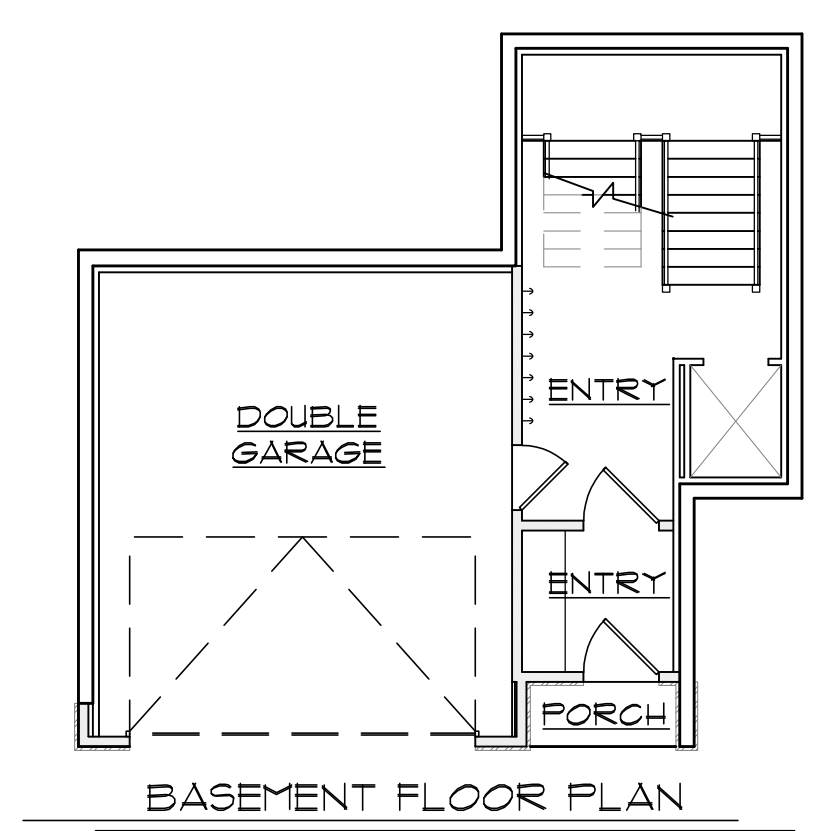
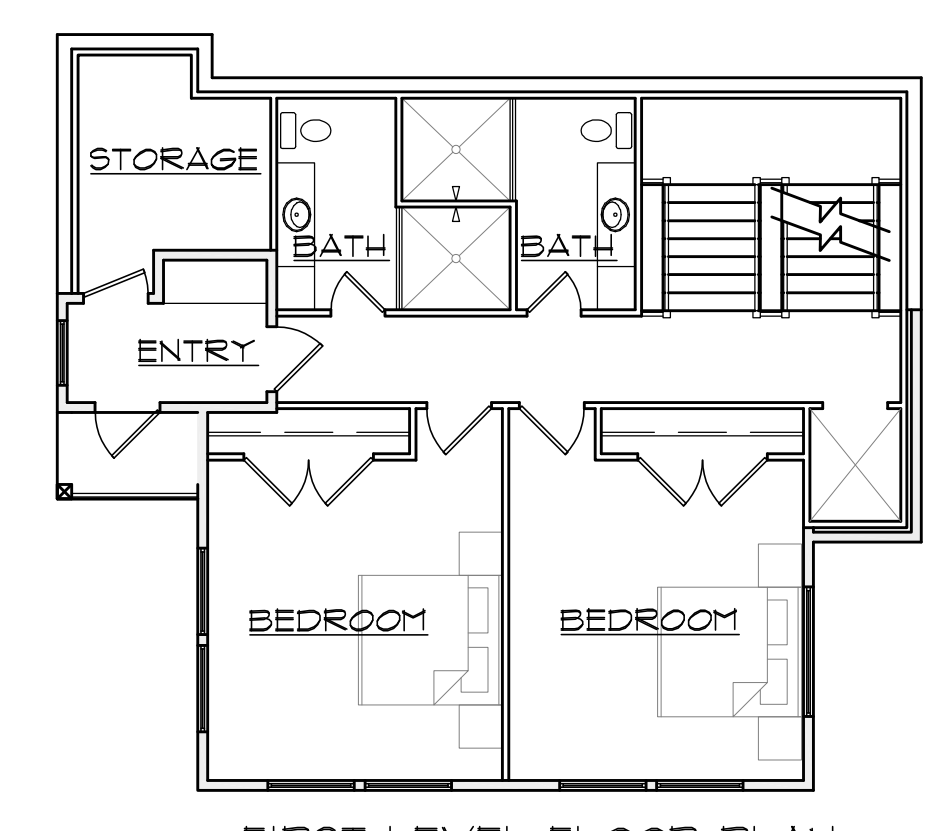


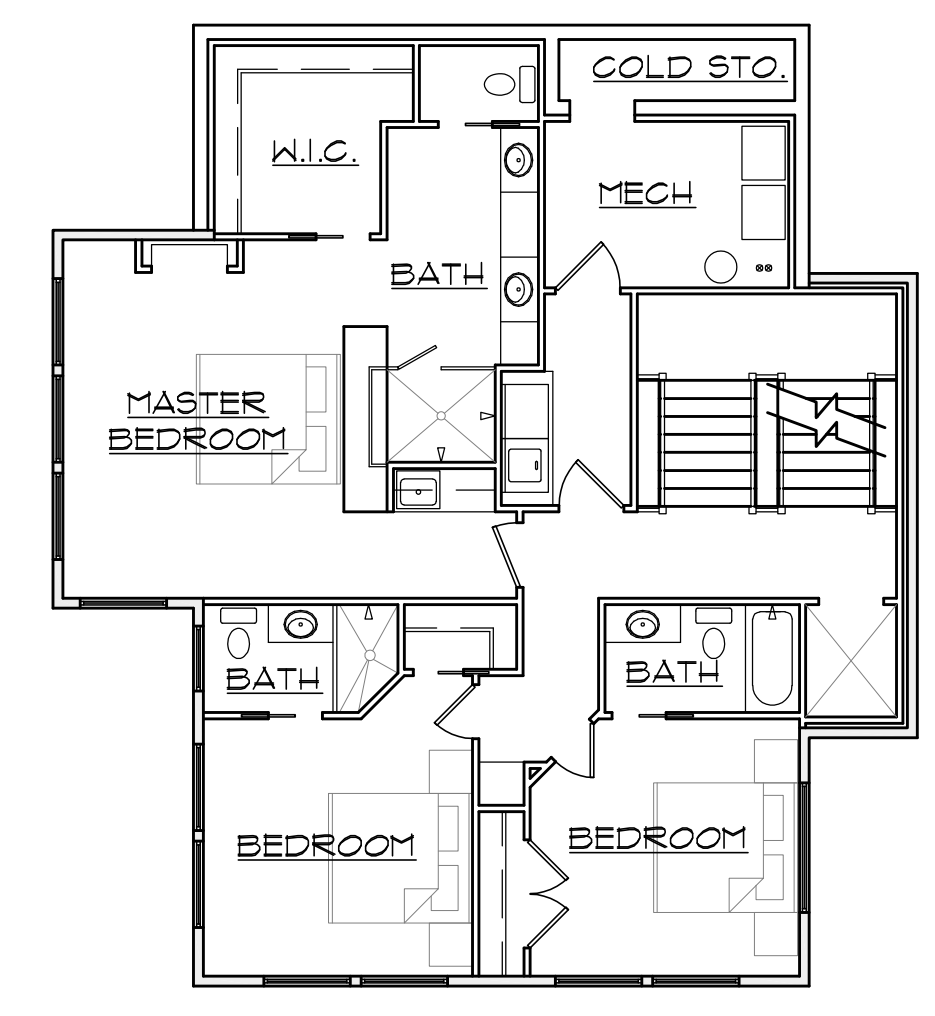
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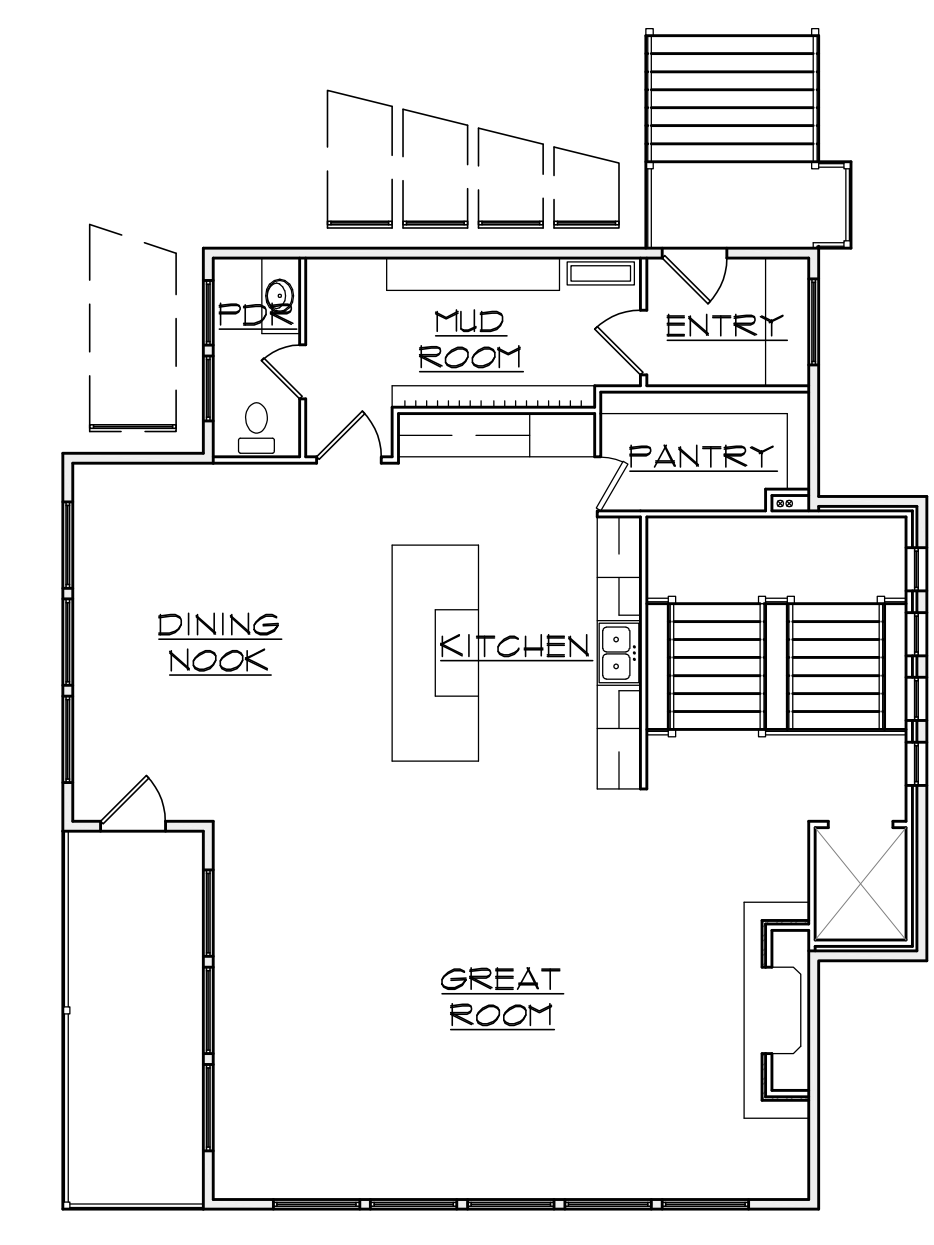
BASEMENT FLOOR PLAN



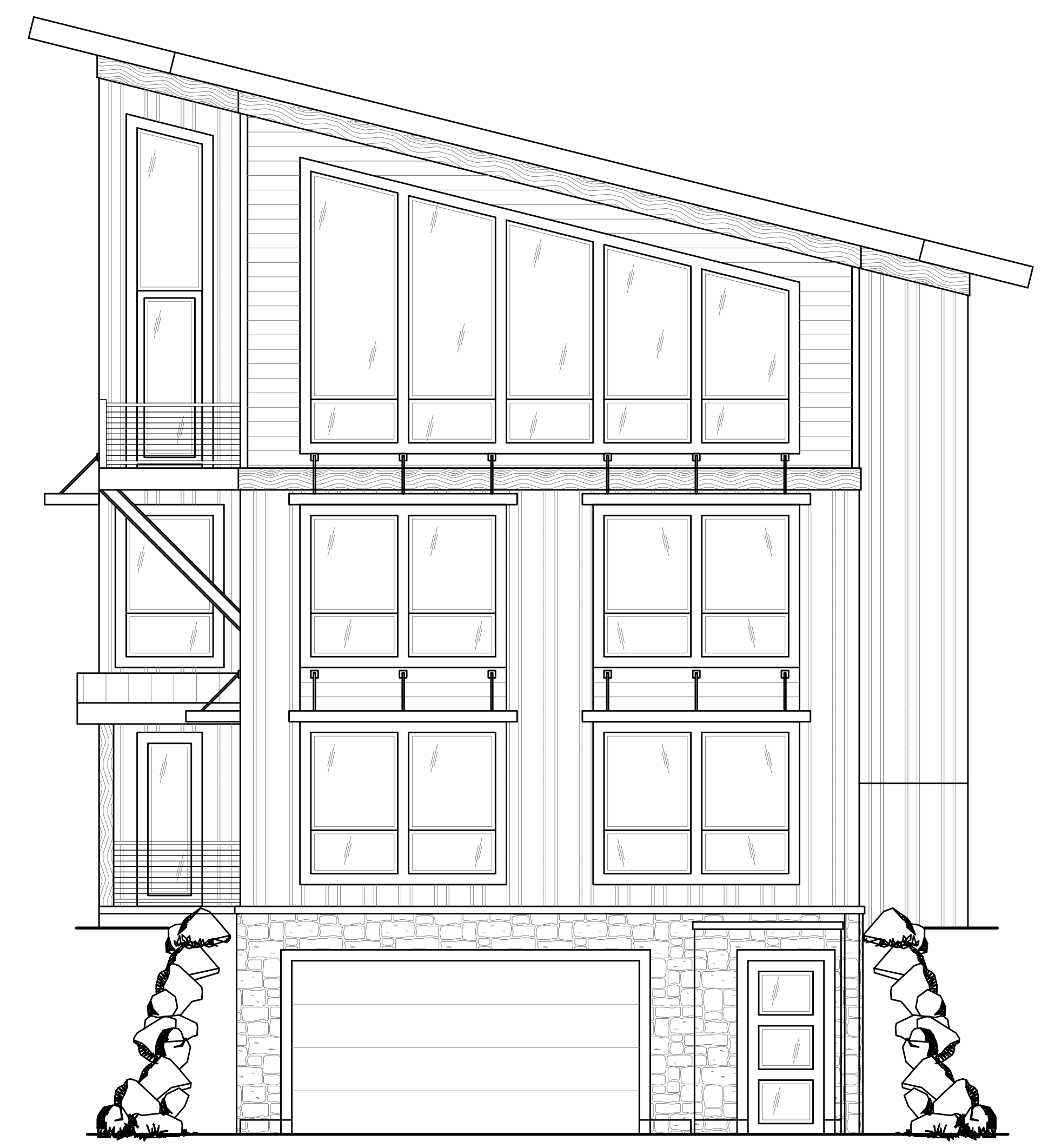
FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



THIRD LEVEL FLOOR PLAN



FRONT ELEVATION

CLIENT:
JIM & ALLY DEPIANO

CONTRACTOR:
SOLITUDE BUILDERS

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DESIGNER: 1523 E. SKYLINE DR.
SUITE B
OGDEN, UT 84405
801-476-1860



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PROJECT INFORMATION

SQUARE FOOTAGE CALCULATIONS	CLIENT:	JIM & ALLY DEPIANO
UPPER FLOOR 1489 SQ. FT.	TYPE:	RESIDENTIAL PLAN
MAIN FLOOR 1448 SQ. FT.	ISSUE DATE:	XX/XX/2016
LOWER FLOOR 1163 SQ. FT.	REV. DATE:	
BASEMENT 365 SQ. FT.	LOCATION: ASPEN DRIVE LOT #42-R POWDER MOUNTAIN WEST PHASE 2 EDEN CITY, WEBER COUNTY, UTAH	
GARAGE 463 SQ. FT.		

GENERAL MATERIALS SPECIFICATIONS:

(THE FOLLOWING GENERAL MATERIALS SPECIFICATIONS ARE PRESENTED FOR INFORMATION ONLY. THE GENERAL CONTRACTOR/ OWNER/ STRUCTURAL ENGINEER/ PROFESSIONAL TRADE CONTRACTORS/ GOVERNING JURISDICTIONS SHALL BE RESPONSIBLE FOR THE SELECTIONS AND APPLICATION OF ACTUAL MATERIALS UTILIZED. HABITATIONS MAKES NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF OR CODE COMPLIANCE OF THESE GENERAL MATERIALS.)

