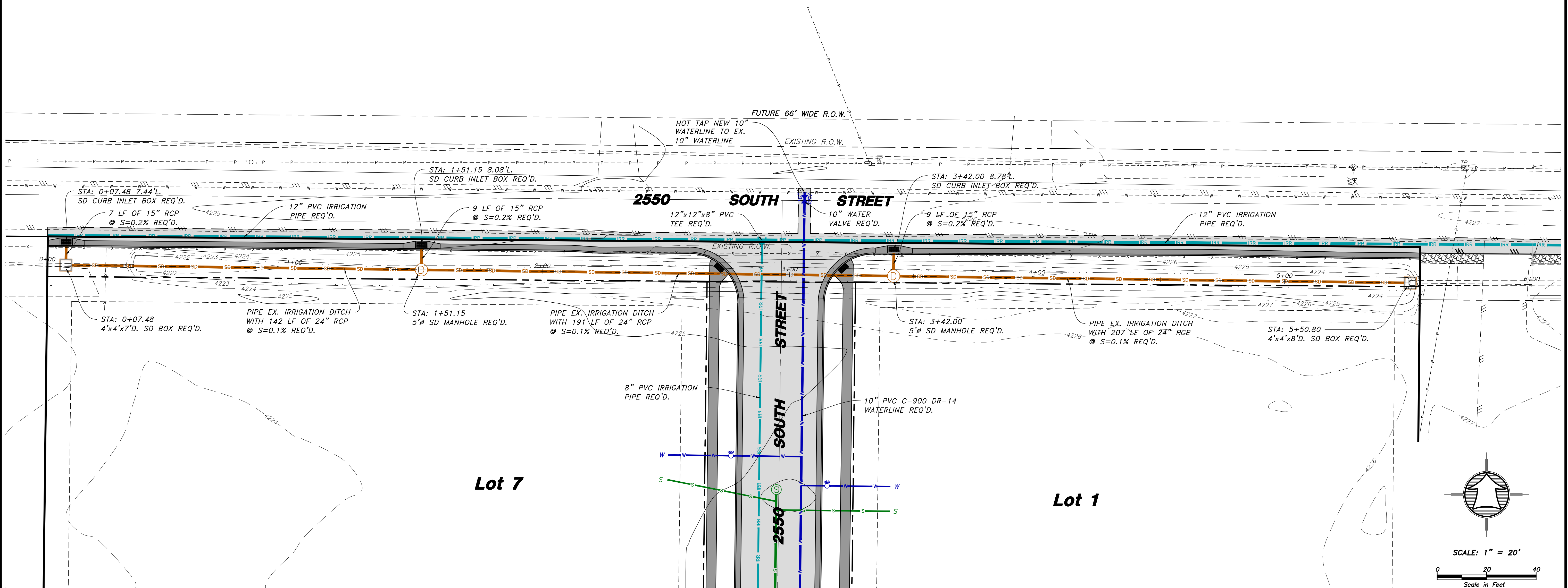
SUN CREST MEADOWS SUBDIVISION PHASE 1

INTERSECTION GRADING PLANS



SUN CREST MEADOWS SUBDIVISION PHASE 1

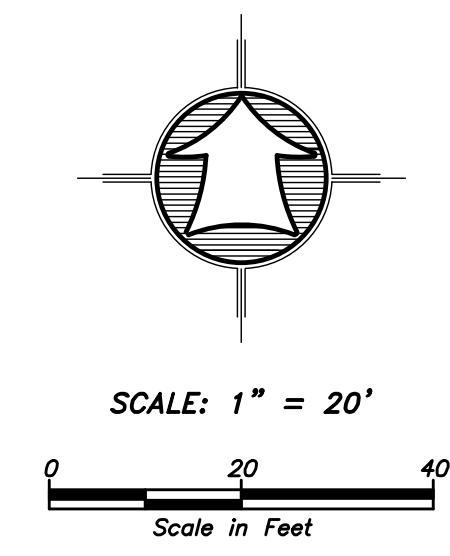
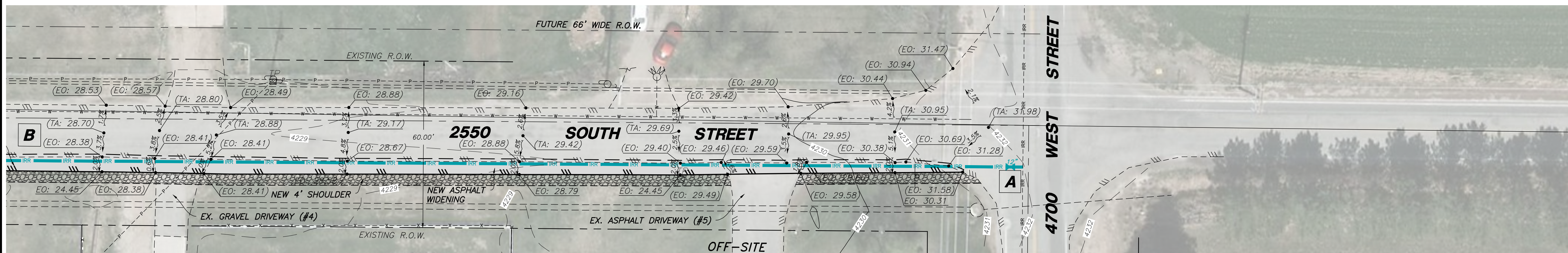
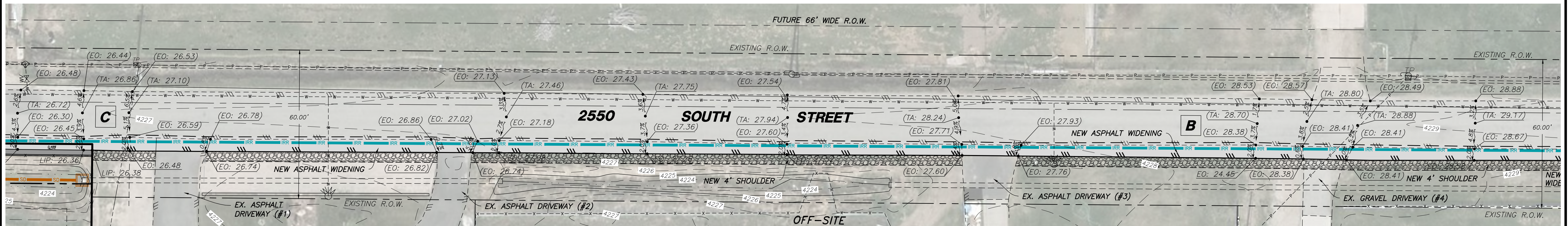
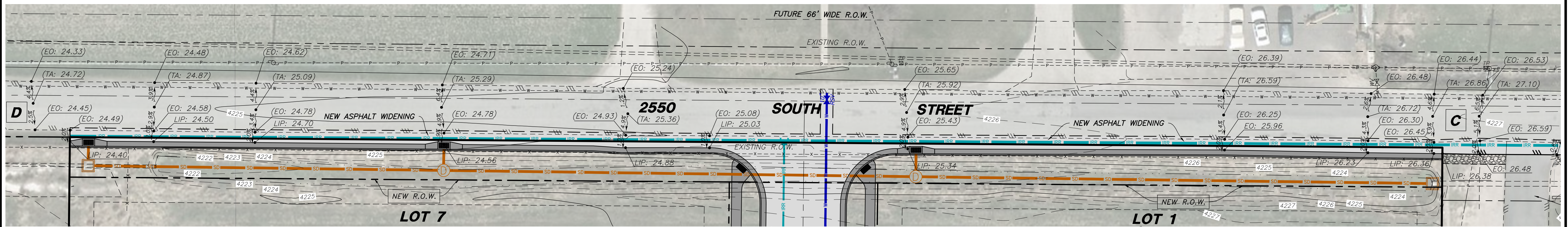
NORTH IRRIGATION DITCH PLAN & PROFILE