- 1. EXCAVATION:
A. CONTRACTOR TO VERIFY SOIL CONDITION AND PROVIDE STABILIZATION AS REQUIRED (SEE SITE PLAN).
B. ALL EARTH UNDER STRUCTURE OR SLAB SHALL BE STERILIZED.
2. CONCRETE:
A. FOOTINGS AND FOUNDATIONS SHALL BE ON UNDISTURBED SOIL...
B. FOOTINGS: 5000 PSI MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS...
C. ELEVATIONS FOR FOOTINGS DEPTH AS RELATED TO FINISH GRADE...
D. FOUNDATIONS: 3000 PSI MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS...
E. WATERPROOFING: TWO (2) COATS ASPHALT (TAR) EMULSION (BELOW GRADE)...
F. WATER DRAINAGE: FERROUSATED ABS PIPE FULL PERIMETER OF FOUNDATION...
3. EXTERIOR WALLS:
A. STUDS: 2X6 #2 OR BTR HEMLOCK OR DOUGLAS FIR 16' O.C. (UNLESS OTHERWISE NOTED)...
B. SHEATHING: 1/8" OSB NAHERBOARD SHEATHING...
C. VAPOR BARRIERS: WRAP EXTERIOR WALLS WITH TYFAR HOUSEWRAP...
D. MASONRY: IF USED NATURAL THIN CUT STONE BY NATURAL STONE CONNECTION...
E. STUCCO: (IF USED) SYNTHETIC TYPE OVER STYRENE BOARD WITH BROWN COAT CONCRETE MIX...
F. EXTERIOR WALL FINISHES MUST BE LISTED, LABELED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION GUIDE...
4. FLOOR FRAMING:
A. JOIST/TIL FLOOR JOISTS AS SHOWN ON PLANS BY TRUSS JOIST CORP. OR EQUAL...
B. RIM JOISTS: 1-1/4"x11-7/8" TIMBERSTRAND AROUND ENTIRE PERIMETER...
C. BLOCKING: TJ TRUSS JOIST REQUIRED AT ALL LOAD BEARING WALLS...
D. SILL PLATE: 2X REDWOOD OR PRESSURE TREATED LONALD GATE PLYWOOD...
E. SUB FLOOR: 3/4" T&G EXTERIOR MAPLE BOARD OR (CDX) PLYWOOD...
F. MAIN FLOOR DIAPHRAGM BLOCKING REQUIRED FOR ALL FLOOR JOIST BAYS...
5. INTERIOR WALLS:
A. STUDS: 2X4 (2X6 WHERE NOTED) #2 OR BTR HEMLOCK OR DOUGLAS FIR 16' O.C.
B. FINISH: WALLBOARD (WALLS & CEILING): 1/2" GYPSUM BOARD (WATERPROOF AT ALL SPLASH AREAS)...
C. TUBS AND SHOWERS WITH TILE WALLS REQUIRE GEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS...
6. ROOF/CEILING FRAMING:
A. TRUSSES: #2 OR BTR HEMLOCK OR DOUGLAS FIR. REFER TO MANUFACTURER'S SPECS FOR TRUSS ENGINEERING...
B. RAFTERS: #1 ENGINEERED RAFTERS BY TRUSS JOIST CORP. OR EQ. OR 2X #2 OR BETTER HEMLOCK OR DOUGLAS FIR...
C. SHEATHING: 5/8" OR 11/16" 40/20 APA RATED SHEATHING OR EQUAL...
7. ROOF:
A. UNDERLAY: 30 # FELT PAPER (WATER AND ICE SHIELD AT ALL VALLEYS AND AT ALL OVERHANGS)...
B. FLASHING: ALUMINUM SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING...
C. VENTILATION: RIDGE OR HIP ROOF VENTS AS SHOWN ON THE ELEVATIONS...
D. SHINGLES: SEE ELEVATIONS FOR ROOFING STYLE...
8. INSULATION:
A. WALLS: FIBERGLASS BATT OR BLOWN NET CELLULOSE (AS SELECTED BY OWNER) TYPE MINIMUM R-23 (2X6) OR R-19 (2X4)...
B. BLOWN OR SPRAYED ROOF/CEILING: BLOWN ROCKWOOL OR FIBERGLASS MINIMUM R-44 VALUE...
C. WINDOW TAPE: ALUMINUM TAPE WITH A REINFORCING FABRIC TAPE TO SEAL AGAINST MOISTURE AND AIR INFILTRATION...
9. EXTERIOR TRIM:
A. CASIO: SEE ELEVATIONS (CONFIRM W/ OWNER)
B. SOFFIT: ALUM. W/ VENTILATION OR AS SELECTED BY OWNER.
C. DRIP EDGE: ALUMINUM OR AS SELECTED BY OWNER.
D. DOWNSPOUTS/GUTTERS: ALUMINUM OR AS SELECTED BY OWNER.
10. INTERIOR DETAILS:
A. TRIM: DOOR/WINDOW CASINGS, BASEBOARDS, CHAIR RAIL AND CROWN MOLDING PAINT GRADE EXCEPT GREAT ROOM/KITCHEN/NOOK SHALL BE STAIN GRADE...
B. CABINETS: ALL CABINETS SHALL BE HARDWOOD OR AS SELECTED BY OWNER.
C. COUNTERTOPS/BACKSPLASH: GRANITE IN KITCHEN, LAUNDRY, BASEMENT KITCHEN AND IN ALL BATHROOMS.
11. ELECTRICAL:
A. PANEL: MINIMUM 200 AMP SERVICE AND SHALL COMPLY WITH N.E.C. AND LOCAL CODES.
B. WIRING/OUTLETS: SHALL BE AS SHOWN ON PLANS AND PER N.E.C. AND LOCAL CODES...
C. MISCELLANEOUS: OUTDOOR FLOOD LIGHTING SHALL BE AS SELECTED BY CONTRACTOR/OWNER.
D. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA (AIR CONDITIONING CONTRACTORS OF AMERICA) MANUAL J...
12. HEATING/AIR CONDITIONING:
A. HEATING: MINIMUM 90% ENERGY EFFICIENT GAS FIRED FORCED AIR HEATERS...
B. AIR CONDITIONING: CENTRAL AIR AIR CONDITIONING UNITS SHALL BE SUPPLIED AND LOCATED ON A CONCRETE PAD...
C. DUCTING AND REGISTERS: DESIGN, LOCATION AND TYPE SHALL BE BY PLUMBING/HEATING CONTRACTOR...
D. MISCELLANEOUS: ALL HEATING IS TO BE PERFORMED BY A LICENSED CONTRACTOR...
13. PLUMBING:
A. SEWER DRAIN: PLASTIC ABS TYPE - BACKWATER VALVE IF REQUIRED PER IRC, PS008, WATER PIPE, COPPER SUPPLY TO METER.
B. WATER HEATER: TWO (2) GAS FIRED GLASS LINED A.O. SMITH SUB CHAMBER OR EQUAL, MINIMUM 50 GALLON EACH.
C. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.
D. FIXTURES: ALL FIXTURES SHALL BE SELECTED BY OWNER.
E. MISCELLANEOUS: FAUCETS SELECTED BY OWNER. COLD WATER SUPPLY (NO WATER SOFTENER) TO KITCHEN SINK AND REFRIGERATOR.
F. SHOWERS: ALL SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQ. IN. AND SHALL ALSO HAVE A MIN. IMPACT RESISTANT SAFETY GLASS SHOWER DOOR...
G. APPLIANCES: ALL APPLIANCES (WATER HEATER, BOILER, STEAM GENERATOR, ETC.) WHICH REQUIRE PRESSURE RELIEF VALVES SHALL BE PROVIDED WITH A FULL SIZE DRAIN...
H. SHOWER PAN LINERS MUST EXTEND 3 INCHES ABOVE THE SHOWER DOOR THRESHOLD HEIGHT AND SOLID BLOCKING IS REQUIRED BEHIND ALL LINER LOCATIONS...
I. BATHTUBS AND whirlpool: JETTED TUBS MUST NOW HAVE A TEMPERATURE LIMITING (120 DEGREES) MIX VALVE.
J. BACKWATER VALVES: FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE...
14. DOORS:
A. EXTERIOR: SOLID CORE WOOD WITH WEATHER-STRIPPING. EXTERIOR DOORS WITH SIDELIGHTS OR AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR...
B. INTERIOR: HOLLOW CORE MASONITE AS INDICATED ON THE DOOR SCHEDULE.
C. GARAGE: INSULATED OVERHEAD METAL SECTIONAL TYPE MARTIN DOORS OR EQUAL WITH ELECTRICAL/MECHANICAL DOOR OPERATORS...
D. PATIO/GLASS DOORS: ALL PATIO/GLASS DOORS SHALL BE SAFETY RATED TEMPERED GLASS.
E. PROVIDE CORROSION RESISTANT METAL L FLASHING OVER ALL EXTERIOR DOORS INCLUDING GARAGE DOORS WITHOUT NAILING FINS OR FLANGES.
15. WINDOWS/SKYLIGHTS:
A. MARVIN ANDERSON OR EQUAL SUPPLIED BY BMC (COLOR AND STYLE BY OWNER).
B. GLAZING TO BE DOUBLE ARGON GAS FILLED WITH LOW E RATINGS OR AS SELECTED BY OWNER.
C. SCREENS SHALL BE NYLON FABRIC.
D. WINDOW WELLS: WINDOW WELL SHALL MEET I.R.C. R310.2 WITH A CLEAR HORIZONTAL AREA OF 9 SQ. FT. AND A MINIMUM WIDTH OF 3'-0".
E. EGRESS: ALL BEDROOM WINDOWS SHALL HAVE A WINDOW OPENING OF 44" MAX. FROM THE FINISHED FLOOR.
F. WINDOWS OVER ALL BATHTUBS AND SHOWERS SHALL BE IMPACT RESISTANT SAFETY GLASS AS WELL AS WINDOWS WITHIN 24" OF A DOOR.
G. GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 60" OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE...
H. FLASH AND CAULK: ALL EXTERIOR WINDOWS AND DOORS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
I. WINDOWS WITH SILL HEIGHTS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR...
J. PROVIDE CORROSION RESISTANT METAL L FLASHING OVER ALL EXTERIOR DOORS INCLUDING GARAGE DOORS WITHOUT NAILING FINS OR FLANGES.
16. WALL FINISH:
A. WALL PAINT SHALL BE LATEX BASED SEALER, PRIMER AND 2 COATS OF ALKYD FINISH.
17. FIREPLACES/ STOVES:
A. FIREPLACES SHALL CONSIST OF NATURAL GAS, DIRECT VENT, SEALED COMBUSTION, METAL FIREBOX AS MANUFACTURED BY HEAT-N-GLO MODEL 6000T OR EQUAL OR AS SELECTED BY OWNER.
B. ACTUAL FIREBOX OPENING/ FRAMING PER CONTRACTOR/ OWNER & FIREBOX SELECTED CONTACT ENGINEER FOR APPROVAL FOR SHEER WALL OPENING.
18. HANDRAILINGS:
A. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) OR MORE IN DIAMETER.
B. EXTERIOR HAND RAILING SHALL BE POWDER COATED STEEL RAILING SYSTEM (OR AS SELECTED BY OWNER).
C. INTERIOR: HAND RAILING SHALL BE KNOTTY ALDER RAIL AND NEMELS WITH WROUGHT IRON BALUSTERS (STAIN AND FINISH OR AS SELECTED BY OWNER).
19. FINISH COLORS:
A. CARPET: AREAS TO BE CARPETED SHALL BE SHOWN ON PLANS /GARPET AND PADDING SELECTED BY OWNER.
B. WOOD FLOOR: AREAS TO BE COVERED WITH HARDWOOD SHALL SHOWN ON PLANS (STYLE AND TYPE TO BE SELECTED BY THE OWNER).
C. TILE/STONE: AREAS TO BE COVERED WITH TILE/NATURAL STONE SHALL BE SHOWN ON PLANS (STYLE AND TYPE TO BE SELECTED BY THE OWNER).
20. APPLIANCES:
A. ALL APPLIANCES SHALL BE SELECTED BY OWNER.
B. BATHROOM EXHAUST FAN DUCTS MUST CONTINUE AND DISCHARGE DIRECTLY OUTSIDE THE STRUCTURE.
GENERAL DRAWING NOTES: HABITATIONS MAKES EVERY EFFORT TO PRESENT ACCURATE & RELIABLE INFORMATION, HOWEVER IT DOES NOT ENDORSE, APPROVE, OR CERTIFY THE INFORMATION PROVIDED BY OTHERS...
1. FLOOR PLAN INTERIOR DIMENSIONS ARE TO INSIDE OF UNFINISHED (STUD) WALLS (UNFINISHED WALL THICKNESS EQUALS 3 1/2") SQUARE FOOTAGE IS DETERMINED TO THE OUTSIDE OF ALL EXTERIOR WALLS IN EVERY LOCATION WHERE THE FLOOR JOISTS PROJECT FROM THE FOUNDATION.
2. FLOOR PLAN EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUDS (EXCLUDING SHEATHING).
3. AN ATTEMPT HAS BEEN MADE TO DESIGN TO FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES HOWEVER THE CONTRACTOR/ OWNER SHALL HAVE RESPONSIBILITY TO INSURE THAT ALL APPLICABLE FEDERAL, STATE & LOCAL BUILDING CODES AND ORDINANCES ARE MET...
4. ELECTRICAL, PLUMBING AND HVAC DETAILS ARE NOT SHOWN. THE GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO INSURE THAT SUBCONTRACTORS FOLLOW ALL APPLICABLE CODES.
5. STRUCTURAL ROOF, FLOOR AND WALL FRAMING DETAILS ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FRAMING TO MEET STRUCTURAL REQUIREMENTS OF ALL APPLICABLE CODES.
6. CABINET DETAILS ARE NOT SHOWN. DESIGN, STYLE AND COLOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
7. SITE PLAN IS SHOWN FOR INFORMATION ONLY. OWNER /CONTRACTOR SHALL HAVE RESPONSIBILITY TO DETERMINE GRADES AND FINAL PLACEMENT AND ELEVATIONS OF FOOTING/FOUNDATION TO MEET ALL APPLICABLE LOCAL BUILDING CODES/ORDINANCES.
8. A TRASH DUMPSTER AND PORTA-POTTY SHALL BE PROVIDED AT ALL NEW CONSTRUCTION SITES. CAN NOT BE PLACED IN STREET OR ACROSS SIDEWALK AND PARKSTRIP.
9. A CERTIFICATE MUST BE POSTED IN OR BY THE ELECTRICAL, PANEL OR FURNACE ROOM LISTING THE R VALUES OF THE INSULATION INSTALLED IN THE WALLS, FOUNDATION WALLS, SLAB, CRAWLSPACE AND DUCTS OUTSIDE CONDITIONED SPACES, WINDOWS U-FACTORS AND SOLAR HEAT GAIN CONSTANTS MUST ALSO BE LISTED AND SHOWN. THE TYPE AND EFFICIENCY OF THE FURNACE, BOILER, WATER HEATER AND AIR CONDITIONING EQUIPMENT SHALL ALSO BE LISTED.

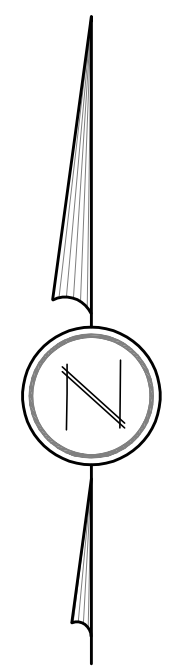
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VOICE: 801-478-1800
FAX: 801-478-1828

GENERAL NOTES & SPECIFICATIONS
DRAWN BY: M. STEELE
CHECKED BY: T. RICKS
ISSUE DATE: XX/XX/2016
PLAN NUMBER: 454465
SHEET NUMBER: 2 OF 15

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SITE PLAN
ASPEN DRIVE
LOT #42-R
POWDER MOUNTAIN WEST PHASE 2
EDEN CITY, WEBER COUNTY, UTAH

SCALE: 1" = 10'-0"
Area = 9,554 Sq. Ft. = 0.22 ACRE

HEIGHT RESTRICTION CALCS	
HIGHEST GRADE	8282
LOWEST GRADE	8265
PEAK HEIGHT	8308.5
DIFFERENCE #1	25.47
DIFFERENCE #2	41.47
TOTAL	66.94
DIVIDED BY 2	33.47
HEIGHT RESTRICTION FROM AVERAGE FINISHED GRADE	35'
ACTUAL HEIGHT FROM AVERAGE FINISHED GRADE	33.47'

PLEASE NOTE:

- SITE PLAN IS SHOWN FOR INFORMATION ONLY. OWNER /CONTRACTOR SHALL HAVE RESPONSIBILITY TO DETERMINE GRADES AND FINAL PLACEMENT AND ELEVATIONS OF FOOTINGS/FOUNDATIONS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, NATIONAL, AND LOCAL BUILDING CODES & ORDINANCES.
- THIS SITE PLAN IS A REPRESENTATION OF CONCRETE FOUNDATIONAL BUILDING FOOTPRINT ONLY. ALL SETBACK INFORMATION SHOWN IS TO CONCRETE FOUNDATION WALLS ONLY. SITE PLAN DOES NOT INDICATE THE LOCATION OF ROOF OVERHANGS OR CANTILEVERS (WALL POPOUTS OR FLOOR OVERHANGS) OR OTHER ARCHITECTURAL ELEMENTS THAT MAY PENETRATE THE PROPERTY SETBACKS OR EASEMENTS. THE PLAN COUNTY, CITY OR OTHER JURISDICTION REVIEWER, CONTRACTOR AND OWNER SHALL REVIEW ALL PLAN SUBMITTAL DRAWINGS (FLOOR PLANS, ELEVATIONS, DETAILS, ETC..) IN CONJUNCTION WITH THE SITE PLAN TO IDENTIFY ANY PROPOSED WALL CANTILEVERS OR OTHER FEATURES THAT MAY ENCROACH INTO SETBACKS AND SHALL REPORT ANY CONCERNS TO THE DESIGNER PRIOR TO EXCAVATION AND/OR CONSTRUCTION.

LINETYPE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- HOME FOOTPRINT
- PROPOSED CONT.
- 10' CONT. LINE
- 2' CONT. LINE
- → DIRECTIONAL DRAINAGE ARROWS

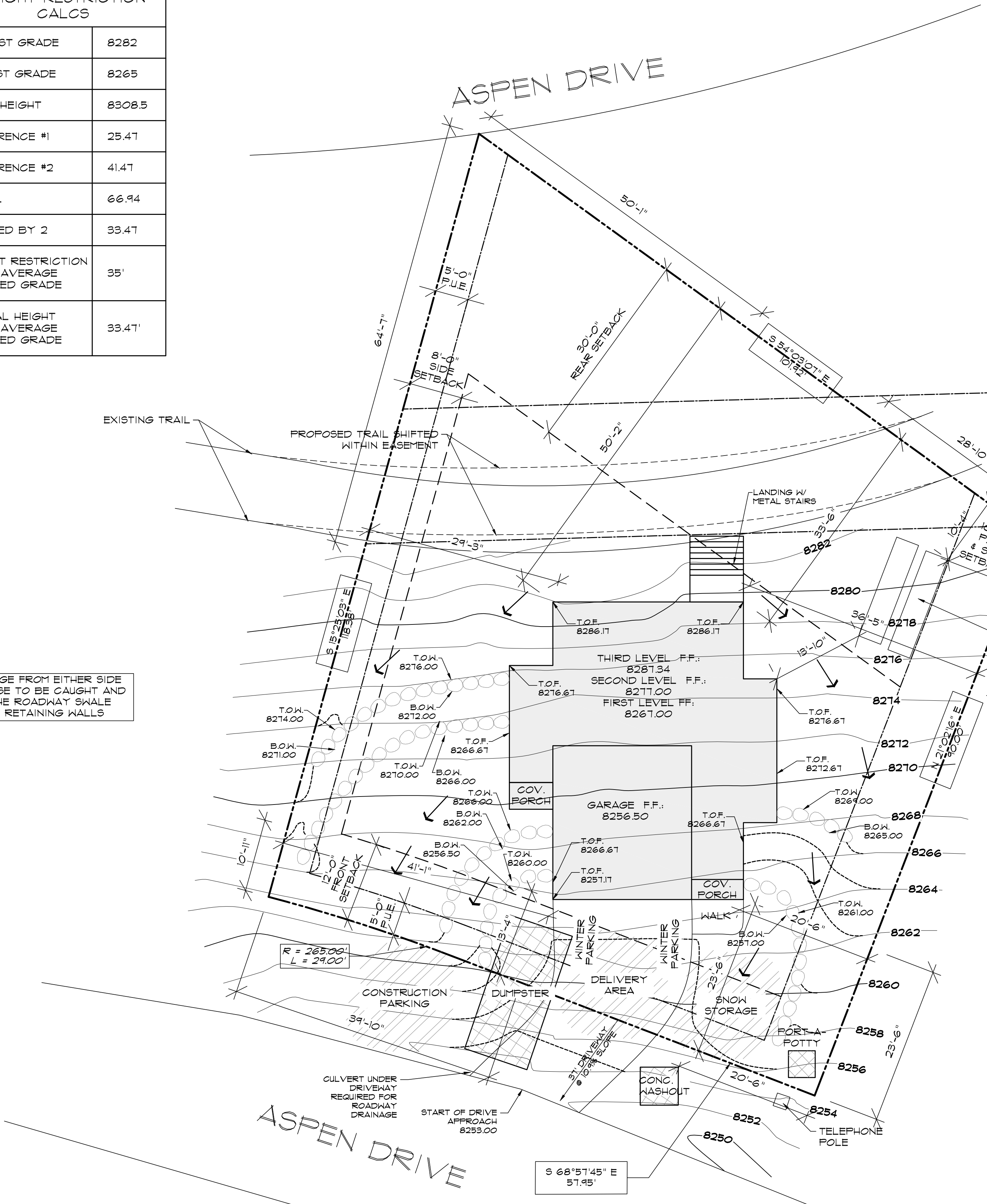
NOTE:
ALL DRAINAGE FROM EITHER SIDE OF THE HOUSE TO BE CAUGHT AND PIPED TO THE ROADWAY SWALE BEHIND ANY RETAINING WALLS

- ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE.
- THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (3%)
- STREET, CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.
- STRAIN WATTLES (OR EQUIVALENT) TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION.
- BERMS OR SWALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.
- ALL REAR DRAINAGE TO BE RETAINED ON THE PROPERTY.
- FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.
- LONG-TERM DRAINAGE CONTROL BY STANDARD RESIDENTIAL LANDSCAPING, INCLUDING GRASS, TREES AND BUSHES AND AN AUTOMATIC SPRINKLER SYSTEM.



NOTES:

- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE. THIS DISCHARGE AREA MUST BE LINED WITH AN IMPERMEABLE BARRIER.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.



SWPPP INFORMATION

- HOW MUCH AREA WILL BE DISTURBED? APPROX. 55K SQ. FT. OF THE LOT. JUST OVER 58% OF THE ENTIRE LOT AREA.
- WHO WILL BE RESPONSIBLE FOR THE CONDITIONS OF THE SITE DURING CONSTRUCTION? CARSON YOUNG WITH SOLITUDE BUILDERS 801-452-5020
- WHAT WILL BE DONE TO PREVENT THE NEIGHBORS FROM BEING AFFECTED BY THE PROPOSED CONSTRUCTION ACTIVITIES? THE SITE INCLUDING THE STREET, ETC. WILL BE CLEANED OF MUD AND DEBRIS DAILY.
- WHAT WILL BE DONE WITH ALL EXCAVATED MATERIAL TEMPORARILY AND PERMANENTLY? ALL MATERIAL WILL BE USED ON SITE FOR LANDSCAPING AND SHAPING OF THE LAND AFFECTED.
- WHERE IS THE CONCRETE WASHOUT AND HOW WILL IT BE MAINTAINED? CONCRETE WASHOUT AREA SHOWN ON SITE PLAN, SEE NOTES ABOVE.
- WHERE ARE THE PORTA-JOINS LOCATED AND HOW ARE THEY INSTALLED. SEE SITE PLAN FOR LOCATION AND THEY ARE STAND ALONE UNITS AND WILL BE DELIVERED AND PICKED UP FOR SERVICE AND INSTALLATION.
- HOW WILL THE CONSTRUCTION ENTRANCE BE BUILT AND WHERE WILL IT BE LOCATED? THE ENTRANCE WILL BE BUILT WHERE THE PROPOSED DRIVEWAY LOCATION IS SHOWN. IT WILL CONSIST OF GRAVEL ROAD BASE FROM THE RIGHT OF WAY AND BE AT LEAST 40 FEET LONG TO REDUCE MUD AND DEBRIS FROM TRACKING OUT TO THE RIGHT OF WAY.
- WHAT WILL YOU DO WHEN MUD AND/OR DIRT GETS TRACKED ON THE ASPHALT? IT WILL BE SCRAPPED AND SWEEP DAILY.
- IS THERE A DRAINAGE DITCH OR SWALE ON OR NEAR YOUR PROPERTY? IF SO HOW WILL IT BE PROTECTED? THERE IS A DRAINAGE EASEMENT ON THE PROPERTY. STAKED STRAIN WATTLES AND A SILT FENCE WILL BE INSTALLED ON THE CONSTRUCTION SIDE OF THE EASEMENT TO ENSURE DEBRIS WILL NOT ENTER OR AFFECT THE EASEMENT.
- WHAT CURRENTLY HAPPENS TO THE RAIN/STORM WATER WHEN IT REACHES THIS PROJECT SITE? STORM-WATER REACHING THIS SITE IS ABSORBED INTO THE VEGETATION AND GROUND.
- SHOW ALL EXISTING OCCUPATION ON THE PROPERTY. NO EXISTING OCCUPATION CURRENTLY EXISTS ON THE PROPERTY.

NOTE:

THIS PLAN IS PROVIDED FOR SITE LAYOUT, AND GRADING REFERENCE ONLY. THIS PLAN IS NOT A LEGAL BOUNDARY SURVEY. CONTRACTOR SHOULD VERIFY EXISTING GRADE, EASEMENT, LOT CORNER AND BOUNDARY LOCATIONS WITH EXISTING STAKING OR BY RETAINING A LICENSED LAND SURVEYOR. ACTUAL LOCATION, PLACEMENT, HEIGHT AND DESIGN FOR RETAINING WALLS, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS NOT INCLUDED WITH THIS PLAN. EXISTING CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY EXISTING CONDITIONS, SLOPES, ETC. BEFORE PROCEEDING WITH EXCAVATION & CONSTRUCTION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR NEIGHBORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR NEIGHBORS.

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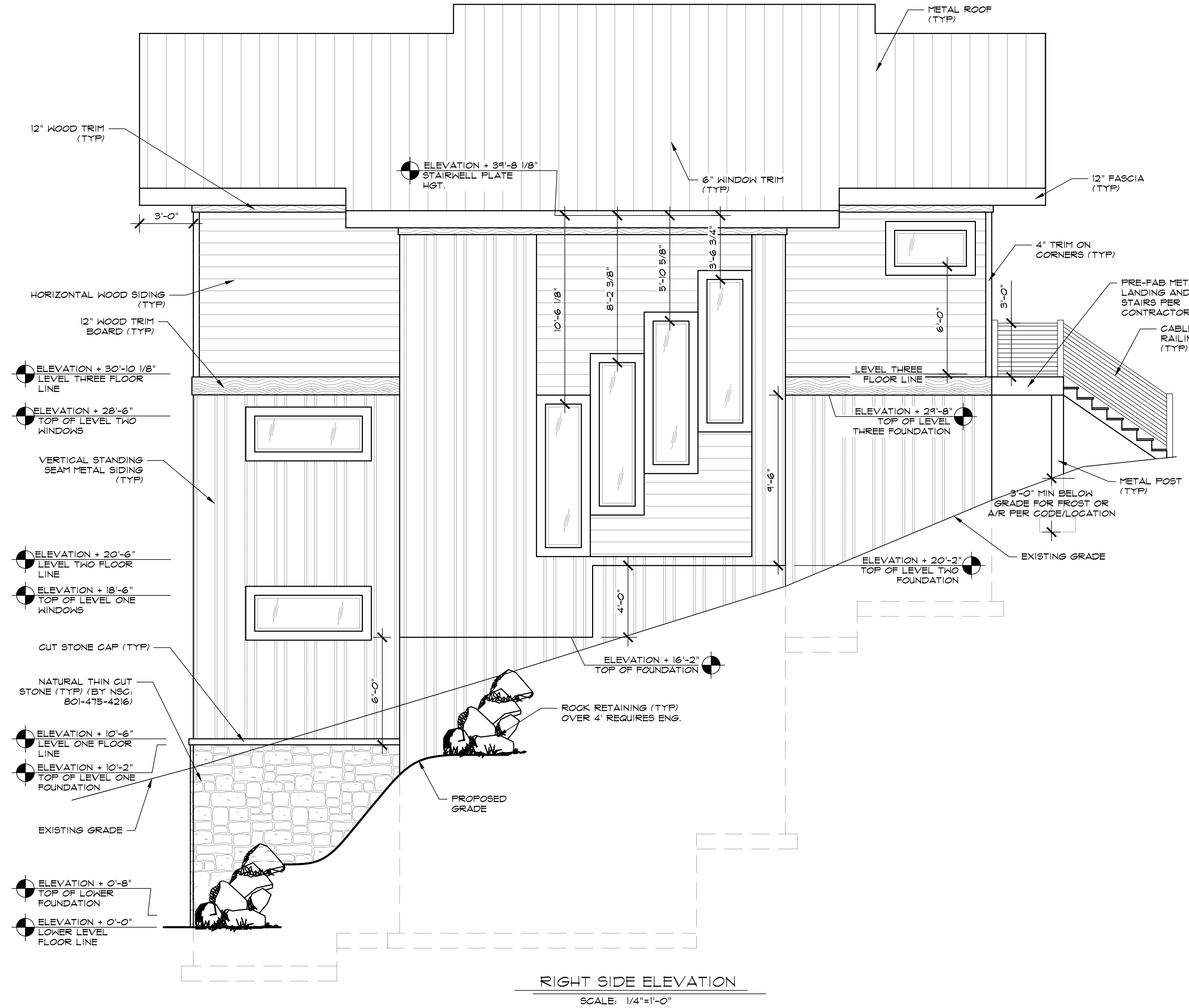
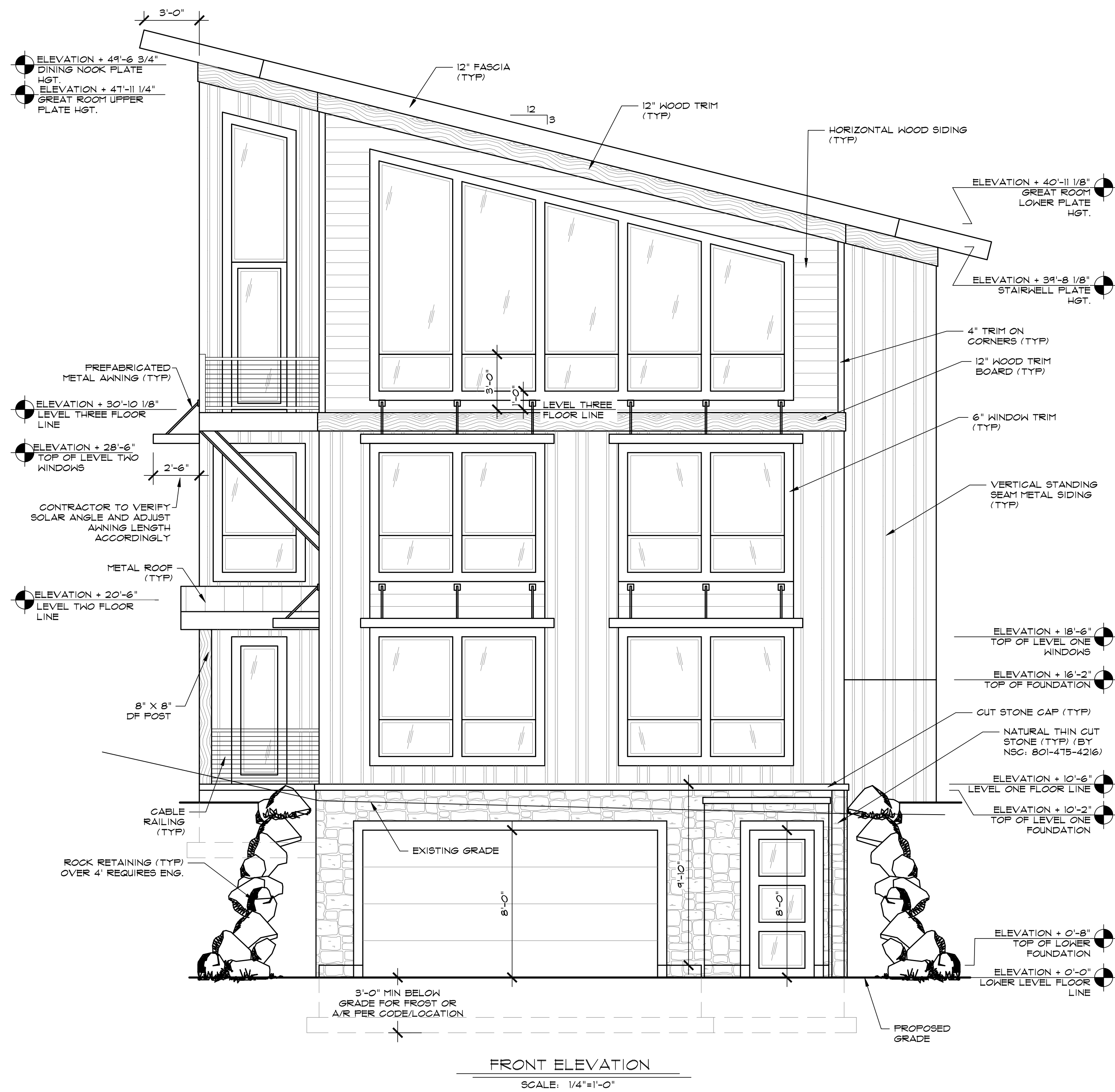
SHEET TITLE: **SITE PLAN**

SHEET TITLE:

24x36 SHEET, 1" = 10'-0"

DRAWN BY: M. STEELE
CHK'D BY: T. RICKS
ISSUE DATE: XX/XX/2016
PLAN NUMBER: 454465
SHEET NUMBER: 3 OF 15

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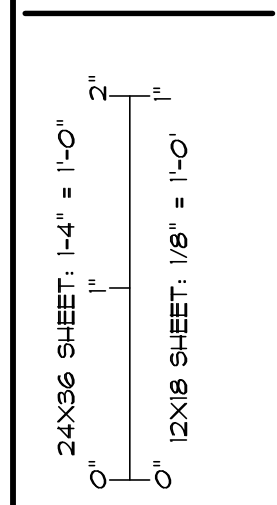


CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN ANY DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN ANY DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

VOICE: 801-475-1828
FAX: 801-475-1828
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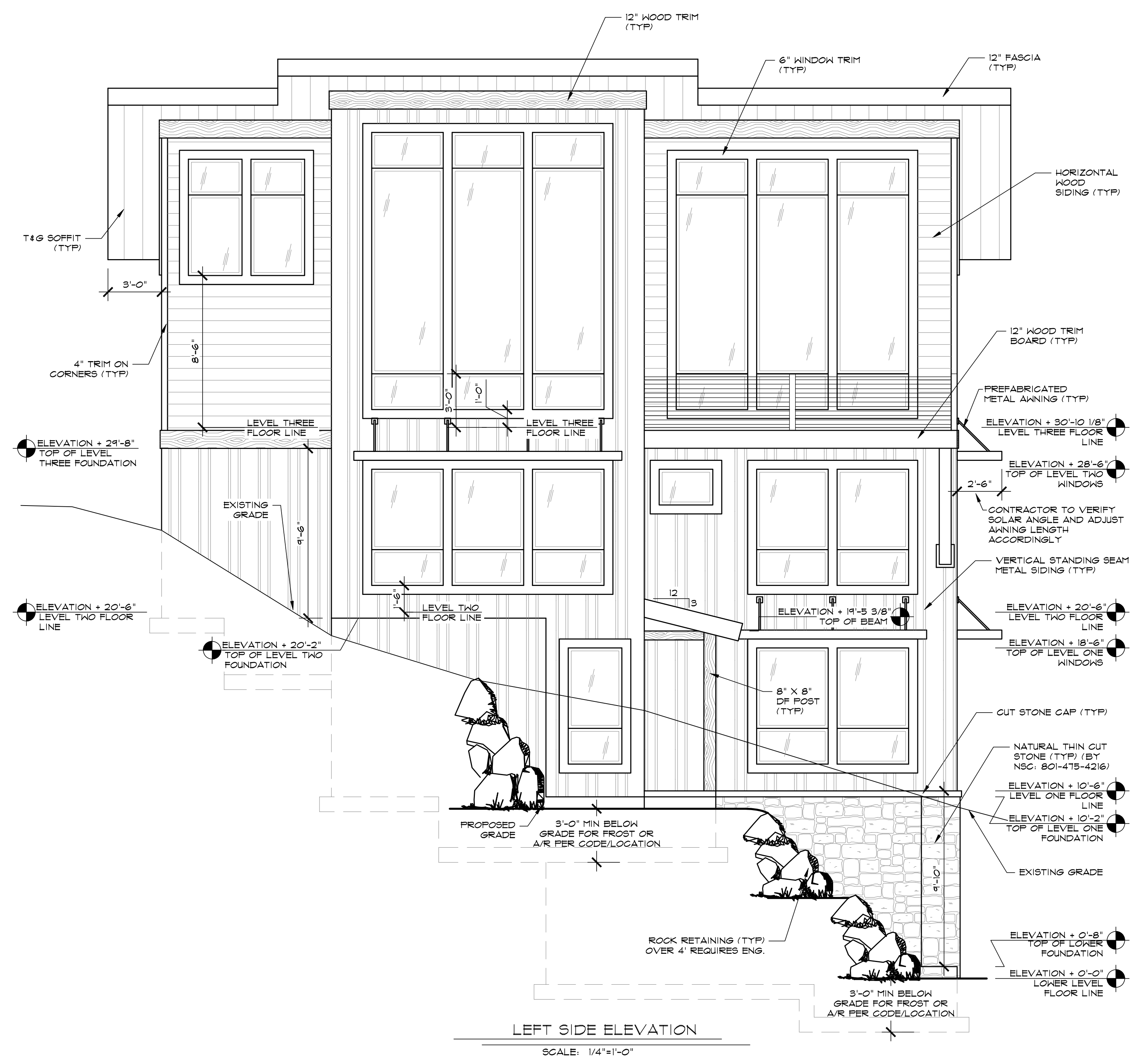
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SHEET TITLE:
**FRONT / RIGHT SIDE
ELEVATIONS**

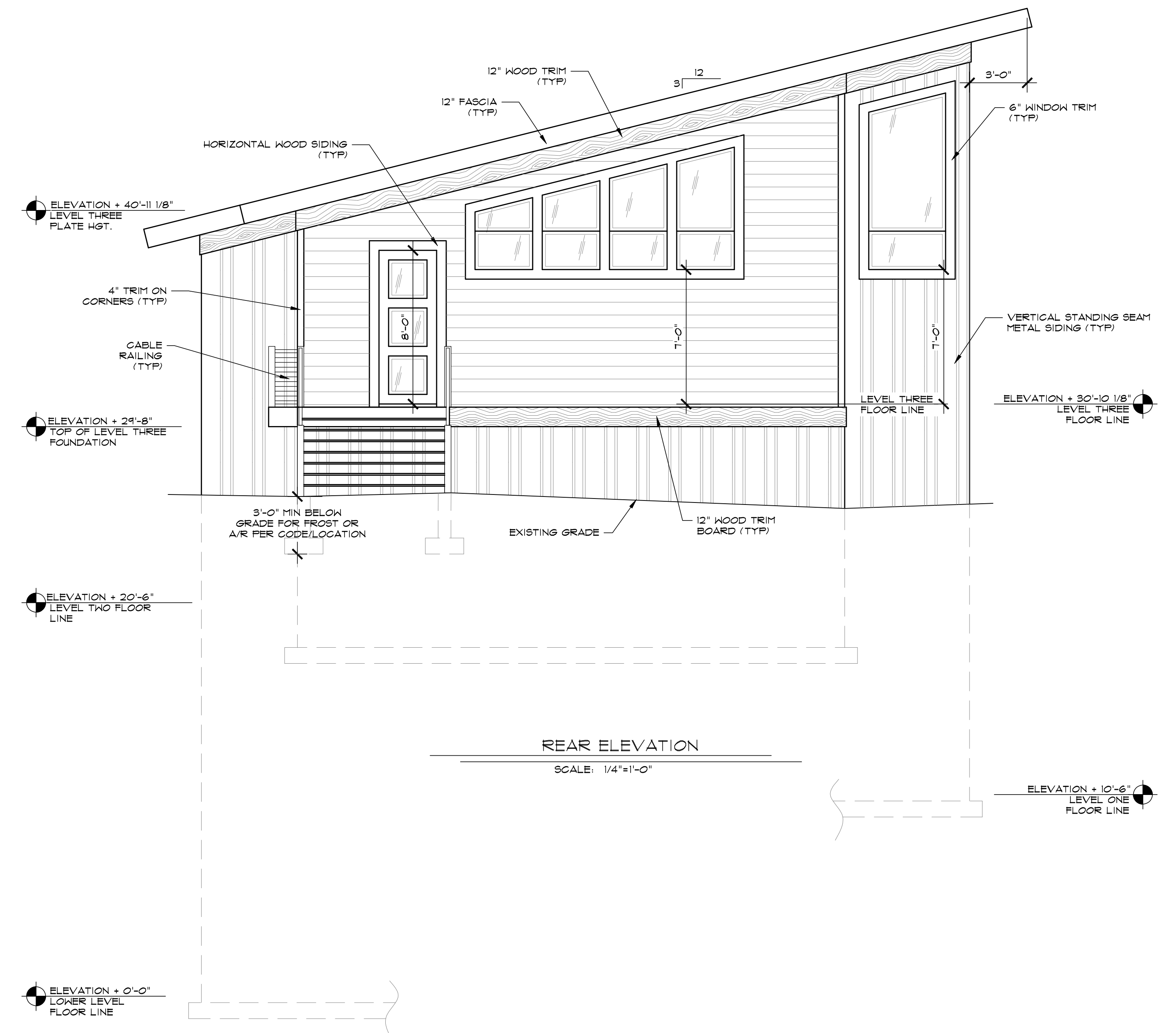


DRAWN BY:
M. STEELE
CHK'D BY:
T. RICKS
ISSUE DATE:
XX/XX/2016
PLAN NUMBER:
454465
SHEET NUMBER:
4 OF 15

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LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