<p>HANSEN & ASSOCIATES, INC. Consulting Engineers and Land Surveyors 538 North Main Street, Brigham, Utah 84302 Visit us at www.hansen.net Brigham City, Ogden (435) 723-3491 (801) 399-4905 (435) 752-8272</p>	<p>HAI</p> <p>Drawn By: MTH Date: 08/02/18 Designed By: Checked By: Approved By: Scale: 1" = 20' Drawing File: 16-105/18(07-02-18) JOB NUMBER: 16-105</p>
<p>SUN CREST MEADOWS SUBDIVISION PHASE 1</p> <p>NORTH IRRIGATION DITCH PLAN & PROFILE</p> <p>2550 NORTH 4900 WEST TAYLOR, UT 84401</p>	
<p>Sheet 8 of 12 Sheets</p>	

SUN CREST MEADOWS SUBDIVISION PHASE 1

2550 SOUTH ASPHALT WIDENING GRADING PLAN



No.	Date	By	Revision

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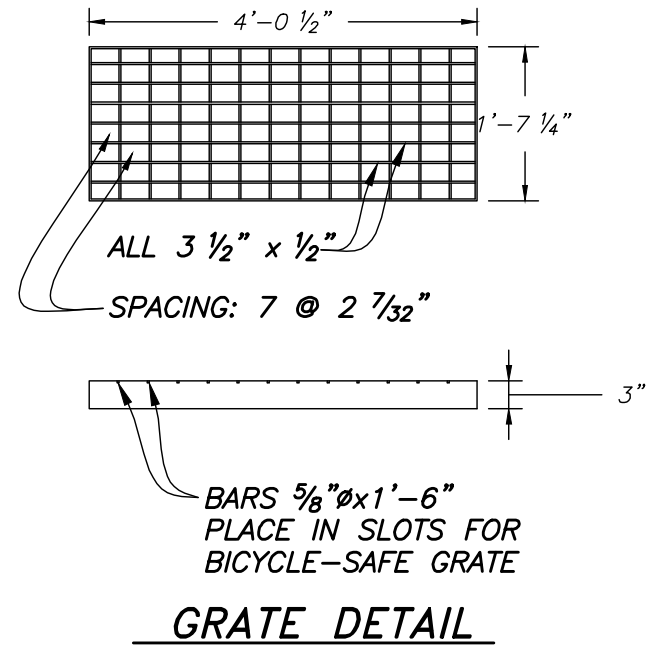
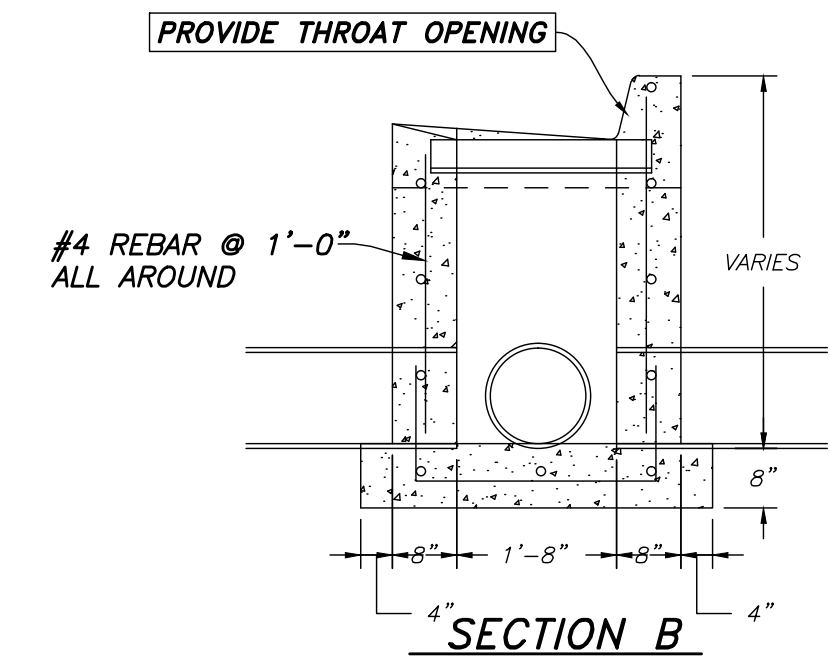
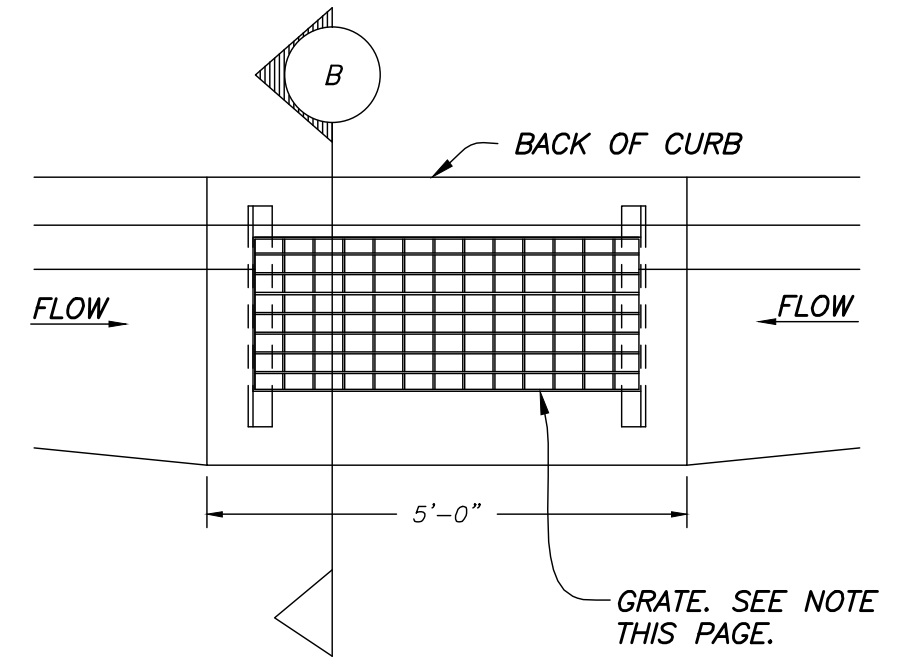
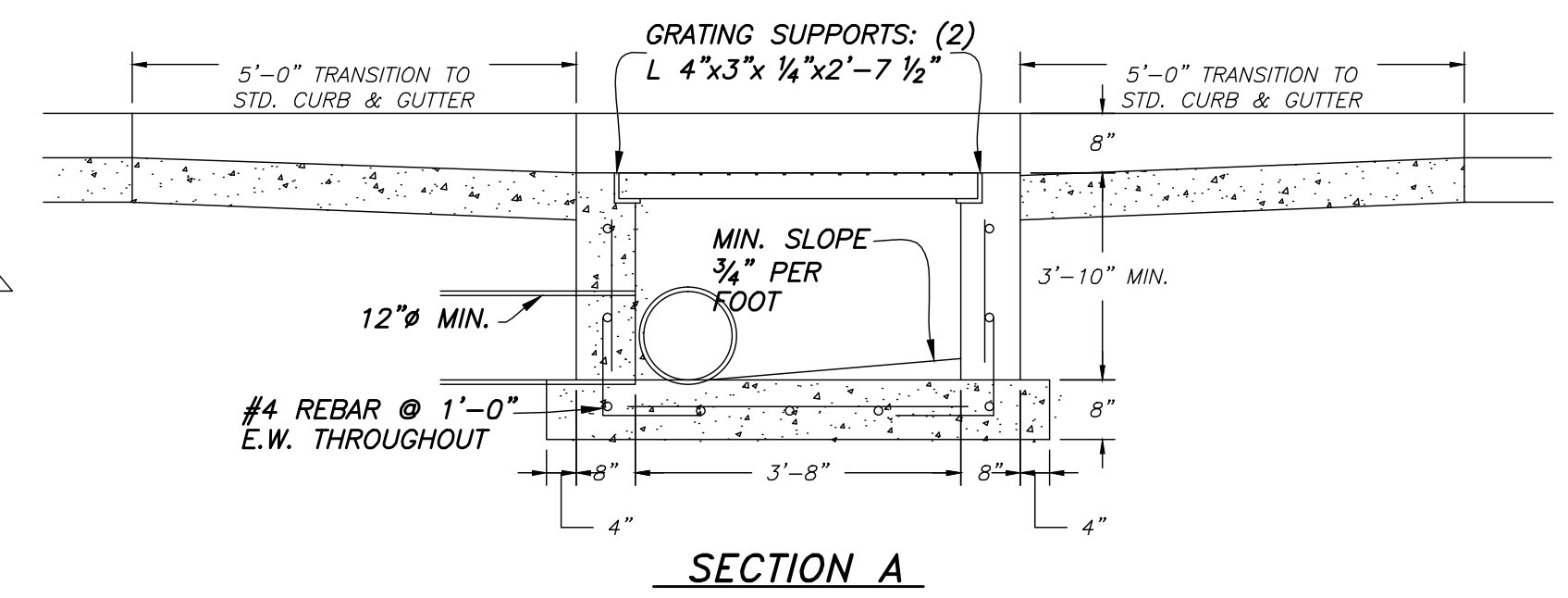
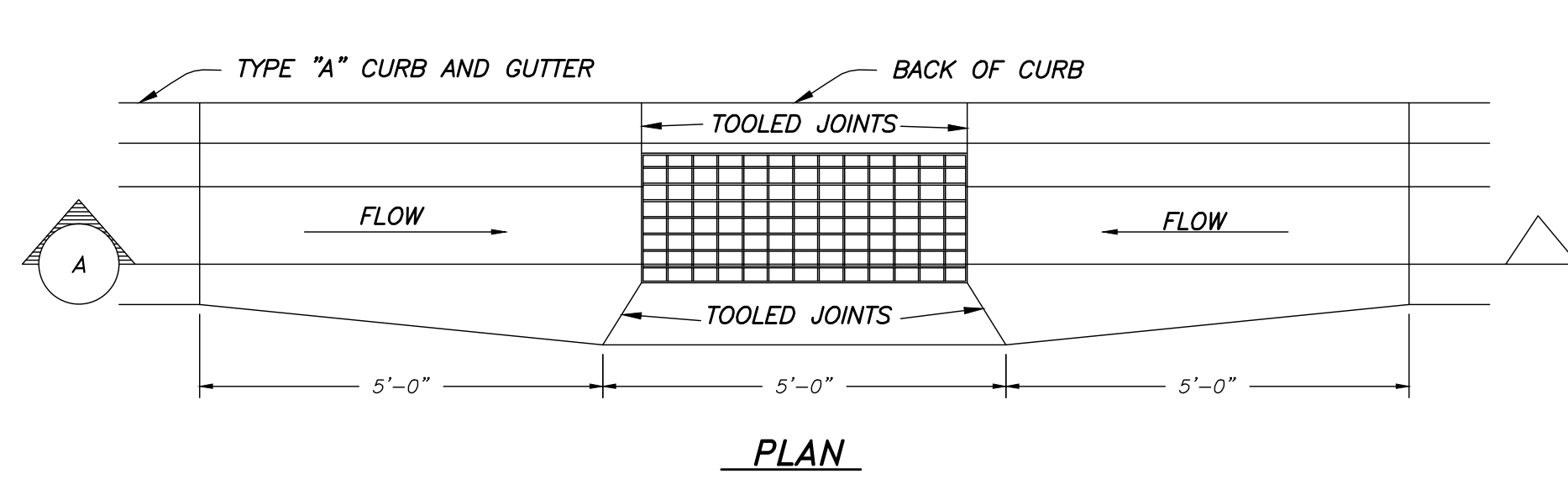
Drawn By: MTH Date: 08/02/18
 Designed By: _____
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 Approved By: _____
 Scale: 1" = 20'
 Drawing File: 16-10516(07-02-18)
 JOB NUMBER: 16-105