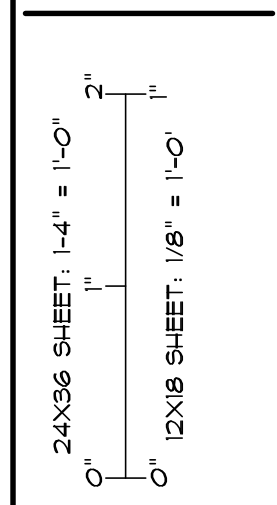
REAR ELEVATION
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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FAX: 801-478-1828
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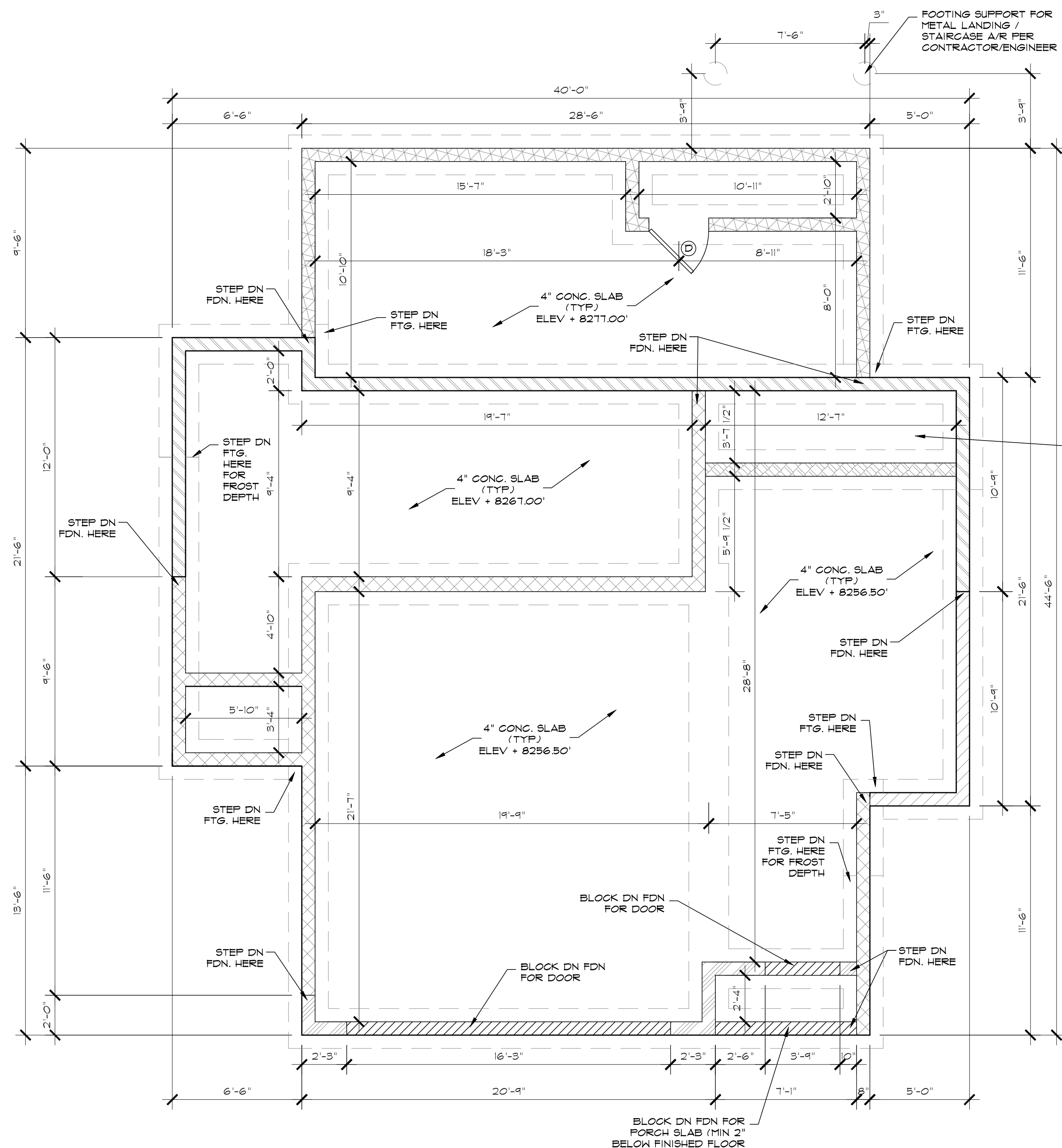
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SHEET TITLE:
REAR / LEFT SIDE ELEVATIONS



DRAWN BY:
M. STEELE
CHK'D BY:
T. RICKS
ISSUE DATE:
XX/XX/2016
PLAN NUMBER:
454465
SHEET NUMBER:
5 OF 15

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T.O.F. ELEVATIONS (CONTRACTOR TO VERIFY BASED ON SITE CONDITIONS)	
	ELEV + 8251.11'
	ELEV + 8261.70'
	ELEV + 8266.61'
	ELEV + 8272.61'
	ELEV + 8276.61'
	ELEV + 8286.11'

NOTE:
CONTRACTOR TO VERIFY ALL FIELD
DIMENSIONS PRIOR TO CONSTRUCTION.

IMPORTANT NOTE:

- THE CONTRACTOR IS REQUIRED TO CONSULT WITH A GEO-TECHNICAL ENGINEER TO VERIFY ALLOWABLE SOIL BEARING PRESSURE AND THAT EXPANSIVE SOILS DO NOT EXIST IN THE VICINITY OF CONSTRUCTION PRIOR TO INSTALLING THE FOUNDATION. ALL FINDINGS ARE TO BE REPORTED TO THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING.
- THE FOOTING/ FOUNDATION PLAN INFORMATION PRESENTED HEREIN IS FOR INFORMATION ONLY. THE STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR FOOTING/ FOUNDATION PLAN DETAILS AND REQUIREMENTS, ELEVATIONS OF FOOTINGS OR TOP OF FOUNDATIONS SHOULD BE DETERMINED BY THE GENERAL CONTRACTOR BASED ON SITE CONDITIONS AND OWNER DESIRES.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
- FOUNDATION MUST BE INSULATED WITH A MIN. OF R-10 RIGID INSULATION.

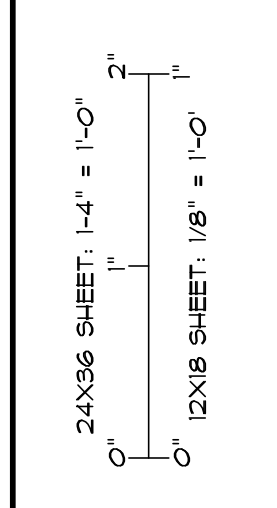
**SEE PAGE 7
FOR WINDOW AND
DOOR SCHEDULE**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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SHEET TITLE:
FOOTING / FOUNDATION PLAN



DRAWN BY:
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CHK'D BY:
T. RICKS
ISSUE DATE:
XX/XX/2016
PLAN NUMBER:
454465
SHEET NUMBER:
6 OF 15

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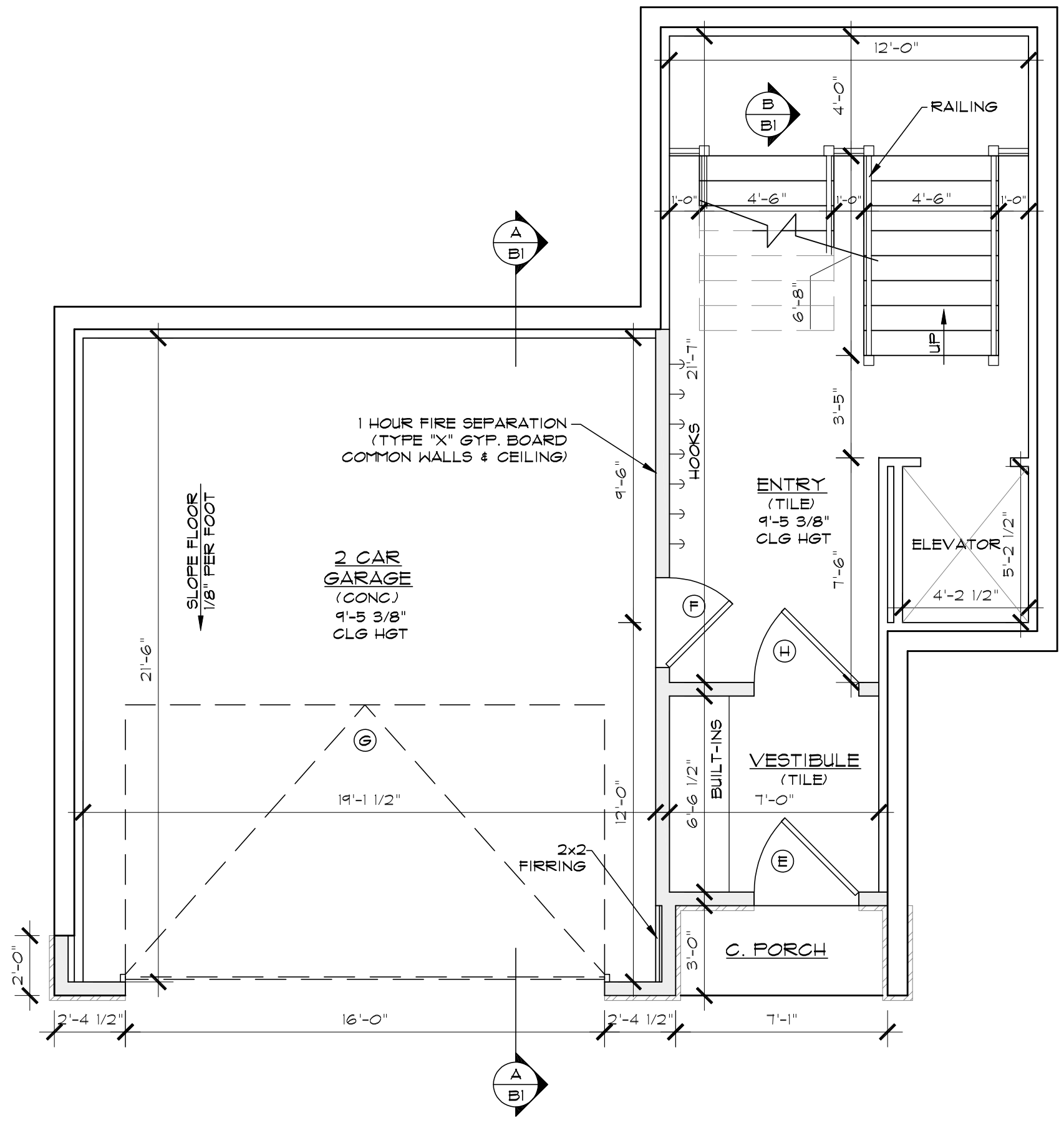
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SHEET TITLE:
**BASEMENT LEVEL FLOOR PLAN /
LEVEL ONE FLOOR FRAMING PLAN**

24X36 SHEET: 1/4" = 1'-0"
12X18 SHEET: 1/8" = 1'-0"
DRAWN BY:
M. STEELE
CHK'D BY:
T. RICKS
ISSUE DATE:
XX/XX/2016
PLAN NUMBER:
454465
SHEET NUMBER:
7 OF 15



BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

LOWER LEVEL 365 SQ. FT.
GARAGE 463 SQ. FT.

DOOR SCHEDULE		
ID	QTY	DESCRIPTIONS
A	1	2'-4" X 8'-0" PKT DOOR
B	4	2'-6" X 8'-0" PKT DOOR
C	5	2'-6" X 8'-0" INTERIOR 2 PANEL DOOR
D	8	3'-0" X 8'-0" INTERIOR 2 PANEL DOOR
E	3	3'-0" X 8'-0" EXTERIOR GLASS DOOR
F	1	3'-0" X 8'-0" 20 MIN FIRE RATED W/ SELF CLOSER
G	1	18'-0" X 8'-0" INSULATED OVERHEAD DOOR
H	3	3'-0" X 8'-0" EXTERIOR 2 PANEL DOOR
I	2	6'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
J	1	5'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
K	1	3'-0" X 8'-0" EXTERIOR FULL GLASS DOOR W/ 7'-6" TRAPEZOID TRANSOM

NOTE: UNLESS OTHERWISE SPECIFIED ALL INTERIOR DOORS SHALL HAVE PINE JAMBS. ALL EXTERIOR DOORS SHALL HAVE PINE JAMBS, DEAD BOLTS AND WEATHER-STRIPPING. ALL GLASS ENTRY & PATIO DOORS SHALL HAVE LOW-E, DOUBLE GLAZED, TEMPERED SAFETY GLASS.

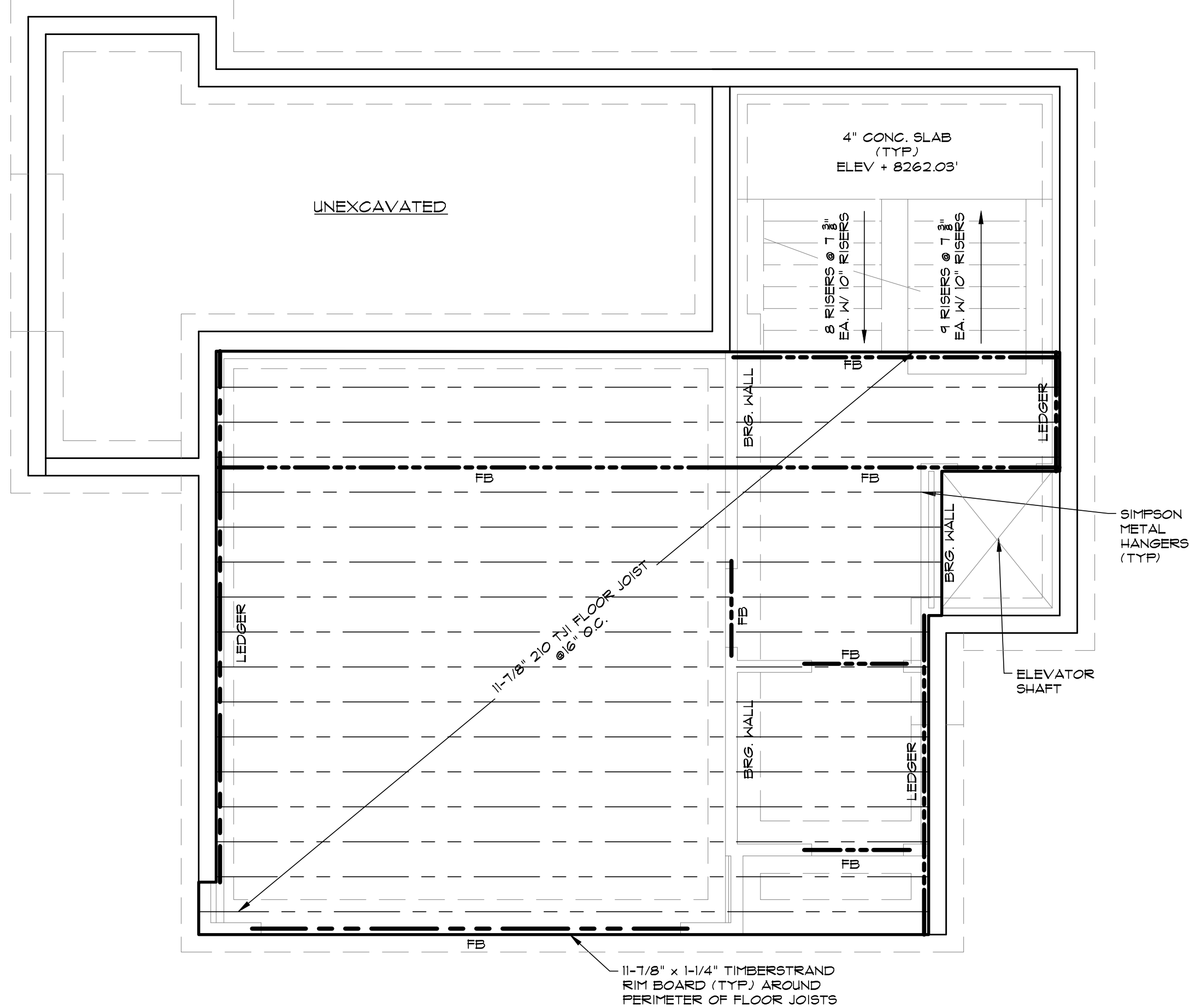
WINDOW SCHEDULE		
ID	QTY	DESCRIPTIONS
1	16	4'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
2	4	2'-0" X 8'-0" FIXED (TEMPERED)
3	1	3'-0" X 2'-0" AWNING
4	1	4'-0" X 6'-0" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
5	1	4'-0" X 7'-1 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
6	1	4'-0" X 8'-3" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
7	1	4'-0" X 9'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
8	1	4'-0" X 10'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
9	1	4'-0" X 2'-0" FIXED
10	3	4'-0" X 10'-0" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
11	3	4'-0" X 11'-6" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
12	1	3'-0" X 1'-9" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
13	1	3'-0" X 2'-7 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
14	1	3'-0" X 3'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
15	1	4'-0" X 4'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
16	1	4'-0" X 7'-2 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
17	1	3'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
18	2	3'-0" X 4'-6" FIXED W/ 2'-0" TRANSOM
19	2	6'-0" X 2'-0" FIXED

NOTE: UNLESS OTHERWISE NOTED ALL WINDOWS SHALL BE ALUMINUM GLAD HOOD BY MARVIN OR VINYL SUPPLIED BY BMC WEST OR EQUAL. MANUFACTURERS DIRECTIONS SHALL BE FOLLOWED FOR INSTALLATION AND FRAMING DIMENSIONS. ALL WINDOWS SHALL BE DOUBLE GLAZED AND LOW E GLASS. SEE ELEVATIONS TO DETERMINE STYLE AND CONFIGURATION.

WALL SCHEDULE	
	2'X4" FRAMED WALL
	2'X6" FRAMED WALL
	THIN CUT NATURAL STONE

- NOTE: UNLESS OTHERWISE SPECIFIED ALL ANGLED WALLS SHALL BE IN 45° INCREMENTS.
- WALL SIZES SHALL BE GOVERNED IN ALL CASES BY THE WALL HEIGHT SCHEDULE (SEE FRAMING SHEETS).

NOTE:
VERIFY ALL FIELD DIMENSIONS PRIOR TO CONSTRUCTION.
BUILT-IN CABINETRY SHALL BE SELECTED BY OWNER.



LEVEL ONE FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

IMPORTANT NOTE:
THE FLOOR FRAMING PLAN INFORMATION PRESENTED HEREIN IS FOR INFORMATION ONLY. THE ACTUAL FLOOR FRAMING PLAN SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. HABITATIONS MAKES NO GUARANTEE TO THE PLAN ACCURACY OR COMPLETENESS AND ASSUMES NO LIABILITY FOR SUCH.

BASEMENT LEVEL 365 SQ. FT.
GARAGE 463 SQ. FT.

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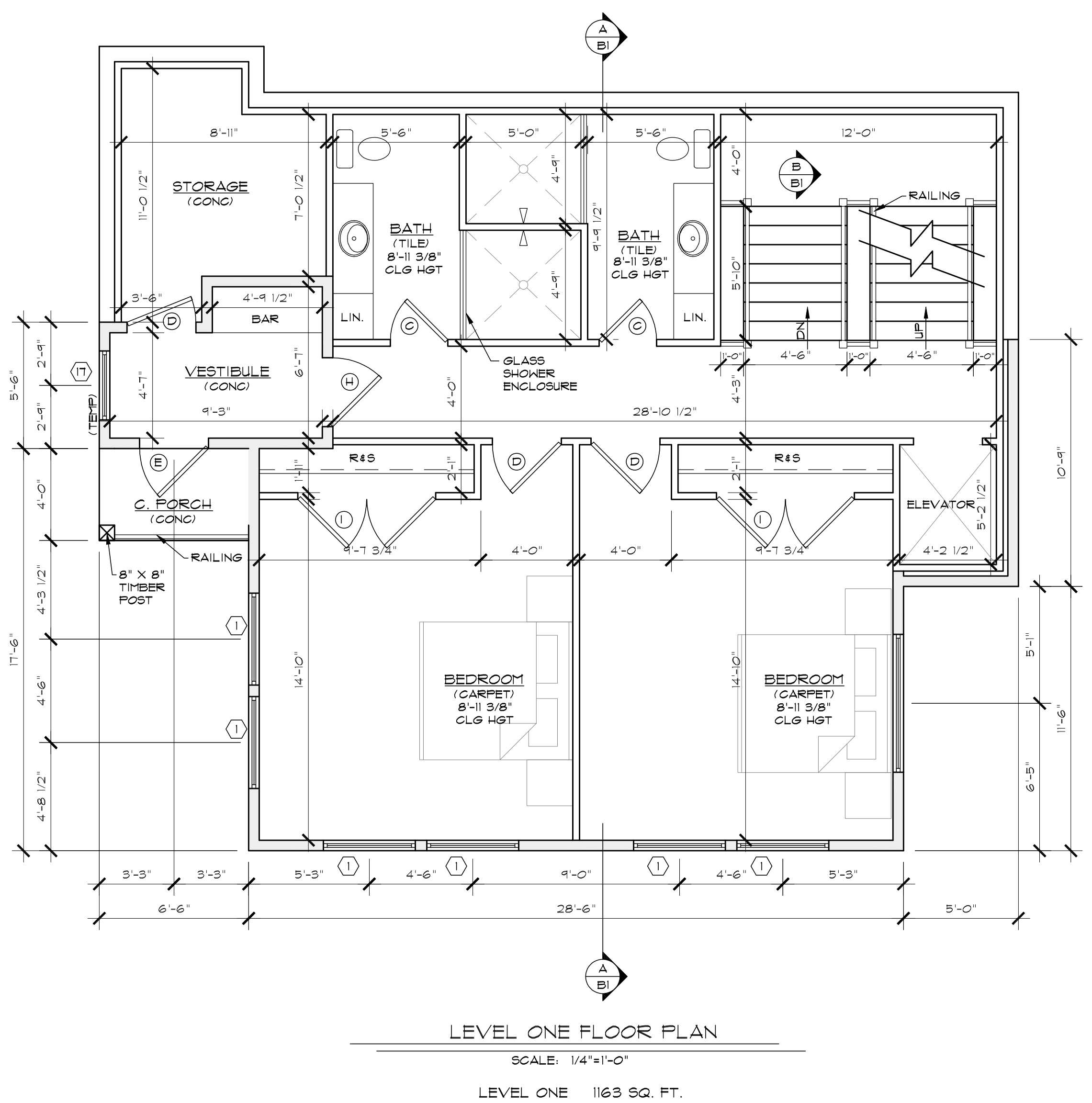
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LEVEL ONE FLOOR PLAN /
LEVEL TWO FLOOR FRAMING

SHEET TITLE:
24X36 SHEET: 1/4" = 1'-0"
12X18 SHEET: 1/8" = 1'-0"
DRAWN BY:
M. STEELE
CHK'D BY:
T. RICKS
ISSUE DATE:
XX/XX/2016
PLAN NUMBER:
454465
SHEET NUMBER:
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DOOR SCHEDULE		
ID	QTY	DESCRIPTIONS
A	1	2'-4" X 8'-0" PKT DOOR
B	4	2'-6" X 8'-0" PKT DOOR
C	5	2'-6" X 8'-0" INTERIOR 2 PANEL DOOR
D	8	3'-0" X 8'-0" INTERIOR 2 PANEL DOOR
E	3	3'-0" X 8'-0" EXTERIOR GLASS DOOR
F	1	3'-0" X 8'-0" 20 MIN FIRE RATED W/ SELF CLOSER
G	1	18'-0" X 8'-0" INSULATED OVERHEAD DOOR
H	3	3'-0" X 8'-0" EXTERIOR 2 PANEL DOOR
I	2	6'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
J	1	5'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
K	1	3'-0" X 8'-0" EXTERIOR FULL GLASS DOOR W/ 7'-6" TRAPEZOID TRANSOM

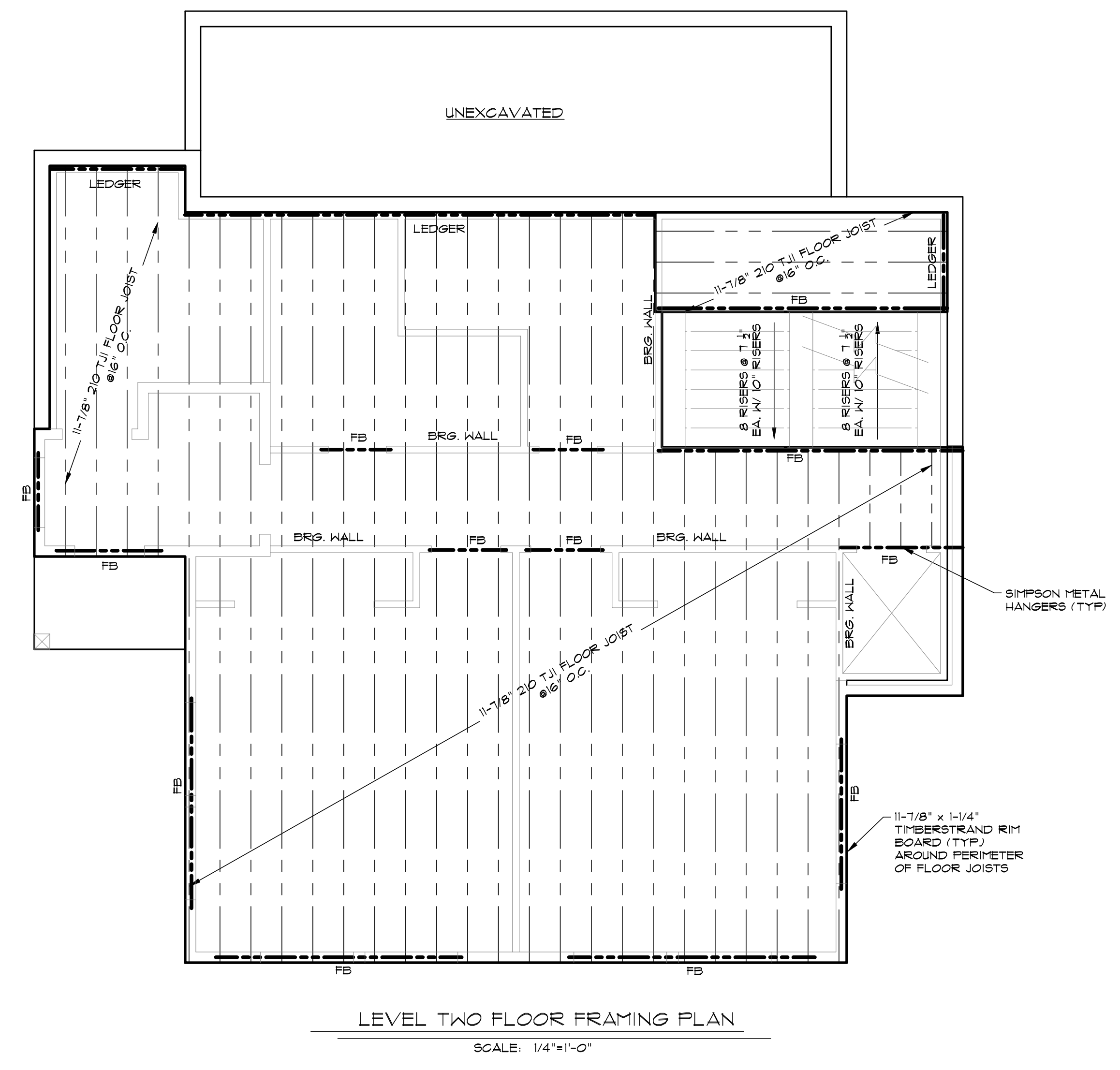
NOTE: UNLESS OTHERWISE SPECIFIED ALL INTERIOR DOORS SHALL HAVE PINE JAMBS. ALL EXTERIOR DOORS SHALL HAVE PINE JAMBS, DEAD BOLTS AND WEATHER-STRIPPING. ALL GLASS ENTRY & PATIO DOORS SHALL HAVE LOW-E, DOUBLE GLAZED, TEMPERED SAFETY GLASS.

WINDOW SCHEDULE		
ID	QTY	DESCRIPTIONS
1	16	4'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
2	4	2'-0" X 8'-0" FIXED (TEMPERED)
3	1	3'-0" X 2'-0" ANNING
4	1	4'-0" X 6'-0" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
5	1	4'-0" X 7'-1 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
6	1	4'-0" X 8'-3" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
7	1	4'-0" X 9'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
8	1	4'-0" X 10'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
9	1	4'-0" X 2'-0" FIXED
10	3	4'-0" X 10'-0" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
11	3	4'-0" X 11'-6" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
12	1	3'-0" X 1'-9" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
13	1	3'-0" X 2'-7 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
14	1	3'-0" X 3'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
15	1	4'-0" X 4'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
16	1	4'-0" X 7'-2 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
17	1	3'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
18	2	3'-0" X 4'-6" FIXED W/ 2'-0" TRANSOM
19	2	6'-0" X 2'-0" FIXED

NOTE: UNLESS OTHERWISE NOTED ALL WINDOWS SHALL BE ALUMINUM GLAD WOOD BY MARVIN OR VINYL SUPPLIED BY BWC WEST OR EQUAL. MANUFACTURERS DIRECTIONS SHALL BE FOLLOWED FOR INSTALLATION AND FRAMING DIMENSIONS. ALL WINDOWS SHALL BE DOUBLE GLAZED AND LOW E GLASS. SEE ELEVATIONS TO DETERMINE STYLE AND CONFIGURATION.

WALL SCHEDULE	
	2"x4" FRAMED WALL
	2"x6" FRAMED WALL
	THIN CUT NATURAL STONE

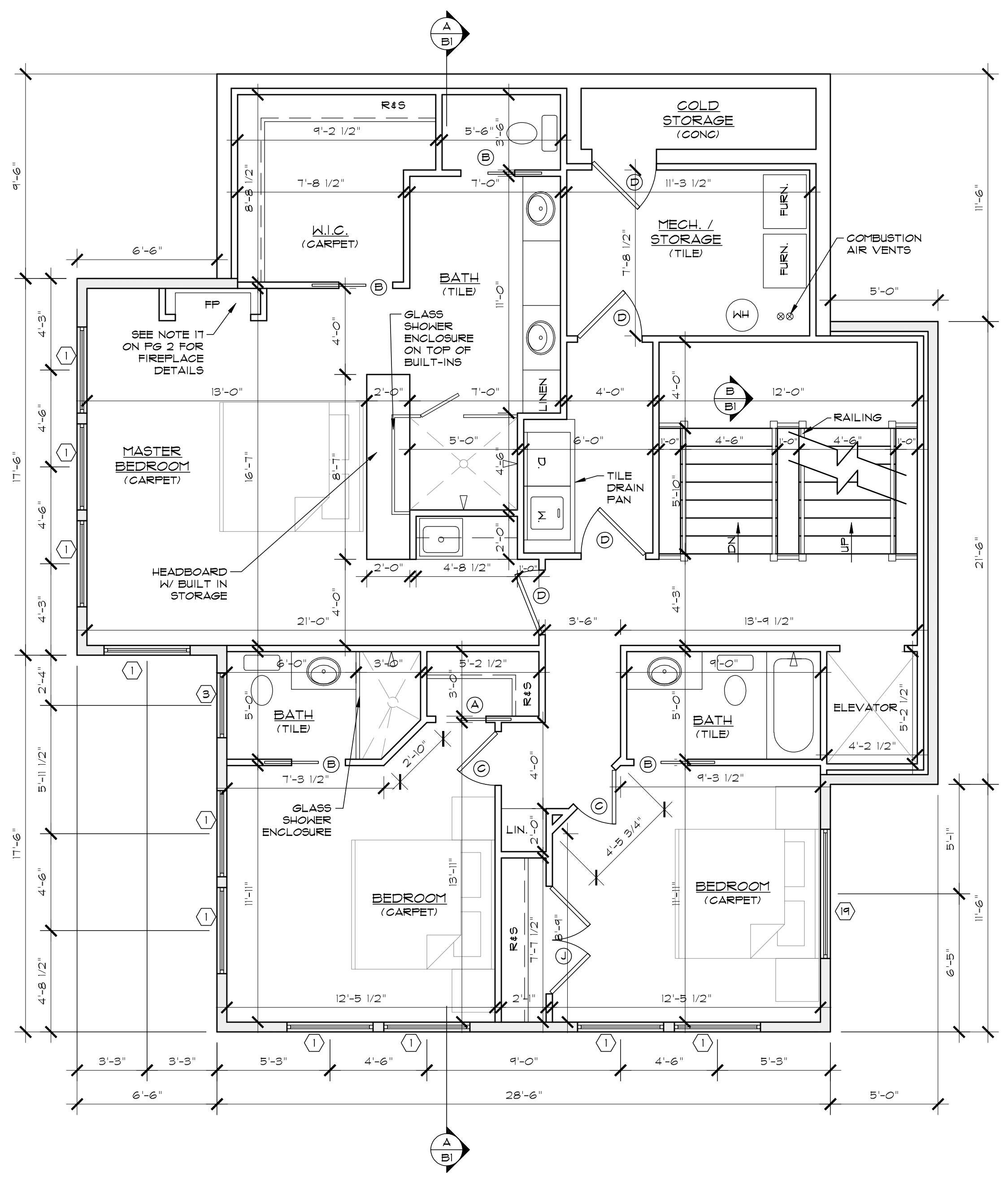
NOTE:
1. UNLESS OTHERWISE SPECIFIED ALL ANGLED WALLS SHALL BE IN 45° INCREMENTS.
2. WALL SIZES SHALL BE GOVERNED IN ALL CASES BY THE WALL HEIGHT SCHEDULE (SEE FRAMING SHEETS).
VERIFY ALL FIELD DIMENSIONS PRIOR TO CONSTRUCTION.
BUILT-IN CABINETRY SHALL BE SELECTED BY OWNER.



IMPORTANT NOTE:
THE FLOOR FRAMING PLAN INFORMATION PRESENTED HEREIN IS FOR INFORMATION ONLY. THE ACTUAL FLOOR FRAMING PLAN SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. HABITATIONS MAKES NO GUARANTEE TO THE PLAN ACCURACY OR COMPLETENESS AND ASSUMES NO LIABILITY FOR SUCH.

LOWER FLOOR 1163 SQ. FT.

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LEVEL TWO FLOOR PLAN
SCALE: 1/4"=1'-0"
LEVEL TWO 1448 SQ. FT.

ID	QTY	DESCRIPTIONS
A	1	2'-4" X 8'-0" PKT DOOR
B	4	2'-6" X 8'-0" PKT DOOR
C	5	2'-6" X 8'-0" INTERIOR 2 PANEL DOOR
D	8	3'-0" X 8'-0" INTERIOR 2 PANEL DOOR
E	3	3'-0" X 8'-0" EXTERIOR GLASS DOOR
F	1	3'-0" X 8'-0" 20 MIN FIRE RATED W/ SELF CLOSER
G	1	18'-0" X 8'-0" INSULATED OVERHEAD DOOR
H	3	3'-0" X 8'-0" EXTERIOR 2 PANEL DOOR
I	2	6'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
J	1	5'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
K	1	3'-0" X 8'-0" EXTERIOR FULL GLASS DOOR W/ 7'-6" TRAPEZOID TRANSOM

NOTE: UNLESS OTHERWISE SPECIFIED ALL INTERIOR DOORS SHALL HAVE PINE JAMBS. ALL EXTERIOR DOORS SHALL HAVE PINE JAMBS, DEAD BOLTS AND WEATHER-STRIPPING. ALL GLASS ENTRY & PATIO DOORS SHALL HAVE LOW-E, DOUBLE GLAZED, TEMPERED SAFETY GLASS.