2550 SOUTH WIDENING GRADING PLAN
SUN CREST MEADOWS SUBDIVISION PHASE 1
 2550 NORTH 4900 WEST
 TAYLOR, UT 84401

Sheet
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12
 Sheets

SUN CREST MEADOWS SUBDIVISION PHASE 1

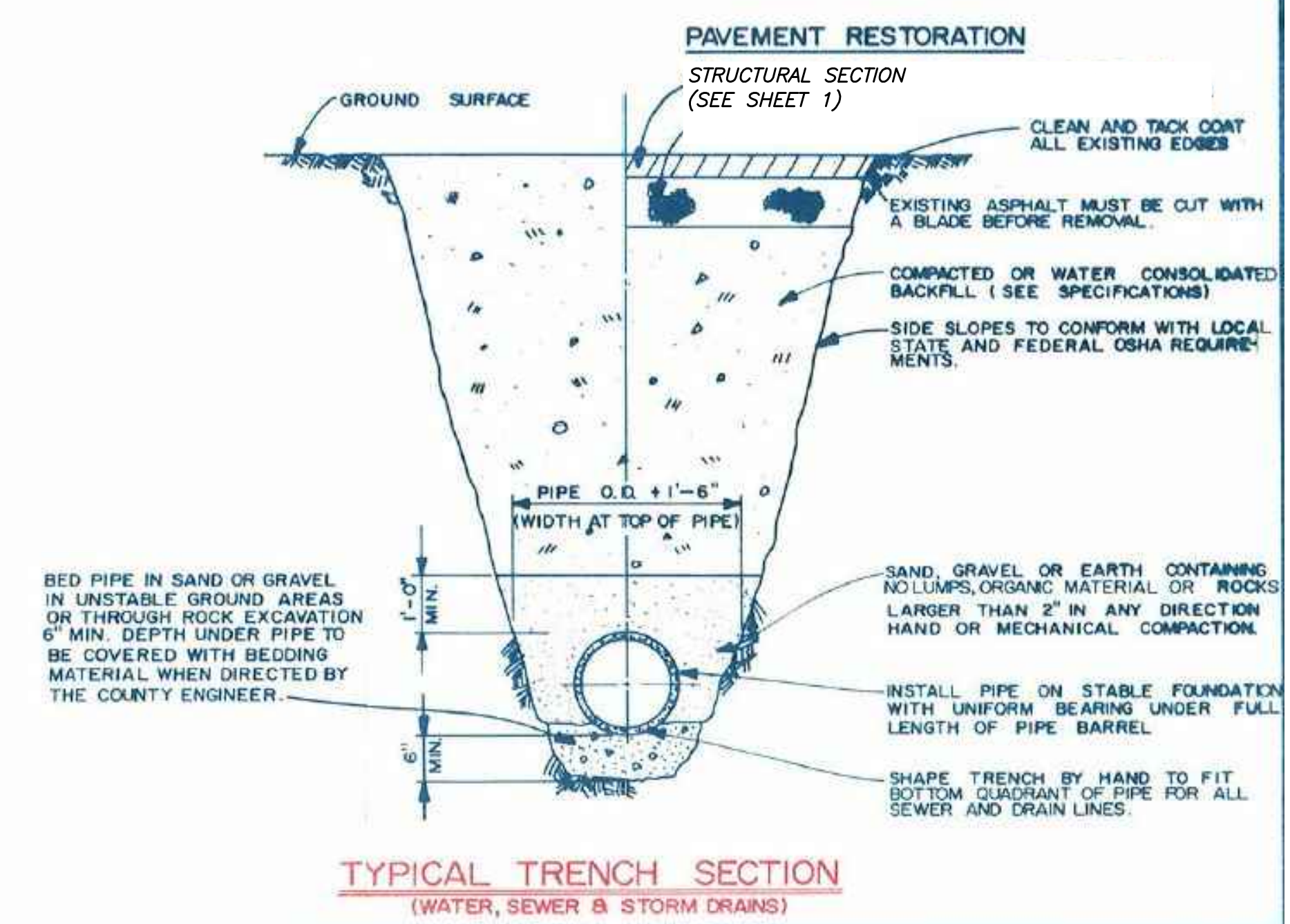
DETAIL SHEET



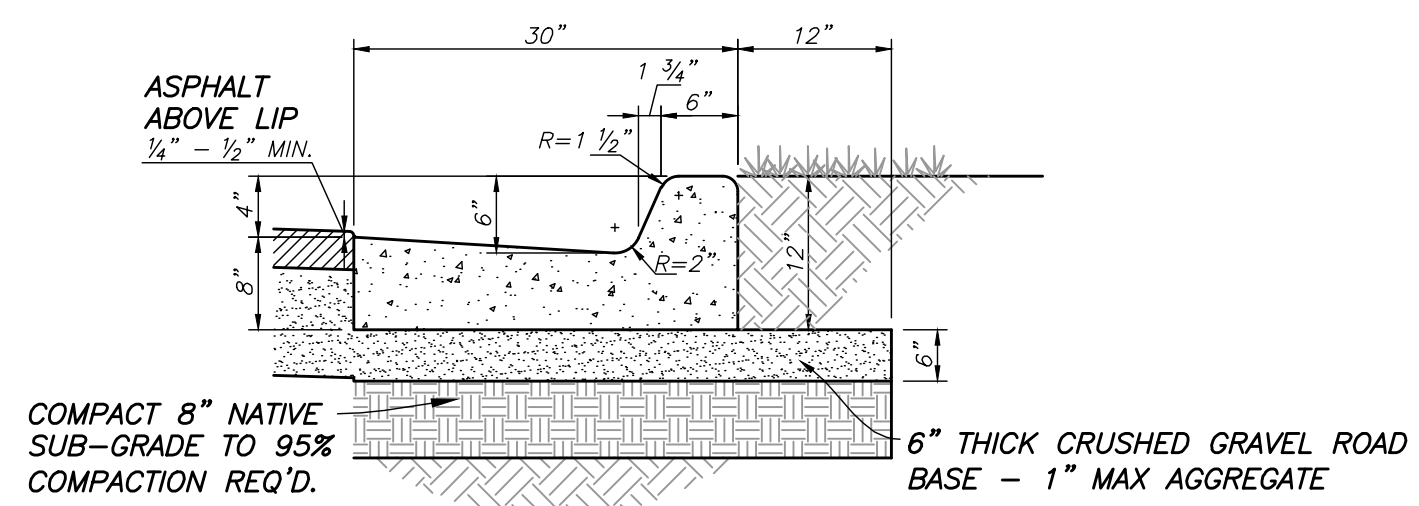
- NOTES:**
1. ALL GRATES SHALL BE U.D.O.T. STD. V-988 OR D&L, N-9221, AS SHOWN IN DETAIL AND GALVANIZED IN ACCORDANCE WITH U.D.O.T.
 2. BICYCLE SAFE GRATE REQ'D

CONTRACTOR MAY SUBSTITUTE AMCOR PRECAST CB110 CATCH BASIN OR APPROVED EQUAL