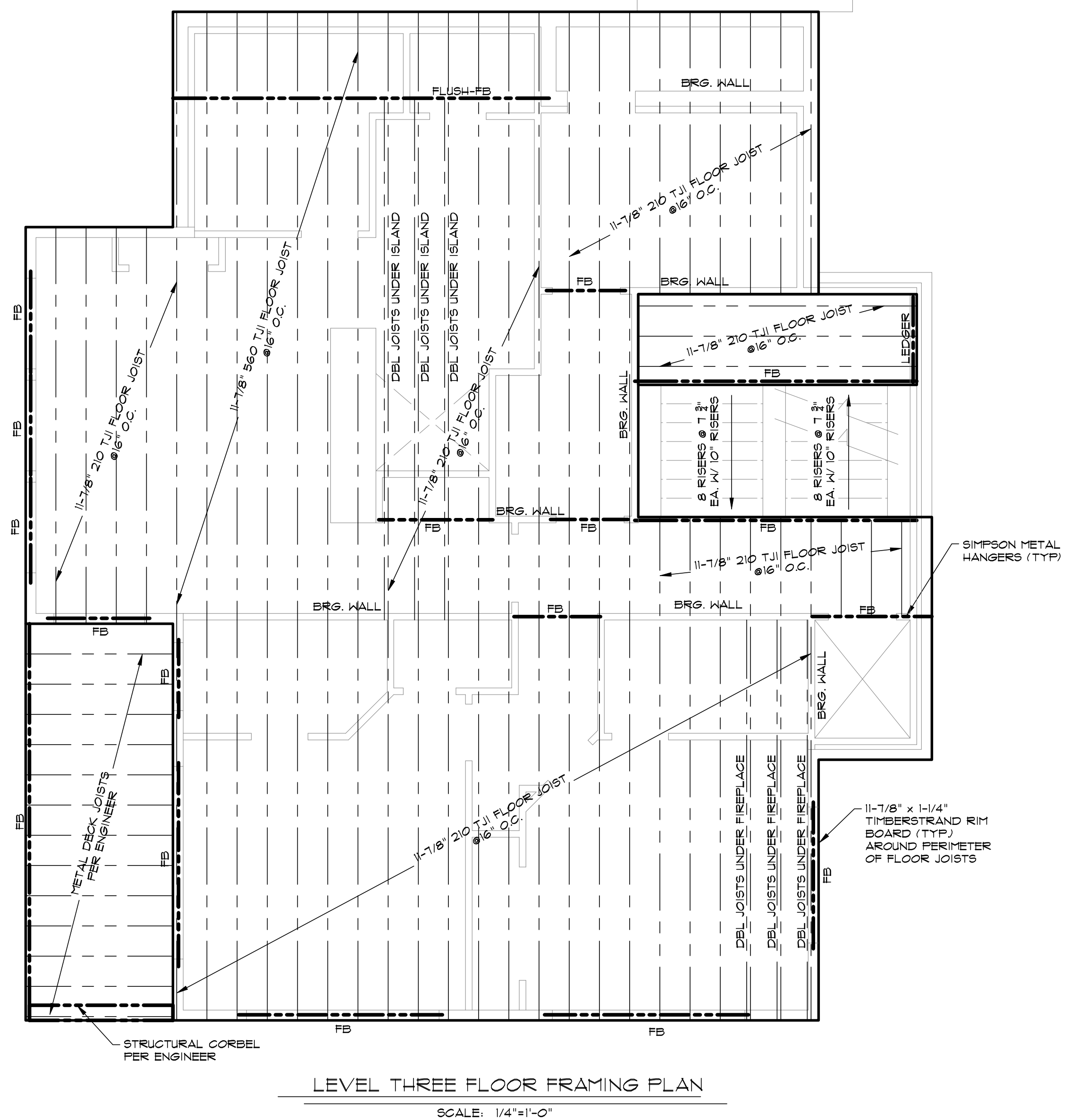
ID	QTY	DESCRIPTIONS
1	16	4'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
2	4	2'-0" X 8'-0" FIXED (TEMPERED)
3	1	3'-0" X 2'-0" AWNING
4	1	4'-0" X 6'-0" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
5	1	4'-0" X 7'-1 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
6	1	4'-0" X 8'-3" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
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11	3	4'-0" X 11'-6" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
12	1	3'-0" X 1'-9" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
13	1	3'-0" X 2'-1 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
14	1	3'-0" X 3'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
15	1	4'-0" X 4'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
16	1	4'-0" X 7'-2 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
17	1	3'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
18	2	3'-0" X 4'-6" FIXED W/ 2'-0" TRANSOM
19	2	6'-0" X 2'-0" FIXED

NOTE: UNLESS OTHERWISE NOTED ALL WINDOWS SHALL BE ALUMINUM GLAD WOOD BY MARVIN OR VINYL SUPPLIED BY ENG WEST OR EQUAL. MANUFACTURERS DIRECTIONS SHALL BE FOLLOWED FOR INSTALLATION AND FRAMING DIMENSIONS. ALL WINDOWS SHALL BE DOUBLE GLAZED AND LOW E GLASS. SEE ELEVATIONS TO DETERMINE STYLE AND CONFIGURATION.

WALL SCHEDULE	
	2"x4" FRAMED WALL
	2"x6" FRAMED WALL
	THIN CUT NATURAL STONE

NOTE:
1. NOTE: UNLESS OTHERWISE SPECIFIED ALL ANGLED WALLS SHALL BE IN 45° INCREMENTS.
2. WALL SIZES SHALL BE GOVERNED IN ALL CASES BY THE WALL HEIGHT SCHEDULE (SEE FRAMING SHEETS).

NOTE:
VERIFY ALL FIELD DIMENSIONS PRIOR TO CONSTRUCTION.
BUILT-IN CABINETRY SHALL BE SELECTED BY OWNER.



IMPORTANT NOTE:
THE FLOOR FRAMING PLAN INFORMATION PRESENTED HEREIN IS FOR INFORMATION ONLY. THE ACTUAL FLOOR FRAMING PLAN SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. HABITATIONS MAKES NO GUARANTEE TO THE PLAN ACCURACY OR COMPLETENESS AND ASSUMES NO LIABILITY FOR SUCH.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF ANY CHANGES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF ANY CHANGES OR OMISSIONS.

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SHEET TITLE:
LEVEL TWO FLOOR PLAN /
LEVEL THREE FLOOR FRAMING

24X36 SHEET: 1/4" = 1'-0"
12X18 SHEET: 1/8" = 1'-0"

DRAWN BY:
M. STEELE

CHK'D BY:
T. RICKS

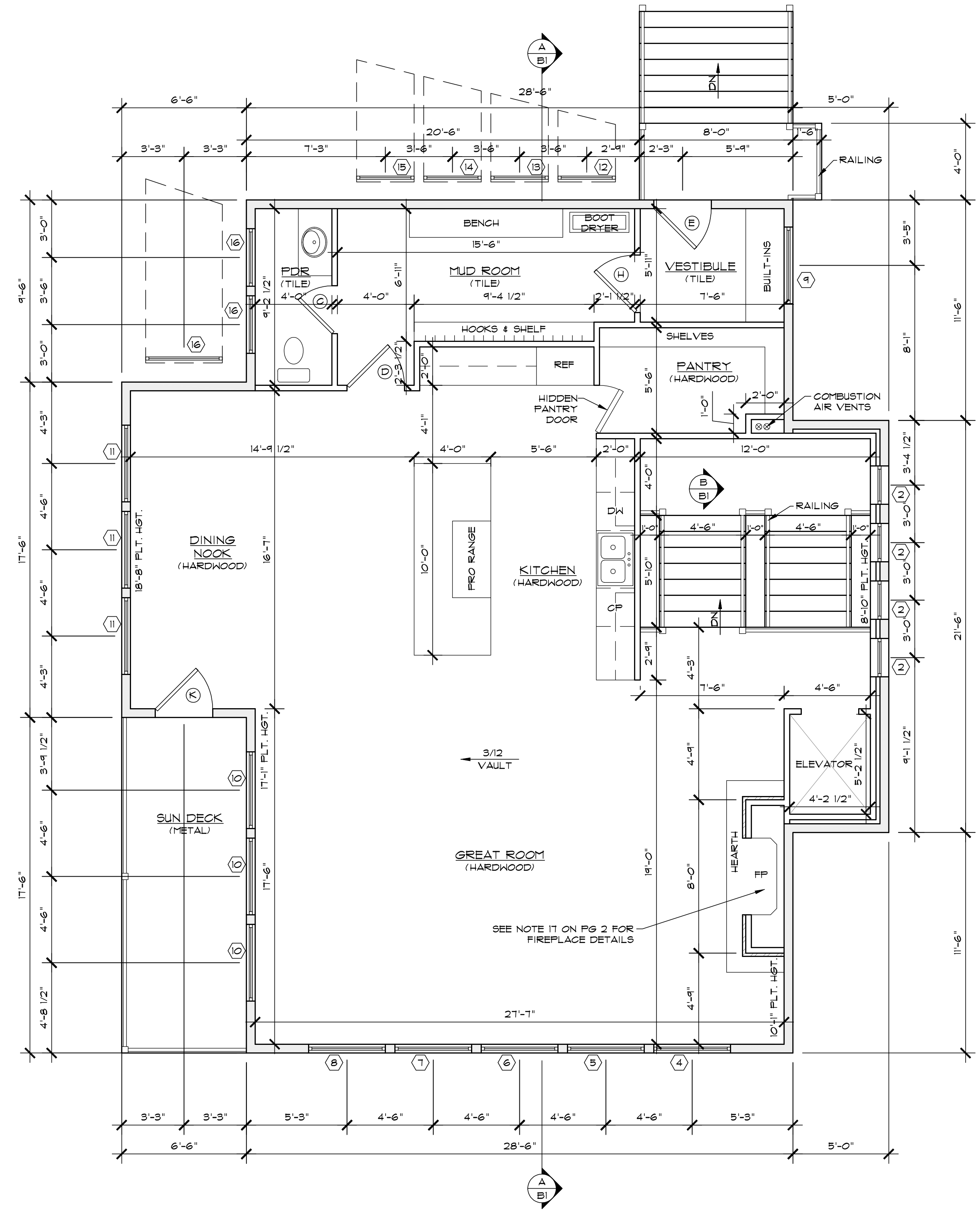
ISSUE DATE:
XX/XX/2016

PLAN NUMBER:
454465

SHEET NUMBER:
9 OF 15

SECOND LEVEL 1448 SQ. FT.

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LEVEL THREE FLOOR PLAN
SCALE: 1/4"=1'-0"
LEVEL THREE 1489 SQ. FT.

DOOR SCHEDULE		
ID	QTY	DESCRIPTIONS
A	1	2'-4" X 8'-0" PKT DOOR
B	4	2'-6" X 8'-0" PKT DOOR
C	5	2'-6" X 8'-0" INTERIOR 2 PANEL DOOR
D	8	3'-0" X 8'-0" INTERIOR 2 PANEL DOOR
E	3	3'-0" X 8'-0" EXTERIOR GLASS DOOR
F	1	3'-0" X 8'-0" 20 MIN FIRE RATED W/ SELF CLOSER
G	1	18'-0" X 8'-0" INSULATED OVERHEAD DOOR
H	3	3'-0" X 8'-0" EXTERIOR 2 PANEL DOOR
I	2	6'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
J	1	5'-0" X 8'-0" INTERIOR 2 PANEL DBL. DOOR
K	1	3'-0" X 8'-0" EXTERIOR FULL GLASS DOOR W/ 1'-6" TRAPEZOID TRANSOM

NOTE: UNLESS OTHERWISE SPECIFIED ALL INTERIOR DOORS SHALL HAVE PINE JAMBS. ALL EXTERIOR DOORS SHALL HAVE PINE JAMBS, DEAD BOLTS AND WEATHER-STRIPPING. ALL GLASS ENTRY & PATIO DOORS SHALL HAVE LOW-E, DOUBLE GLAZED, TEMPERED SAFETY GLASS.

WINDOW SCHEDULE		
ID	QTY	DESCRIPTIONS
1	16	4'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
2	4	2'-0" X 8'-0" FIXED (TEMPERED)
3	1	3'-0" X 2'-0" AWNING
4	1	4'-0" X 6'-0" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
5	1	4'-0" X 7'-1 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
6	1	4'-0" X 8'-3" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
7	1	4'-0" X 9'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
8	1	4'-0" X 10'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TEMPERED TRANSOM
9	1	4'-0" X 2'-0" FIXED
10	3	4'-0" X 10'-0" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
11	3	4'-0" X 11'-6" FIXED W/ 2'-0" TOP TRANSOM & 2'-0" BOTTOM TEMPERED TRANSOM
12	1	3'-0" X 1'-9" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
13	1	3'-0" X 2'-7 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
14	1	3'-0" X 3'-6" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
15	1	4'-0" X 4'-4 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
16	1	4'-0" X 7'-2 1/2" FIXED TRAPEZOID W/ 2'-0" BOTTOM TRANSOM
17	1	3'-0" X 4'-6" FIXED W/ 2'-0" BOTTOM TRANSOM
18	2	3'-0" X 4'-6" FIXED W/ 2'-0" TRANSOM
19	2	6'-0" X 2'-0" FIXED

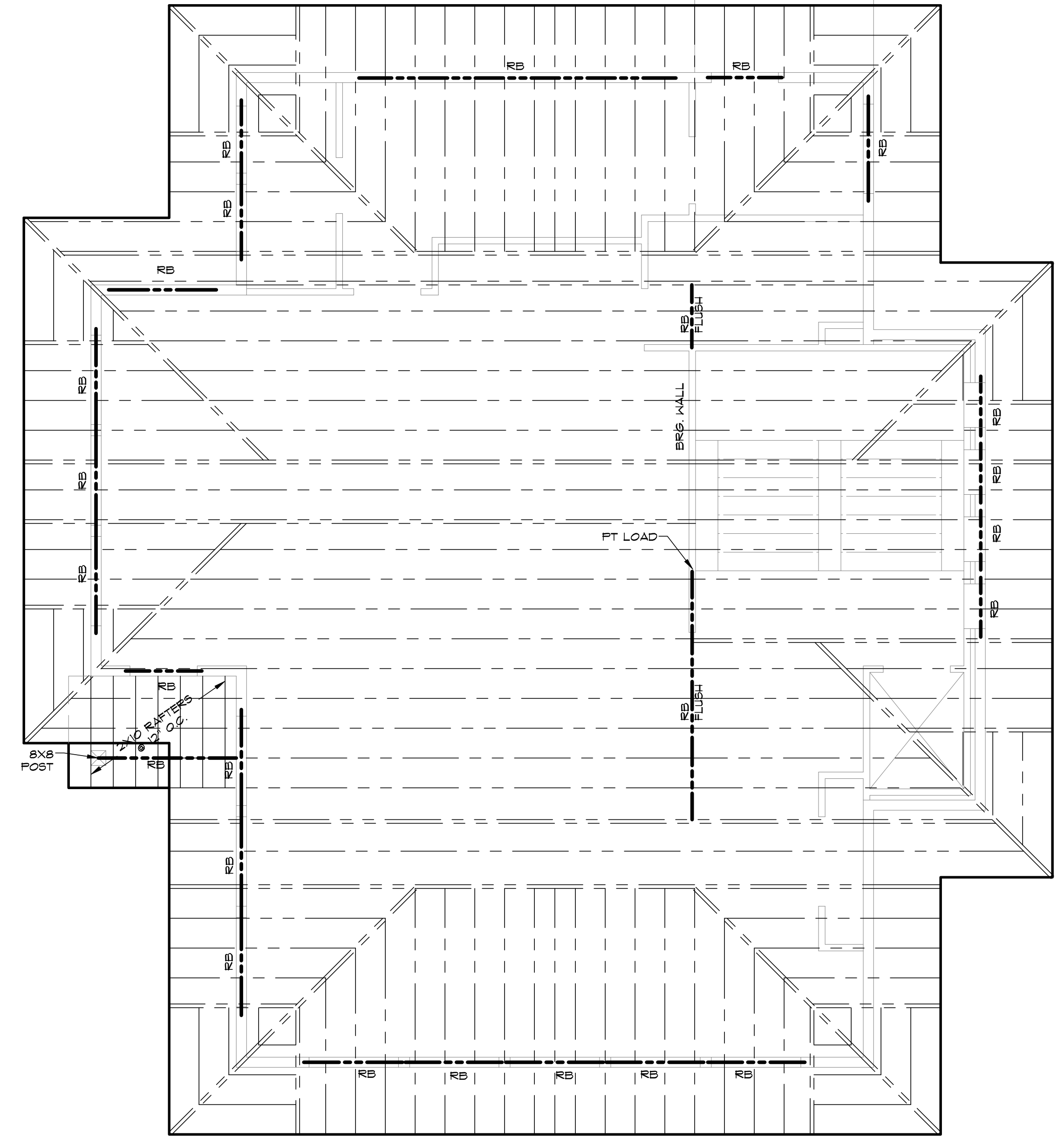
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WALL SCHEDULE	
	2"x4" FRAMED WALL
	2"x6" FRAMED WALL
	THIN CUT NATURAL STONE

NOTE:
1. NOTE: UNLESS OTHERWISE SPECIFIED ALL ANGLED WALLS SHALL BE IN 45° INCREMENTS.
2. WALL SIZES SHALL BE GOVERNED IN ALL CASES BY THE WALL HEIGHT SCHEDULE (SEE FRAMING SHEETS).

NOTE:
VERIFY ALL FIELD DIMENSIONS PRIOR TO CONSTRUCTION.
BUILT-IN CABINETRY SHALL BE SELECTED BY OWNER.

NOTE FOR ENGINEER:
ROOF FRAMING MEMBERS CAN BE 18" TALL BEFORE RUNNING INTO ISSUES WITH THE HEIGHT RESTRICTION.



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

IMPORTANT NOTE:

- THE ROOF FRAMING PLAN INFORMATION PRESENTED HEREIN IS "FOR INFORMATION ONLY." THE ACTUAL ROOF FRAMING PLAN DESIGN SHALL BE THE RESPONSIBILITY OF THE ROOF TRUSS MANUFACTURER AND STRUCTURAL ENGINEER. HABITATIONS MAKES NO GUARANTEE TO THE PLAN ACCURACY OR COMPLETENESS AND ASSUMES NO LIABILITY FOR SUCH. THE GENERAL CONTRACTOR/ ROOFING CONTRACTOR SHALL DETERMINE RAIN GUTTERS/ DOWN SPOUT REQUIREMENTS AND LOCATION OF SUCH AS WELL AS AREAS OF ROOF CRICKETS AND ROOF DRAINAGE/ FLASHING AND MEMBRANE LOCATIONS TO ADDRESS DRAINAGE ISSUES AT THE LOCATIONS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO TRUSS MANUFACTURING.
- THE TRUSS MANUFACTURER IS REQUIRED TO CONTACT THE OWNER/CONTRACTOR IF THERE ARE ANY ISSUES DISCOVERED ON THE ROOF FRAMING PLAN DURING THE TRUSS DESIGN, PRIOR TO TRUSS MANUFACTURE. NO CHANGES WILL BE ALLOWED TO BE MADE TO THE FOLLOWING: ROOM CEILING HEIGHTS, VAULTS, INTERIOR OR EXTERIOR PITCHES OR FASCIA HEIGHTS WITHOUT RECEIVING APPROVAL.
- TRUSSES SHALL BE DESIGNED FROM APPROVED HARD COPY PLANS WITH THE RED AUTHORIZATION STAMP ONLY. THE OWNER/CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS AND SUPPLIERS INCLUDING THE TRUSS MANUFACTURER HAVE THE MOST CURRENT AND UP TO DATE PLANS IN STAMPED AND APPROVED HARD COPY FORMAT PRIOR TO COMMENCING WITH CONSTRUCTION. FIELD MEASUREMENTS SHALL BE MADE AND VERIFIED PRIOR TO THE FINAL TRUSS DESIGN COMPLETION AND MANUFACTURE. TRUSSES SHALL NOT BE DESIGNED OR CONSTRUCTED FROM ELECTRONIC OR PDF TYPE DOCUMENTS.

THIRD LEVEL 1489 SQ. FT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN ANY DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.