TYPICAL CURB INLET BOX
NOT TO SCALE

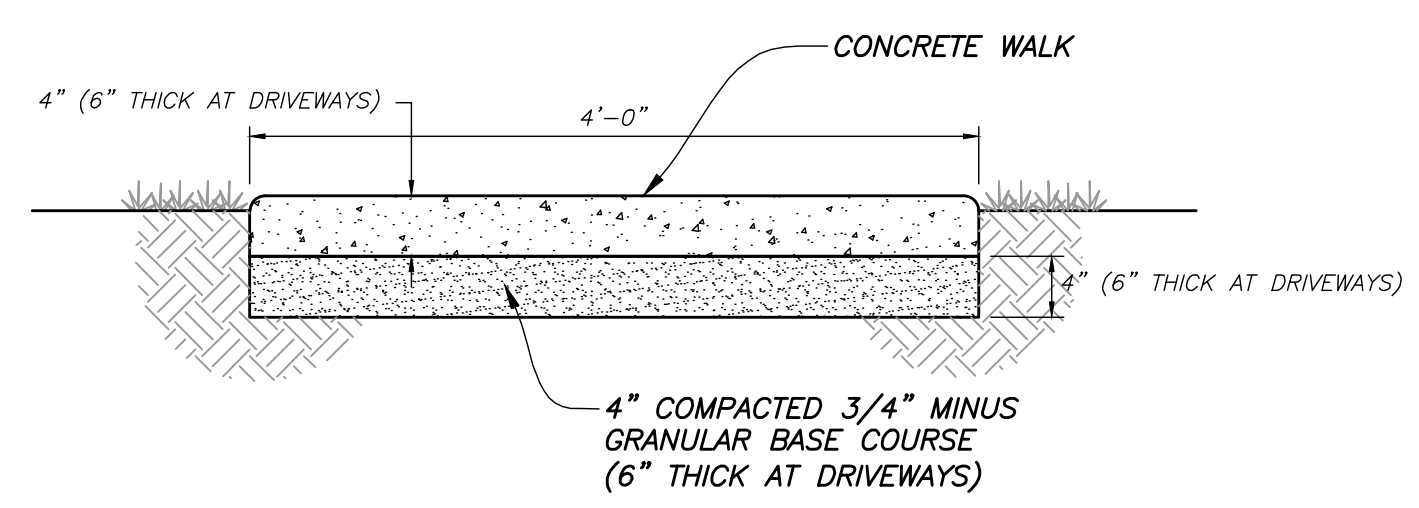


WEBER COUNTY PUBLIC WORKS STANDARDS

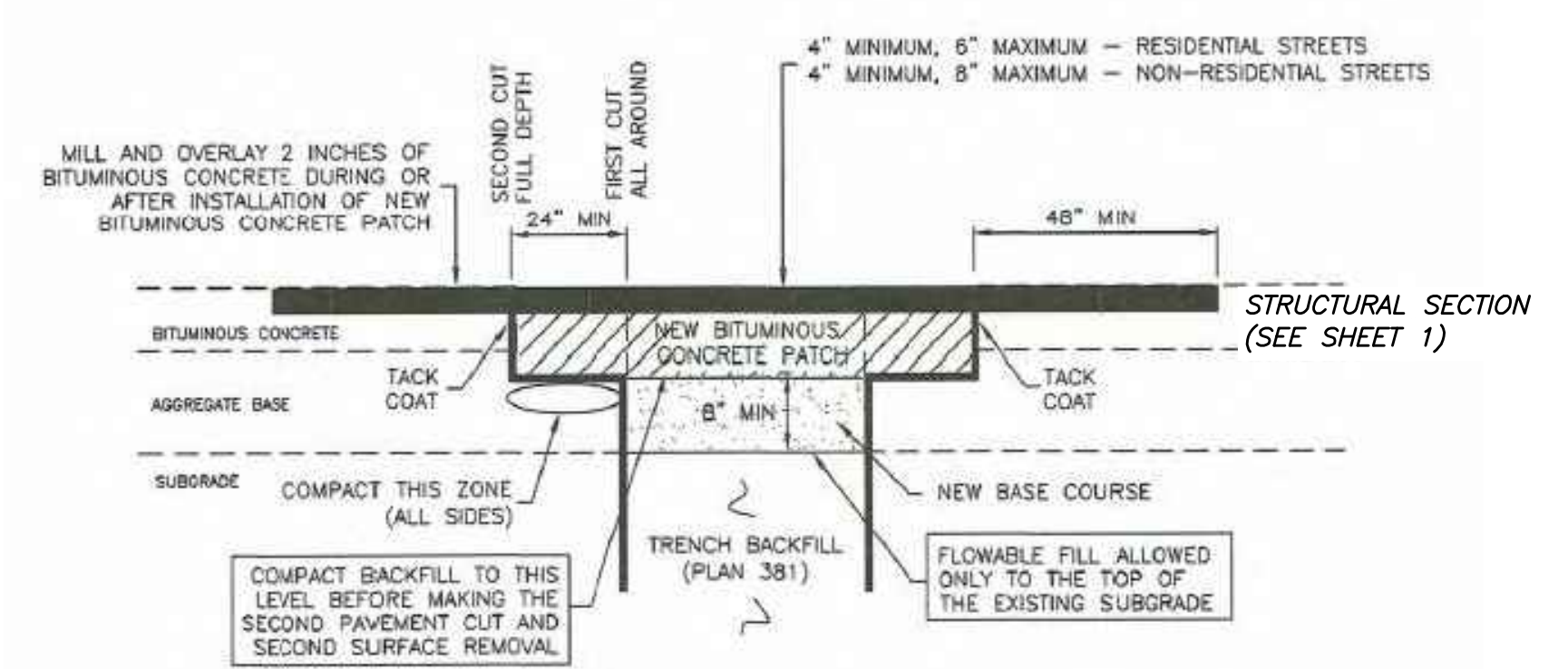


CONCRETE TO BE 4000 PSI 28 DAY STRENGTH
4" MAX. SLUMP; AIR 6% ± 1/2%

CATCH CURB & GUTTER SECTION
NOT TO SCALE



SIDEWALK SECTION
NOT TO SCALE



APWA 2017 STANDARDS

No.	Date	By	Revision

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DETAIL SHEET FOR
SUN CREST MEADOWS SUBDIVISION PHASE 1
 2550 NORTH 4900 WEST
 TAYLOR, UT 84401

SUN CREST MEADOWS SUBDIVISION PHASE 1

DETAIL SHEET

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THRUST BLOCKING DETAIL.....1
 TYPICAL VALVE DETAIL.....2
 TYPICAL TRENCH SECTION.....3
 UDOT CROSSING DETAIL.....4
 TYPICAL SERVICE CONNECTION.....5
 FIRE HYDRANT DETAIL.....6
 AIR/VAC DETAIL.....7
 CASED CROSSING DETAIL.....8
 BLOW OFF VALVE DETAIL.....9

TABLE OF BEARING AREAS IN SQ. FT. FOR CONCRETE THRUST BLOCKING

SIZE	BENDS			TEES	GATE VALVES	CROSS/BRANCH VALVES	CROSS/BRANCH VALVES
	90°	45°	22 1/2°				
3	1.0	0.0	0.0	0	0.7	0.5	0.7
4	1.8	1.0	0.5	0	1.3	0.9	1.3
6	4.0	2.2	1.1	0	2.8	2.0	2.8
8	7.1	3.8	2.0	1.0	5.0	3.4	5.0
10	11.1	6.0	3.0	1.8	7.8	5.2	7.8
12	16.0	8.8	4.4	2.2	11.3	7.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4
16	28.9	15.5	7.9	3.8	17.8	12.9	17.8
18	36.9	19.4	10.0	4.0	20.0	14.0	20.0
20	44.2	24.0	12.2	5.1	24.4	17.4	24.4
24	64.0	34.5	17.7	7.8	45.0	31.8	45.0
30	100.0	54.0	27.6	13.8	71.0	51.0	71.0
36	144.0	78.0	40.0	20.0	102.0	72.0	102.0

THRUST BLOCKING DETAIL
 (NOT TO SCALE)

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 STANDARD WATER DETAILS - Page 1 of 9

TYPICAL VALVE DETAIL
 (NOT TO SCALE)

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TYPICAL TRENCH SECTION
 (NOT TO SCALE)

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TYPICAL SERVICE CONNECTION
 (NOT TO SCALE)

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FIRE HYDRANT DETAIL
 (NOT TO SCALE)

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TYPICAL BLOW OFF VALVE DETAIL
 (NOT TO SCALE)

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Taylor-West Weber Water Improvement District Standard Specifications

These written specifications in conjunction with the attached details constitute the District's construction standards. In the event of conflict, the District Manager will determine the appropriate standard.

- The Taylor-West Weber Water Improvement District manager shall approve any variations from these standards.
- All materials that are expected to have with contact drinking water, including pipes, gaskets, lubricants and O-rings, shall be ANSI-certified as meeting the requirements of NSF Standard 61. To permit field verification of this certification, all such components shall be stamped with the NSF logo.
- All water mains shall be new PVC with a minimum cover of 4 feet.
 - Main pipelines shall be a minimum of 10" diameter.
 - Pipelines 12" and smaller diameter shall be AWWA C-900 DR14.
 - Pipelines 14" and larger diameter shall be AWWA C-905 DR18.
 - Under no circumstances shall the pipe or accessories be dropped into the trench.
 - The open ends of all pipeline under construction shall be covered and effectively sealed at the end of the day's work.
 - All waterlines shall be pressure tested at 200 PSI for at least 2 hours, according to the latest edition of AWWA Standard C600.
 - All water lines shall be disinfected according to the latest edition of AWWA Standard C651 and have 3 negative bacteriological test results, the failure of any one such test will result in starting the flushing and test sequence over again:
 - The first sample will be pulled and tested immediately after initial flushing;
 - The second sample will be pulled from the same section of pipe and tested no less than 24 hours after the first sample is pulled;
 - If both of those tests come back negative, the tie-to-existing may take place, and a third and final sample pulled and tested; if the third sample returns a negative result, the section of pipeline will be accepted.
 - Both a 2" wide metallic warning tape (located 2'-/+ below finished grade) and a #14 plastic coated solid copper tracer wire shall be installed with main pipelines.
 - The tracer wire shall be brought up the outside of each mainline valve box and bolted to the inside of the valve box lid section where District personnel will be able to easily set a tracing charge on the wire.
- All valves, tees, crosses and elbows greater than 11.25 deg. shall be both mechanically restrained (e.g., Mega Lug or District approved equal) and have a thrust block poured against it.
 - A 30" diameter by 8" thick concrete collar shall be poured around each valve box, with the valve box centered in the collar.
 - Main line valves shall be gate valves if 10" or smaller diameter.
 - Main line valves, where possible, shall be butterfly valves if 12" or larger diameter.
 - A valve shall be placed on all three sides of a newly constructed tee.
 - An exception may be made when doing so would place new valves within 200' of each other, in which case, only 1 valve need be installed between the new fittings.
 - A valve shall be placed on all four sides of a newly constructed cross.
- All slough, canal and UDOT crossings shall be cased in steel casing with an isolation valve within one pipe length of each end of the casing.
 - Each cased crossing shall be held in the casing by prefabricated casing spacers and end seals, installed per manufacturer's recommendations (PSI Ranger II, or District approved equal). DO NOT SAND FILL.
 - Minimum carrier, casing and wall thickness dimensions are as follows:
 - 10" pipe 16" casing 0.375" wall thickness
 - 12" pipe 18" casing 0.375" wall thickness
 - 14" pipe 20" casing 0.375" wall thickness
 - 16" pipe 24" casing 0.5" wall thickness
 - If a loop requiring vertical fittings is required, a combination air vacuum release valve may be required on one or both sides of the loop, with venting above-grade outside of the traveled roadway.
 - A professionally prepared plan and profile sheet shall be provided to the District for review of all looped crossings for the purpose of determining air valve requirements.
- Fire hydrants shall be Mueller Centurion or District-approved equal.
 - The hydrant valve shall be placed at the main line.
- When a sewer line is parallel to a water line, a minimum of 10 horizontal feet shall be designed between their EDGES.
 - When a sewer line and water line cross, the sewer shall be at least 18" below the water line and there shall be no joints within 10 feet of the crossing.
- Secondary water lines shall be installed in each new subdivision.
 - Secondary and culinary water lines shall be installed in distinctly separate trenches.
- Services:
 - All service saddles shall be nylon coated with double stainless steel straps (e.g. Romac 202N or District-approved equal).
 - All service laterals shall run in a straight line from the meter to the main, and shall be square with the main line.
 - The minimum cover over any water main or service line shall be 4' below finished grade.
 - All service laterals shall be HDPE.
 - Typical residential service laterals shall be 200 PSI 1" CTS.
 - Meter boxes will be 18" dia. X 30" deep concrete.
 - Meter box lids shall be solid, with the word "WATER" cast in them.
- Connection Hardware: Except where otherwise shown or specified, all bolts and cap screws shall be carbon steel conforming to the requirements of ASTM A307 Grade A. The corresponding nuts shall conform to ASTM A563 Grade A. All bolts and nuts shall be coated with Tripac 2000 Blue Coating System.
- A note should be included on improvement plans stating that all culinary water line construction shall meet the standards of the Taylor-West Weber Water Improvement District.
 - A note should be included on the plans stating that the Taylor-West Weber Water Improvement District shall be notified at least 24 hours prior to any preconstruction meetings and/or the commencement of any construction. The District's phone number is (801) 731-1668.