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SHEET TITLE:
LEVEL THREE FLOOR PLAN /
ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"
24X36 SHEET: 1/4" = 1'-0"
12X18 SHEET: 1/8" = 1'-0"

DRAWN BY:
M. STEELE

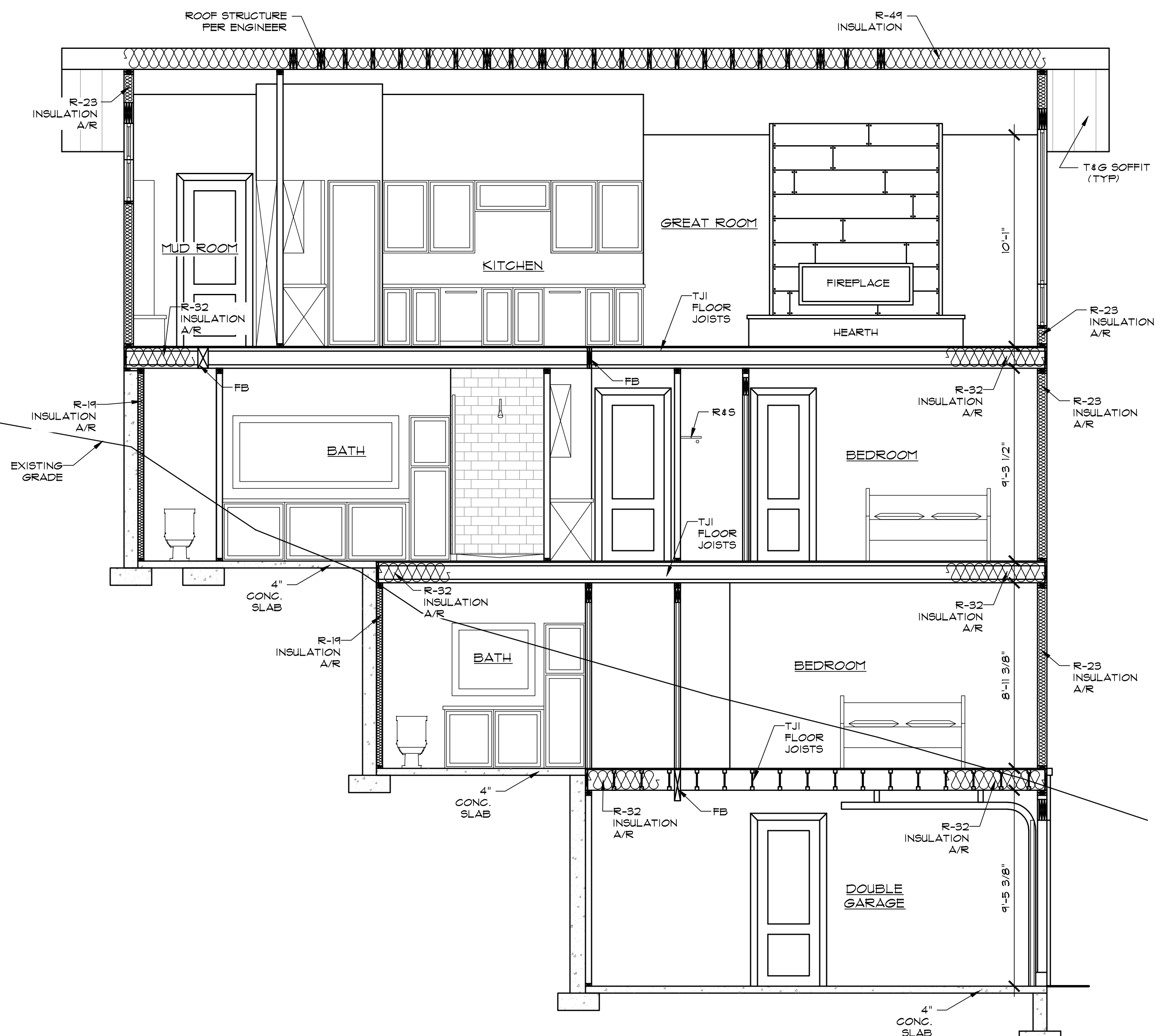
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T. RICKS

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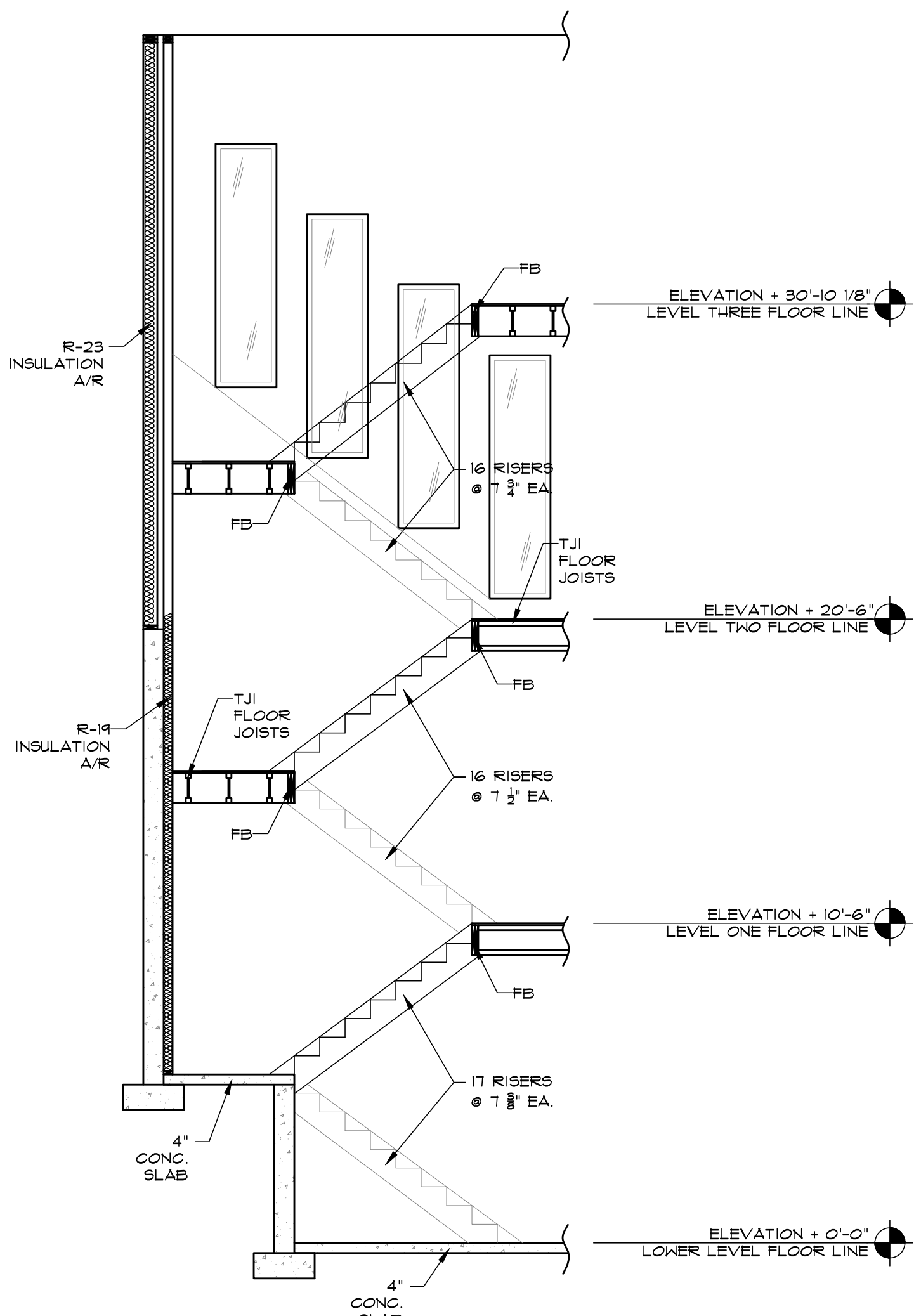
PLAN NUMBER:
454465

SHEET NUMBER:
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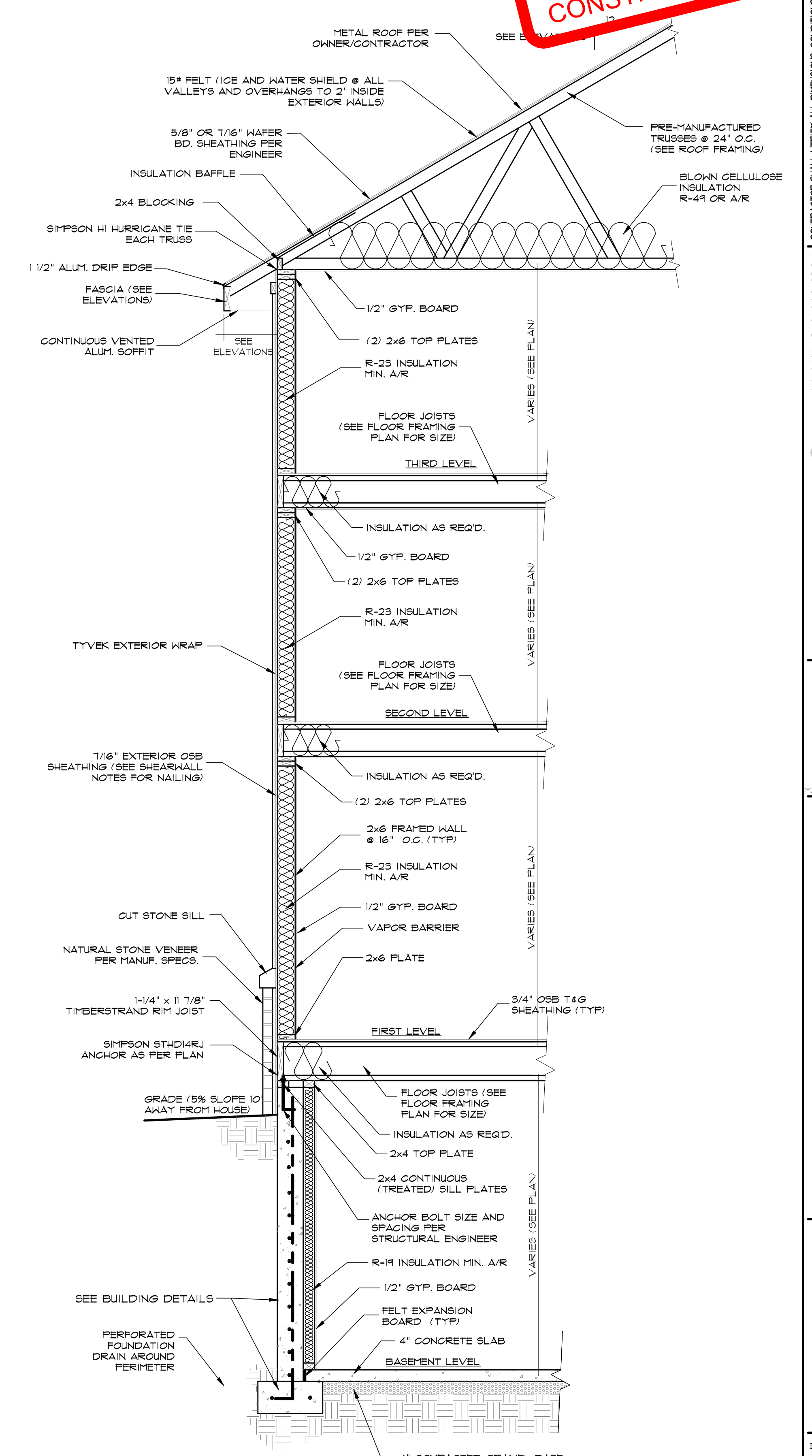
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A
BUILDING SECTION
SCALE: 1/4"=1'-0"



B
STAIRWELL SECTION
SCALE: 1/4"=1'-0"



TYPICAL WALL SECTION
SCALE: N.T.S.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

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BUILDING SECTIONS

SHEET TITLE:

24X36 SHEET: 1/4" = 1'-0"
12X18 SHEET: 1/8" = 1'-0"

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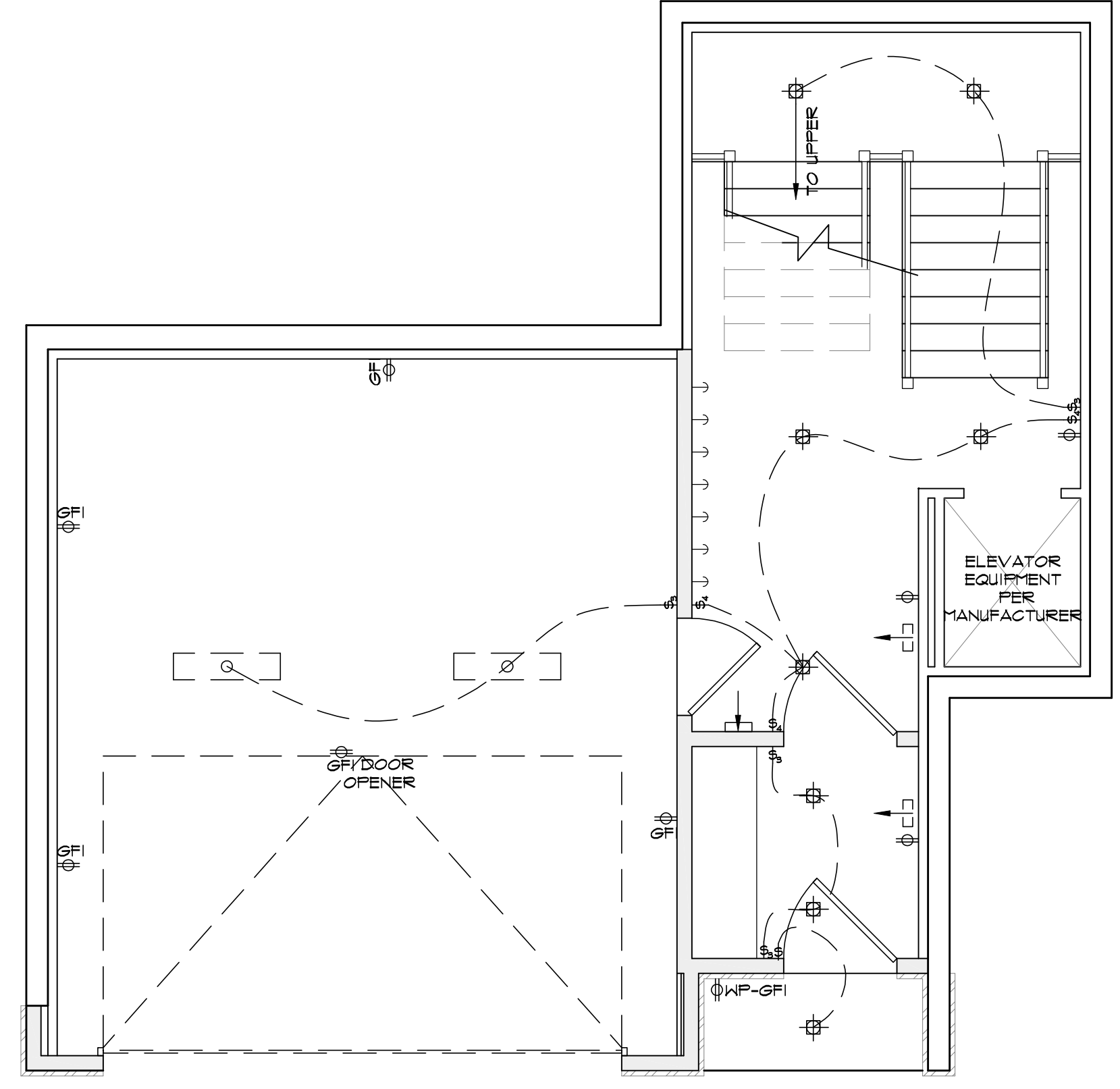
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PLAN NUMBER:
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SHEET NUMBER:
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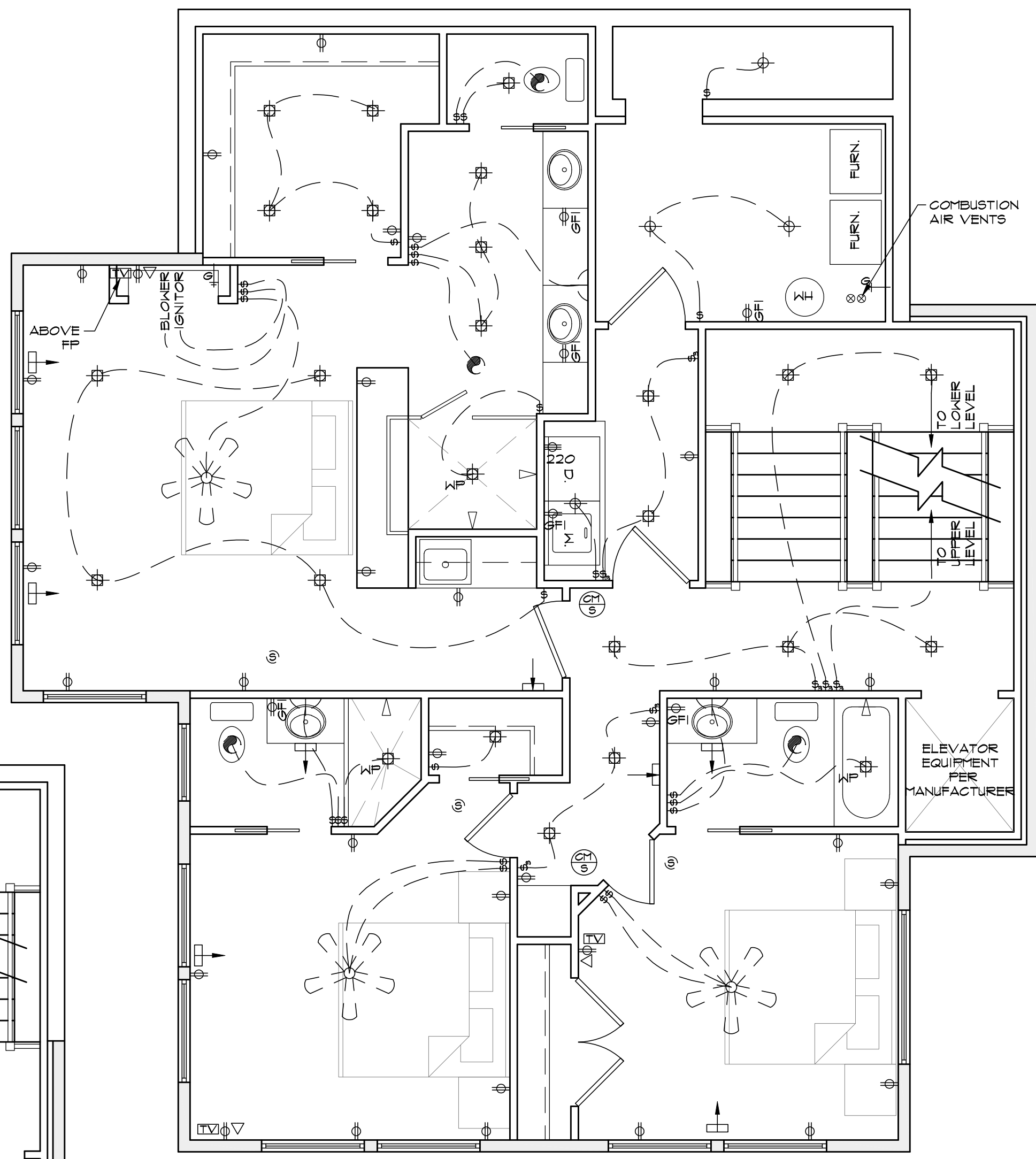
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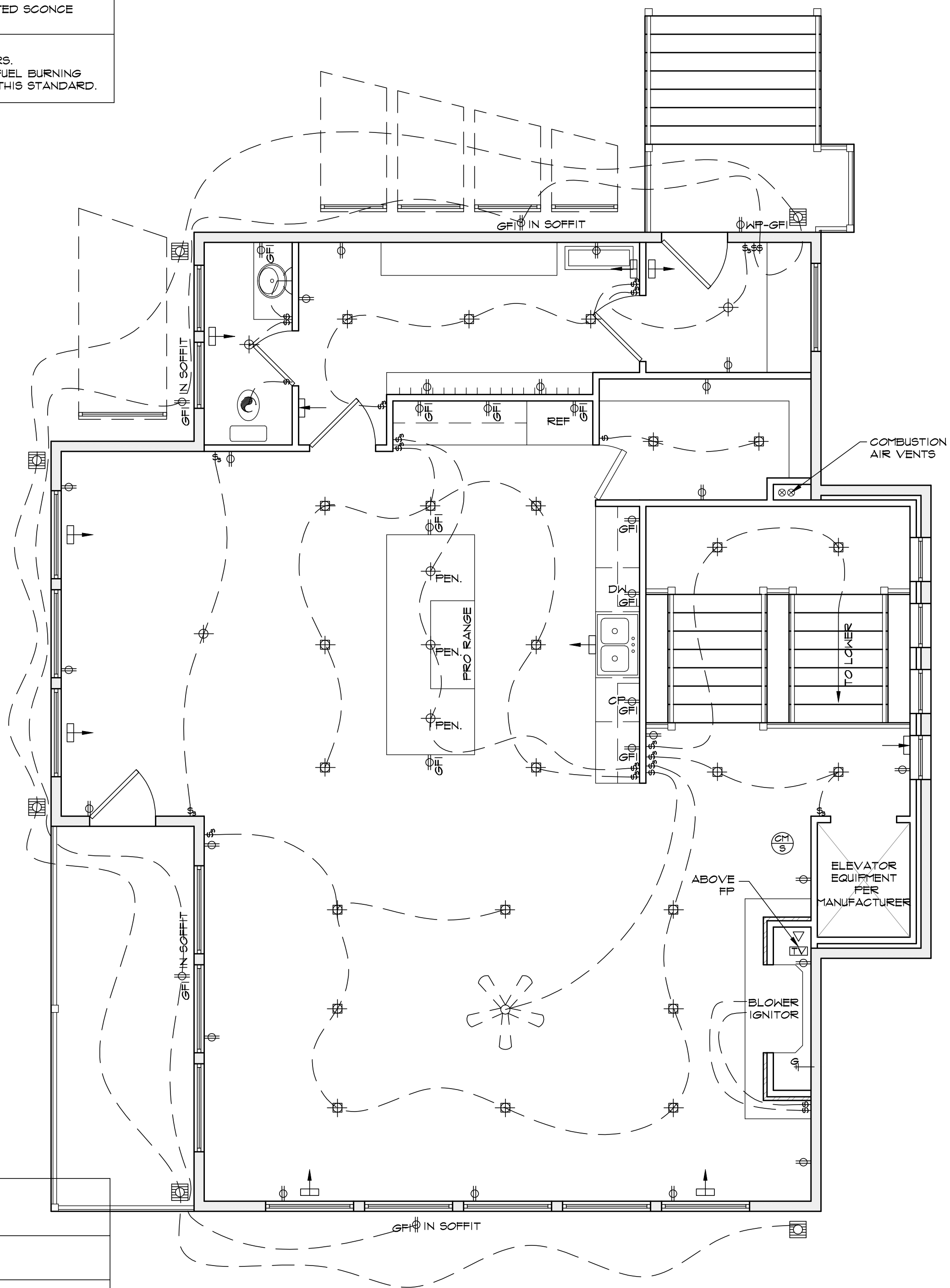
LEVEL TWO FLOOR PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND		
ID	DESCRIPTION	
⊕	110 VOLT RECEPTACLE	⊕
⊕	220 VOLT RECEPTACLE	⊕
⊕	110 GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE	⊕
⊕	110 GROUND FAULT RECEPTACLE (WATER PROOF)	⊕
⊕	RECESSED (CAN) LIGHTING	⊕
⊕	STD. LIGHTING	⊕
⊕	STD. LIGHT EQUIPPED W/ PULL CHAIN	⊕
⊕	SINGLE POLE SWITCH	⊕
⊕	THREE WAY SWITCH	⊕
⊕	FOUR WAY SWITCH	⊕
⊕	SINGLE POLE SWITCH W/DIMMER	⊕
⊕	PHONE / DATA RECEPTACLE	⊕
⊕	TELEVISION RECEPTACLE (COAXIAL CABLE)	⊕
⊕	SMOKE DETECTOR (SEE NOTE AT BOTTOM)	⊕
⊕	CARBON MONOXIDE DETECTOR / SMOKE ALARM	⊕
⊕	FLOURESCENT FIXTURE (SURFACE MOUNTED)	⊕
⊕	FLOURESCENT FIXTURE (RECESSED)	⊕
⊕	WALL MOUNTED SCONCE	⊕
⊕	MOTION SENSITIVE FLOOD LIGHTS	⊕
⊕	ELECTRIC VENT FAN	⊕
⊕	CEILING FAN W/ LIGHTS	⊕
⊕	IN FLOOR 110 VOLT RECEPTACLE	⊕
⊕	STAIR LIGHT FIXTURE	⊕
⊕	EXTERIOR RECESSED LIGHTING (WATER PROOF)	⊕
⊕	UCL	⊕
⊕	EXTERIOR WEATHER PROOF WALL MOUNTED SCONCE	⊕