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TAYLOR - WEST WEBER WATER IMPROVEMENT DISTRICT
 STANDARD WATER DETAILS - Page 9 of 9

CULINARY WATER STANDARD DETAILS AND SPECIFICATIONS FOR

SUN CREST MEADOWS SUBDIVISION PHASE 1

2550 NORTH 4900 WEST
 TAYLOR, UT 84401

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Approved By:	Scale:
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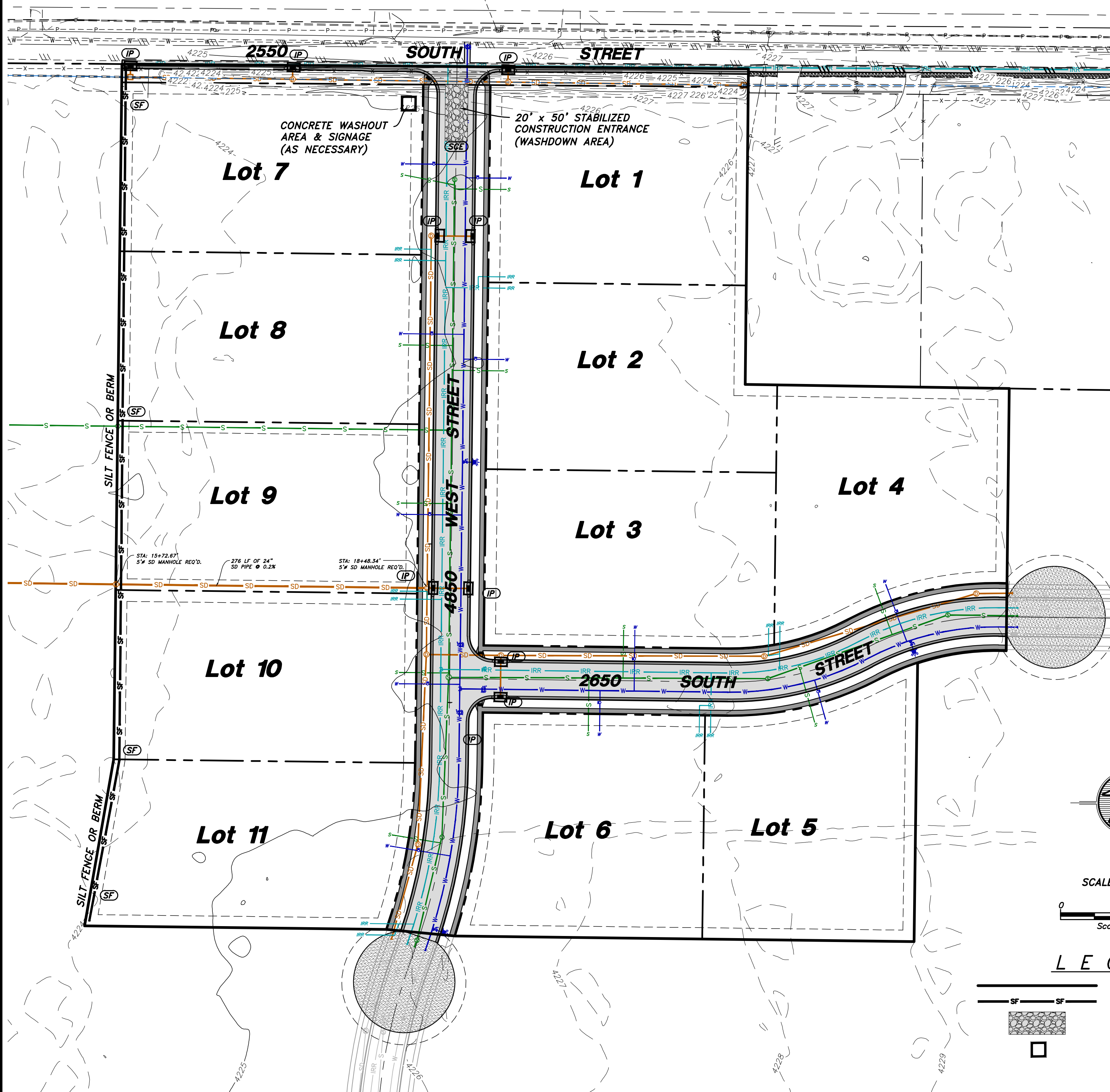
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SUN CREST MEADOWS SUBDIVISION PHASE 1

SWPPP

INSTALL ADDITIONAL FENCING AS NECESSARY TO DISTINGUISH WHERE THE ONLY ACCESS TO THE SUBDIVISION WILL BE AND DISCOURAGE ENTERING AND EXITING AT MULTIPLE POINTS.



LOCATION:

LOCATION: TAYLOR, WEBER COUNTY, UTAH
SECTION 32, TOWNSHIP 6 NORTH, RANGE 2 WEST, SLB&M
LATITUDE: 41°13'10" N LONGITUDE: 112°05'48" W
APPROXIMATE ELEVATION: 4225'

PROJECT DATA:

TAX ID #: 15-086-0018 & 15-086-0009
PARCEL ACREAGE: ±32.28 ACRES

SUN CREST MEADOWS PHASE 1
2550 SOUTH 4850 WEST
TAYLOR, UT 84401

DISTURBED AREAS:

PROJECT AREA DISTURBANCE: 522,589 SQ. FT.
12.00 ACRES

IMPERVIOUS AREA: 48,513 SQ. FT.
1.12 ACRES

PERMEABLE AREA: 474,076 SQ. FT.
10.88 ACRES

WEIGHTED COEFFICIENT: C = 0.41

OVERVIEW:

THE PROJECT CONSISTS OF STREET AND UTILITY INSTALLATION FOR AN ELEVEN LOT SUBDIVISION. GRADING WORK IS ALSO REQUIRED IN THE CONSTRUCTION OF THE ROAD, TRAIL, AND CURB & GUTTER. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE WEST BOUNDARY OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE ENTRANCE/EXIT.

MAINTENANCE/RECORD-KEEPING:

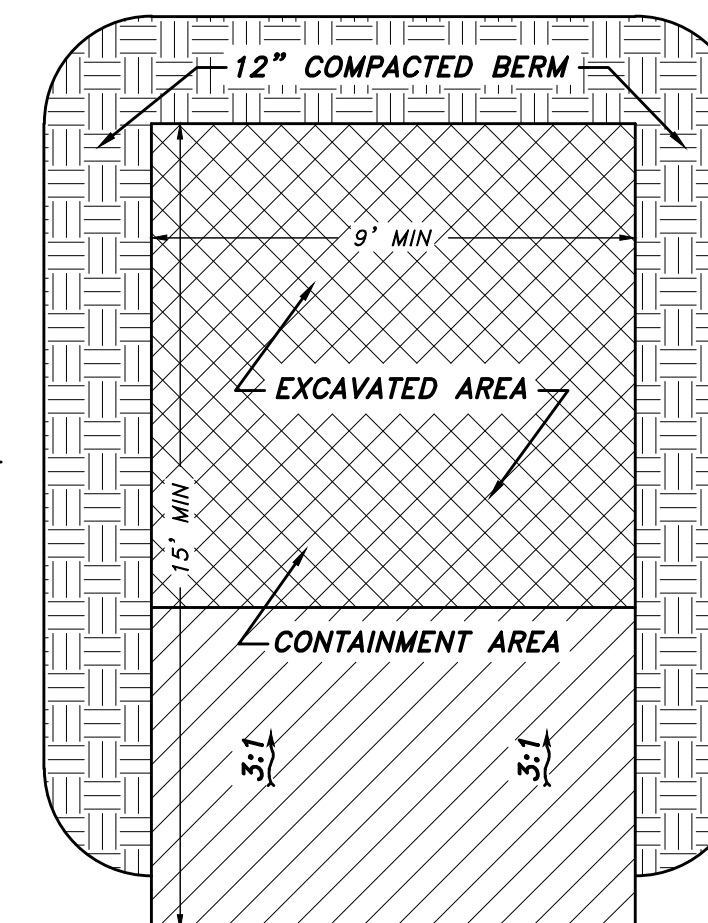
STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF WEBER COUNTY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY WEBER COUNTY. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS WEBER COUNTY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING WEBER COUNTY APPROVAL.

SWPPP PHASING - ORDER OF WORK:

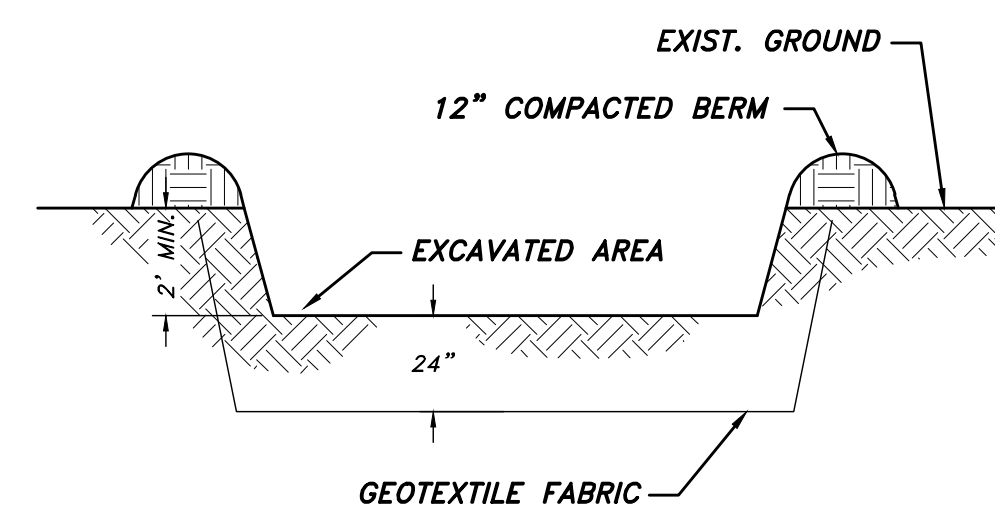
PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS.

PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS. INSTALL INLET PROTECTION UPON CONSTRUCTION OF CURB INLET BOXES.

PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.



PLAN VIEW



CROSS SECTION A-A

CONCRETE WASHOUT AREA

NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:

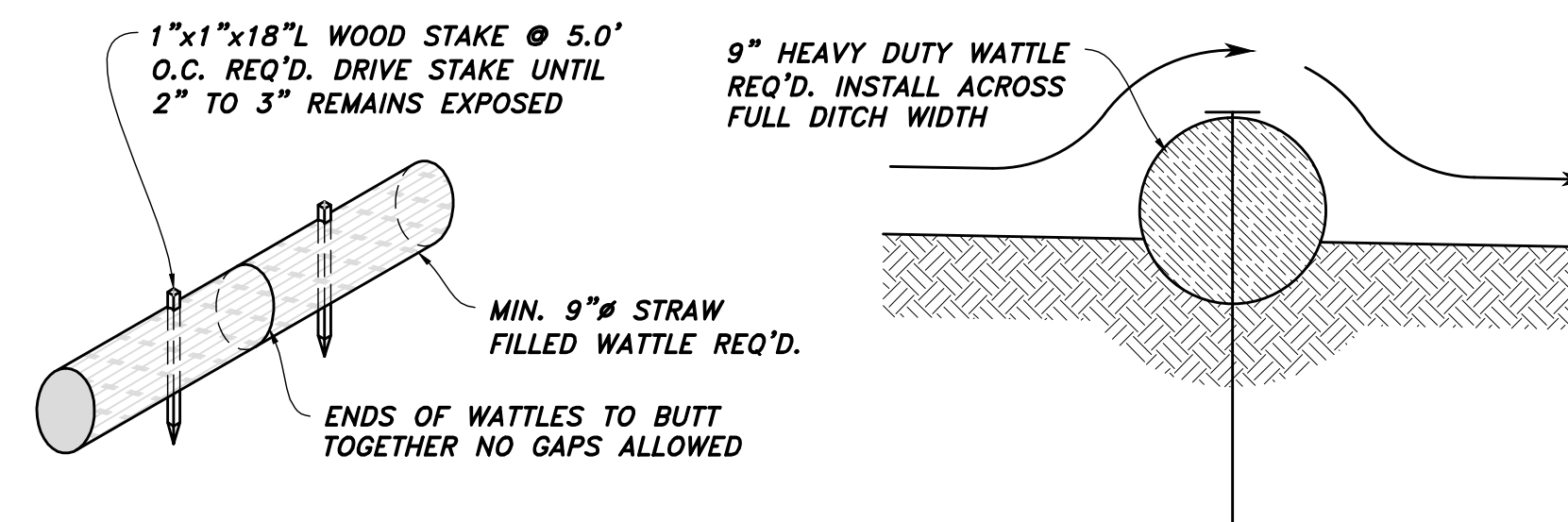
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:

1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

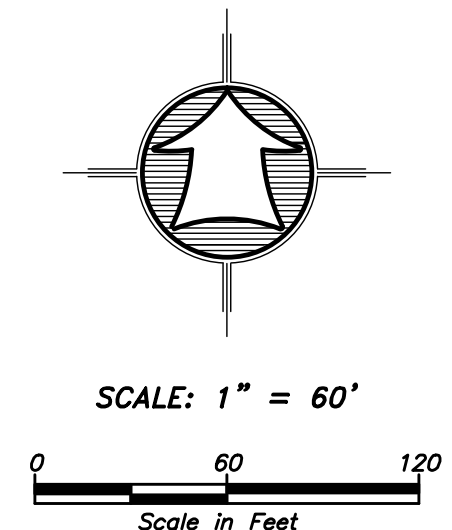
MAINTENANCE:

1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.



TYPICAL WATTLE/FILTER SOCK

NOT TO SCALE



LEGEND

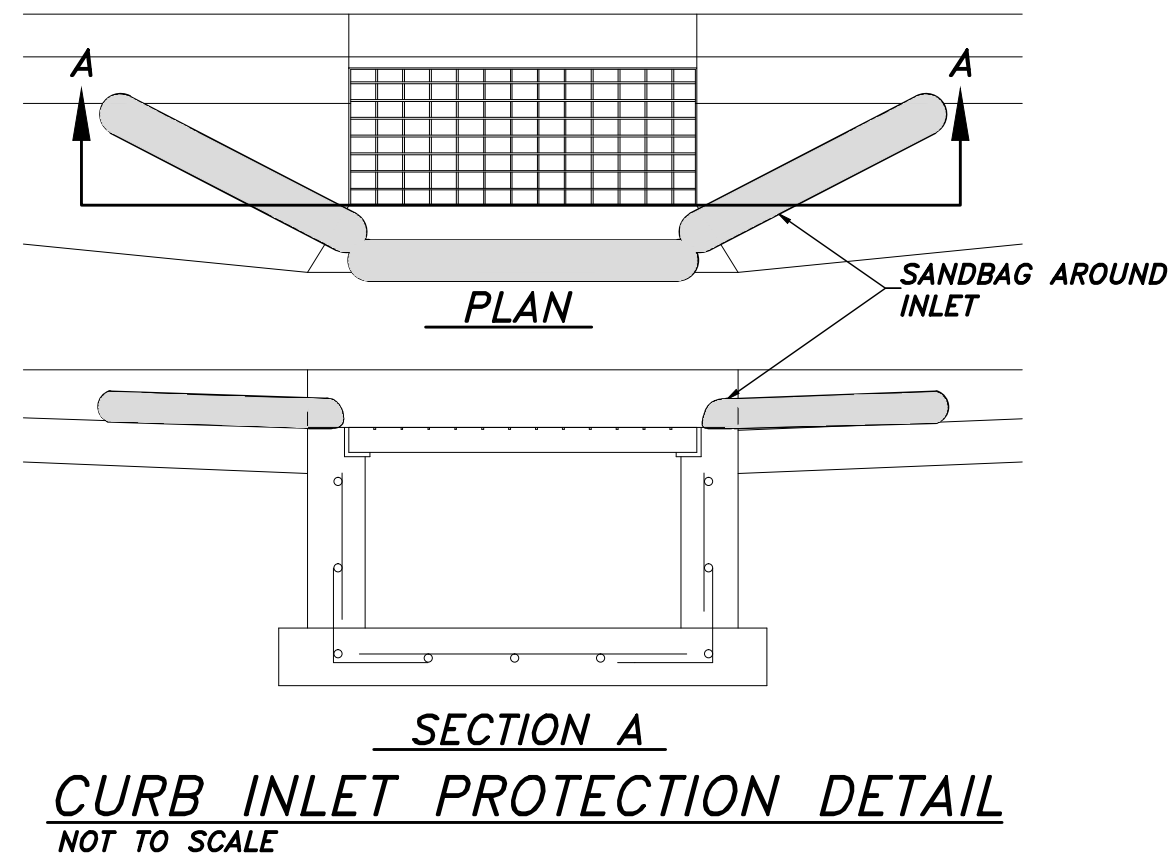
- SF — SF — PROPERTY BOUNDARY LINE
- SCE — STABILIZATION CONSTRUCTION ENTRANCE
- IP — INLET PROTECTION
- ▣ TRACKING PAD
- ▣ CONCRETE WASHOUT AREA & SIGNAGE

LABELS

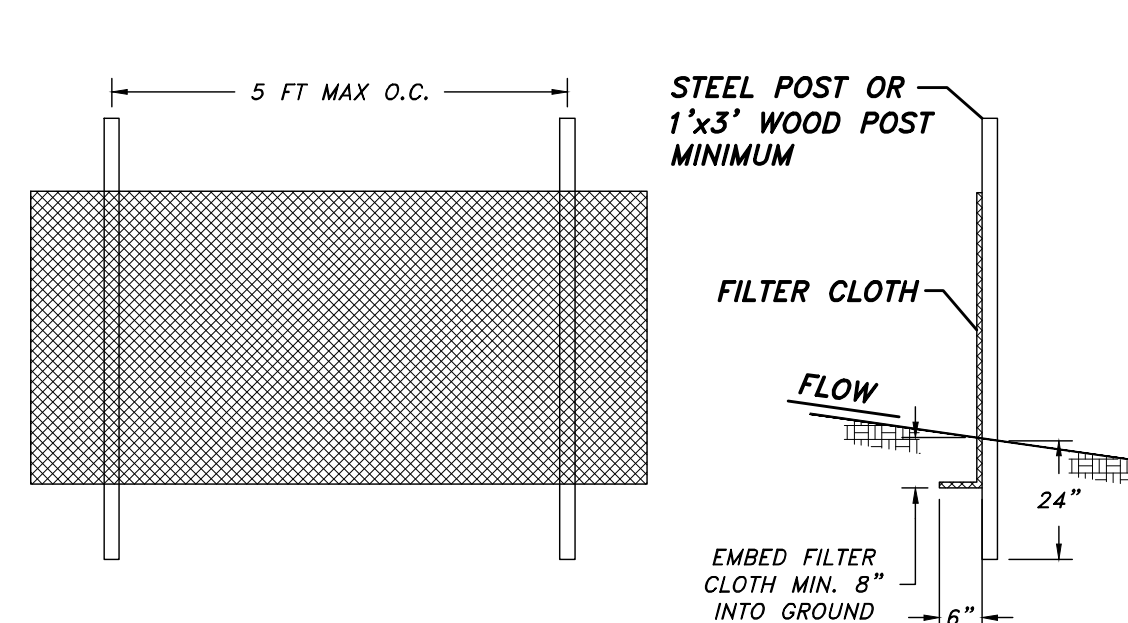
- (SF) - SILT FENCE OR BERM
- (SCE) - STABILIZATION CONSTRUCTION ENTRANCE
- (IP) - INLET PROTECTION

QUANTITIES

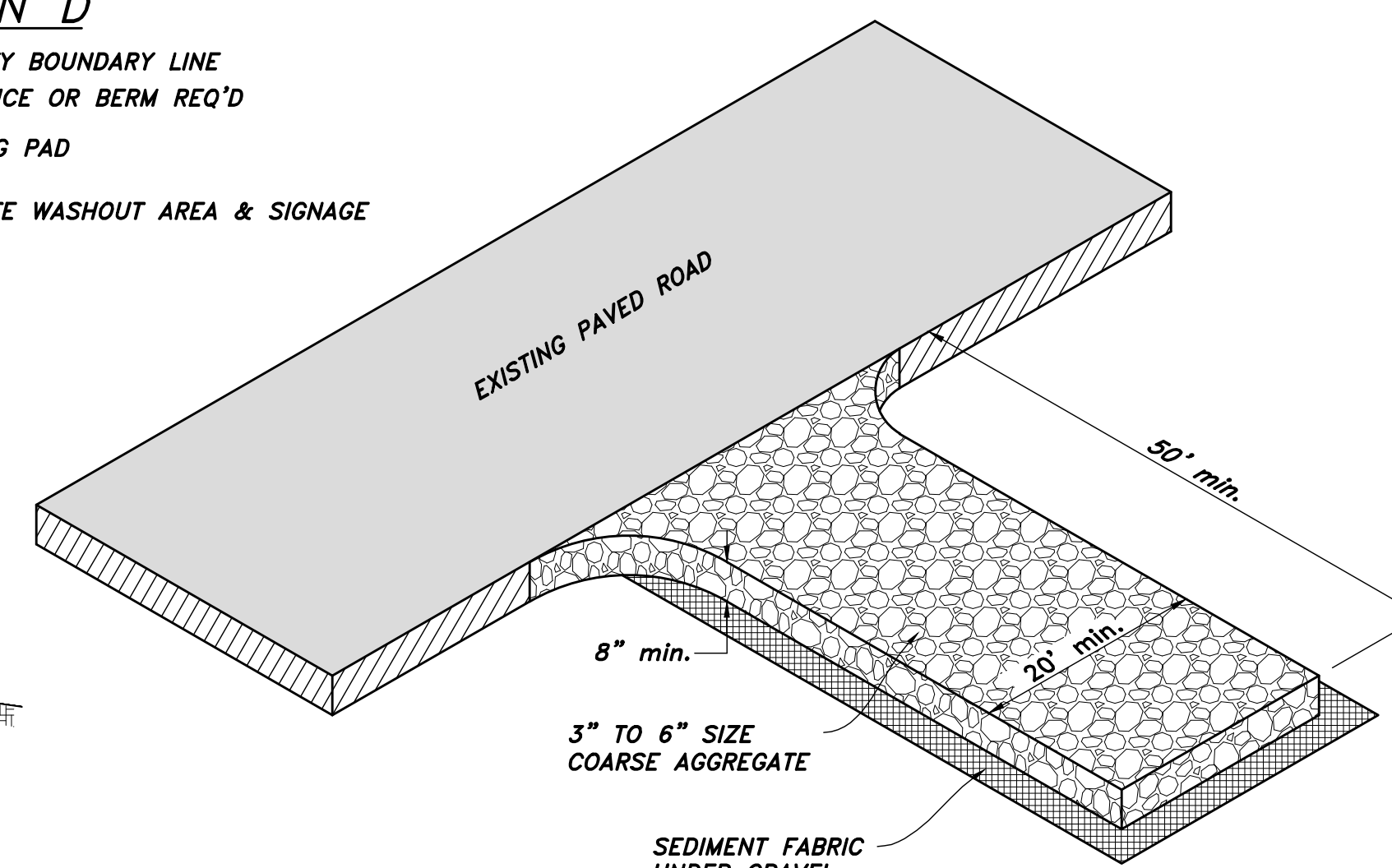
- SILT FENCE/BERM - 760 LF
- STABILIZED CONSTRUCTION ENTRANCE - 1
- INLET PROTECTION - 9



CURB INLET PROTECTION DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

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SWPPP FOR
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TAYLOR, UT 84401

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