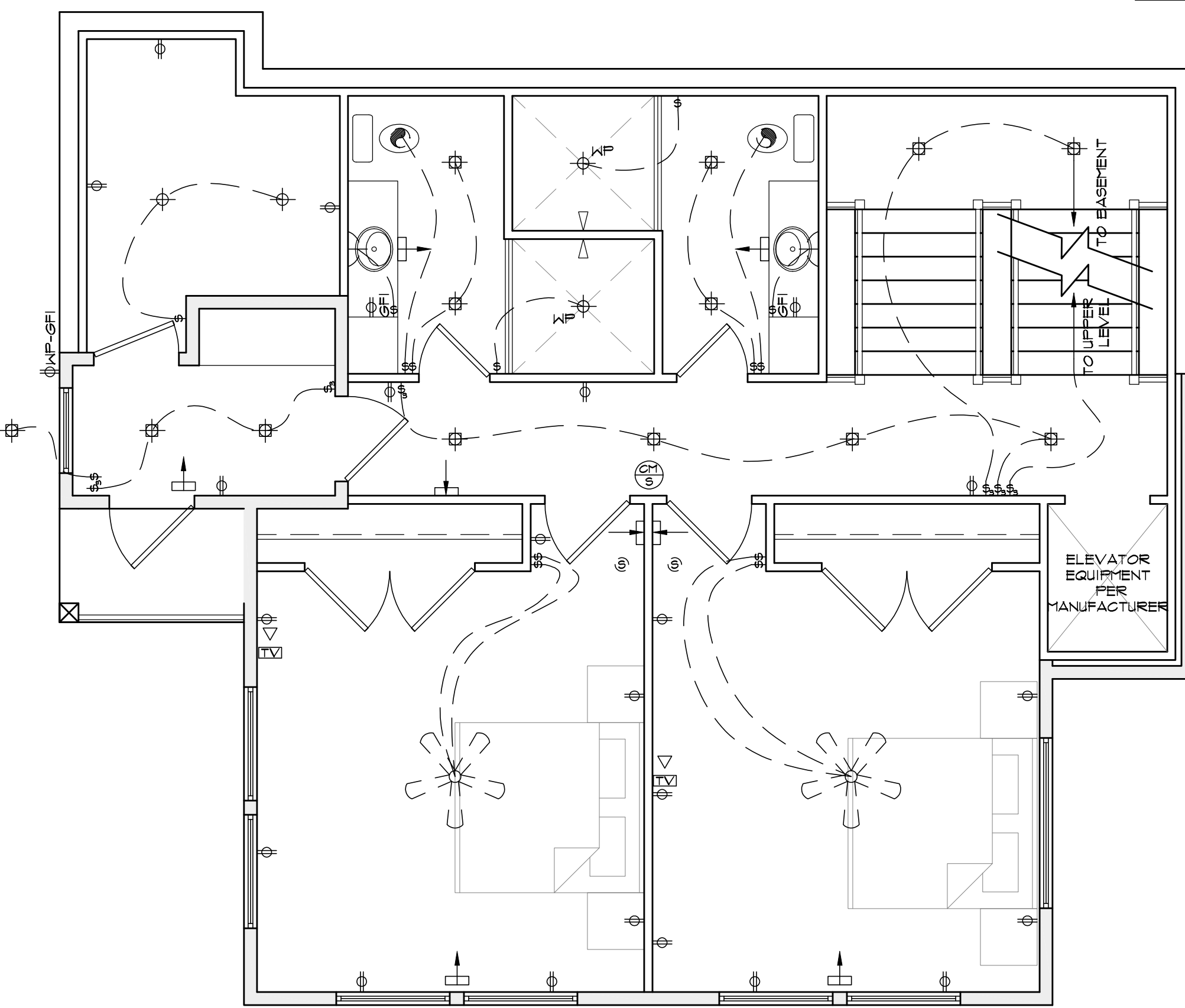
NOTE:
 1. SMOKE DETECTORS SHALL BE WIRED IN SERIES ON SEPARATE CIRCUIT W/ BATTERY BACKUP.
 2. ALL BEDROOM RECEPTILES, LIGHTS, SWITCHES, SMOKE DETECTOR SHALL BE PROTECTED WITH ARC FAULT INTERRUPTERS.
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUEL BURNING APPLIANCES. THESE SHALL COMPLY WITH ANSI/UL 2094-2005 AND INSTALLED IN ACCORDANCE WITH PROVISIONS OF THIS STANDARD.



LEVEL TWO FLOOR PLAN
SCALE: 1/4"=1'-0"



LEVEL TWO FLOOR PLAN
SCALE: 1/4"=1'-0"



LEVEL TWO FLOOR PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES:

- UNDERGROUND ELECTRICAL SERVICE SHALL BE INSTALLED IN 2" RIGID RISER WITH 90° RIGID ELBOW ATTACHED TO 2" PVC ELECTRICAL DUCT TO WITHIN 1 FOOT OF PEDESTAL AND BURIED A MINIMUM 18" DEEP.
- SUPPLY DUCTS IN FLOOR MUST BE INSULATED W/ A MIN. OF R-8 INSULATION.
- ALL RECEPTICALS IN THE DEMILLING UNIT ARE TO BE TAMPER RESISTANT RECEPTICALS.
- ALL ELECTRICAL PER THE IRC 2012

MECHANICAL LEGEND		
ID	DESCRIPTION	
⊕	AIR RETURN REGISTER	⊕
⊕	AIR SUPPLY REGISTER (14"x14" IN FLOOR)	⊕
⊕	AIR SUPPLY REGISTER (14"x14" IN CEILING)	⊕
⊕	NATURAL GAS COCK	⊕
⊕	POTABLE WATER HOSE BIB W/ANTI-SYPHON DEVICE	⊕
⊕	RADIANT HEAT TUBING IN CONCRETE	⊕

NOTE: RETURN / DISTRIBUTION DUCTING NOT SHOWN

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1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"

SHEET TITLE:
 LOWER LEVEL ELECTRICAL /
 HVAC PLAN

DRAWN BY:
 M. STEELE

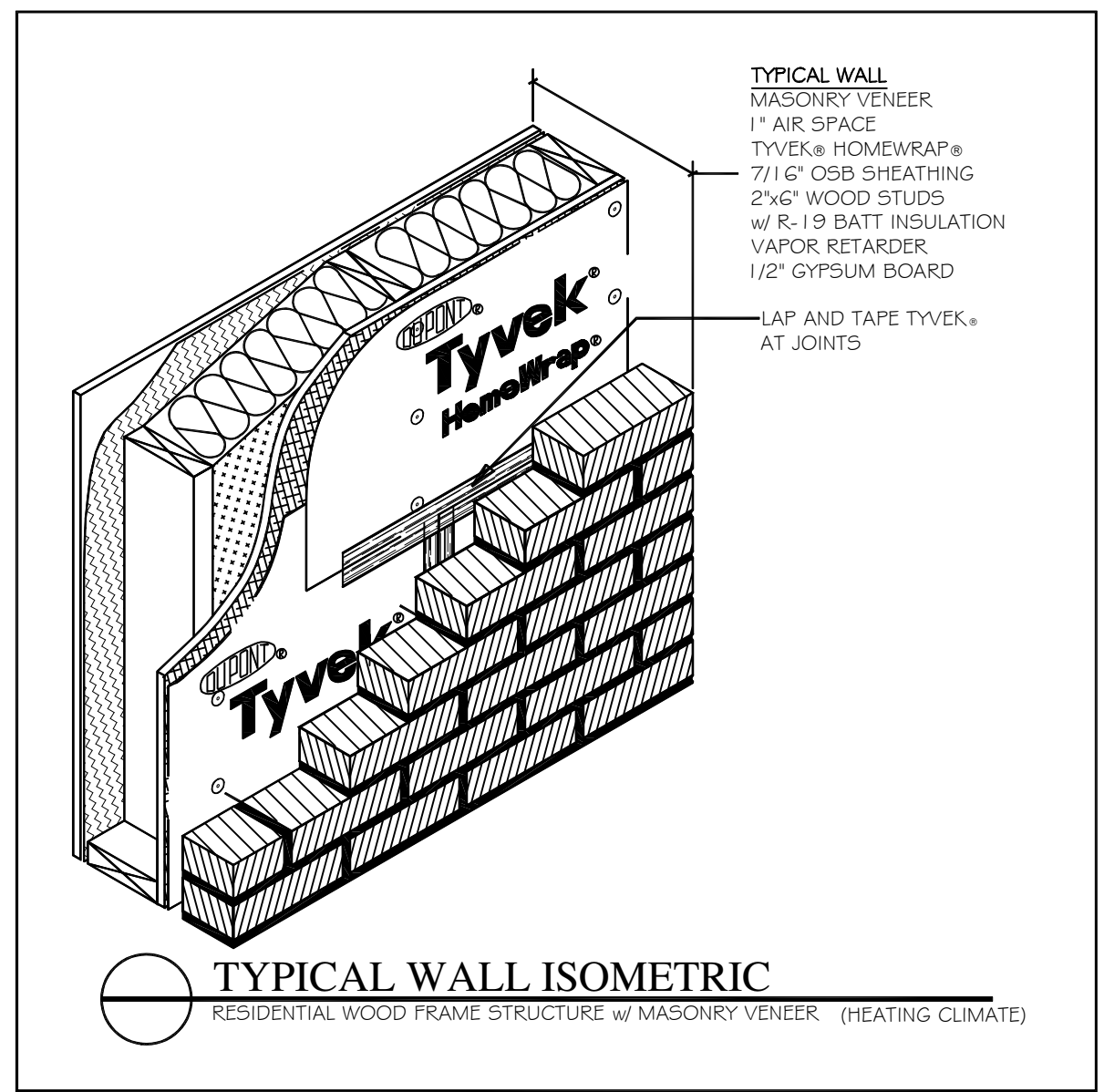
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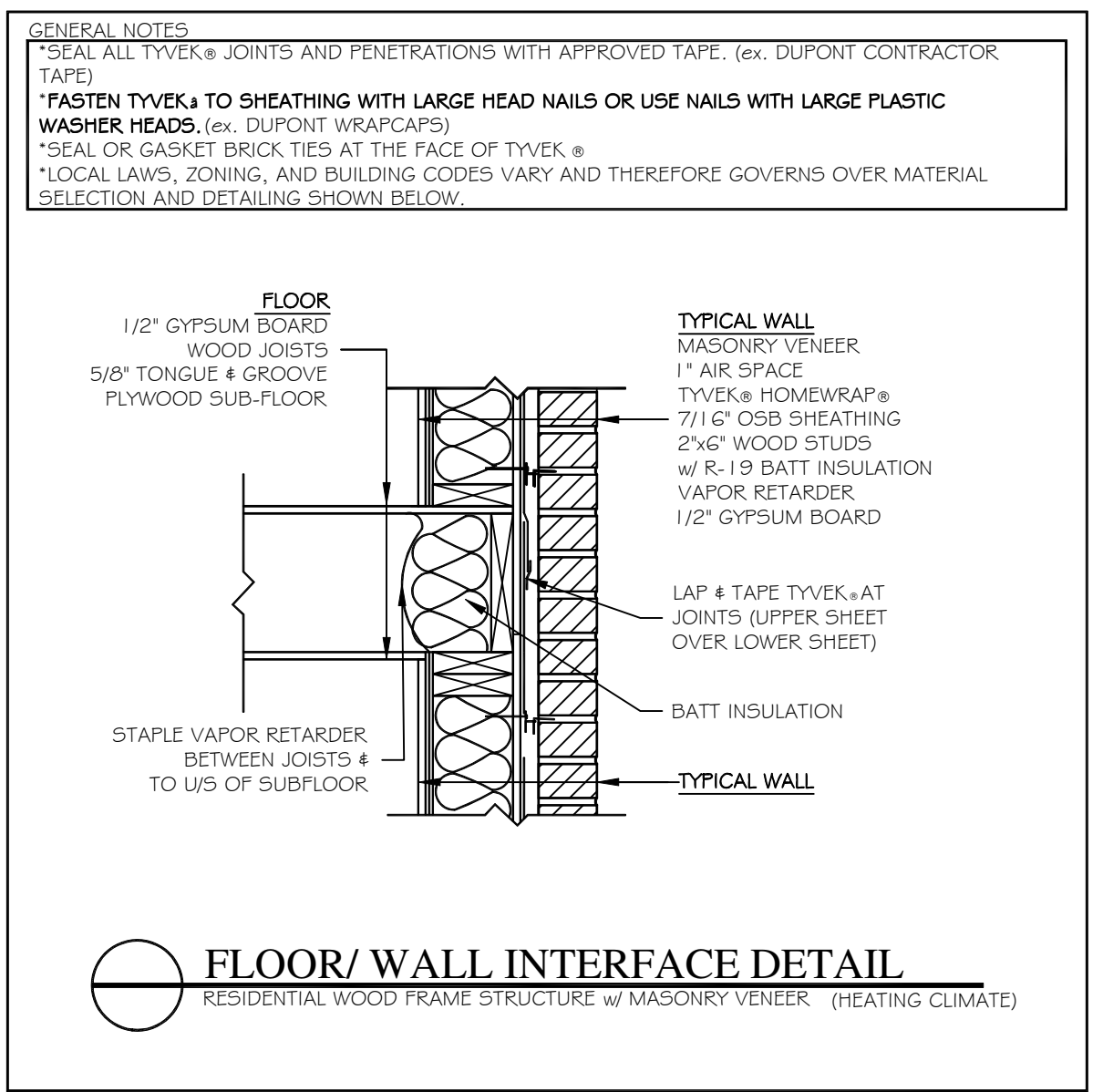
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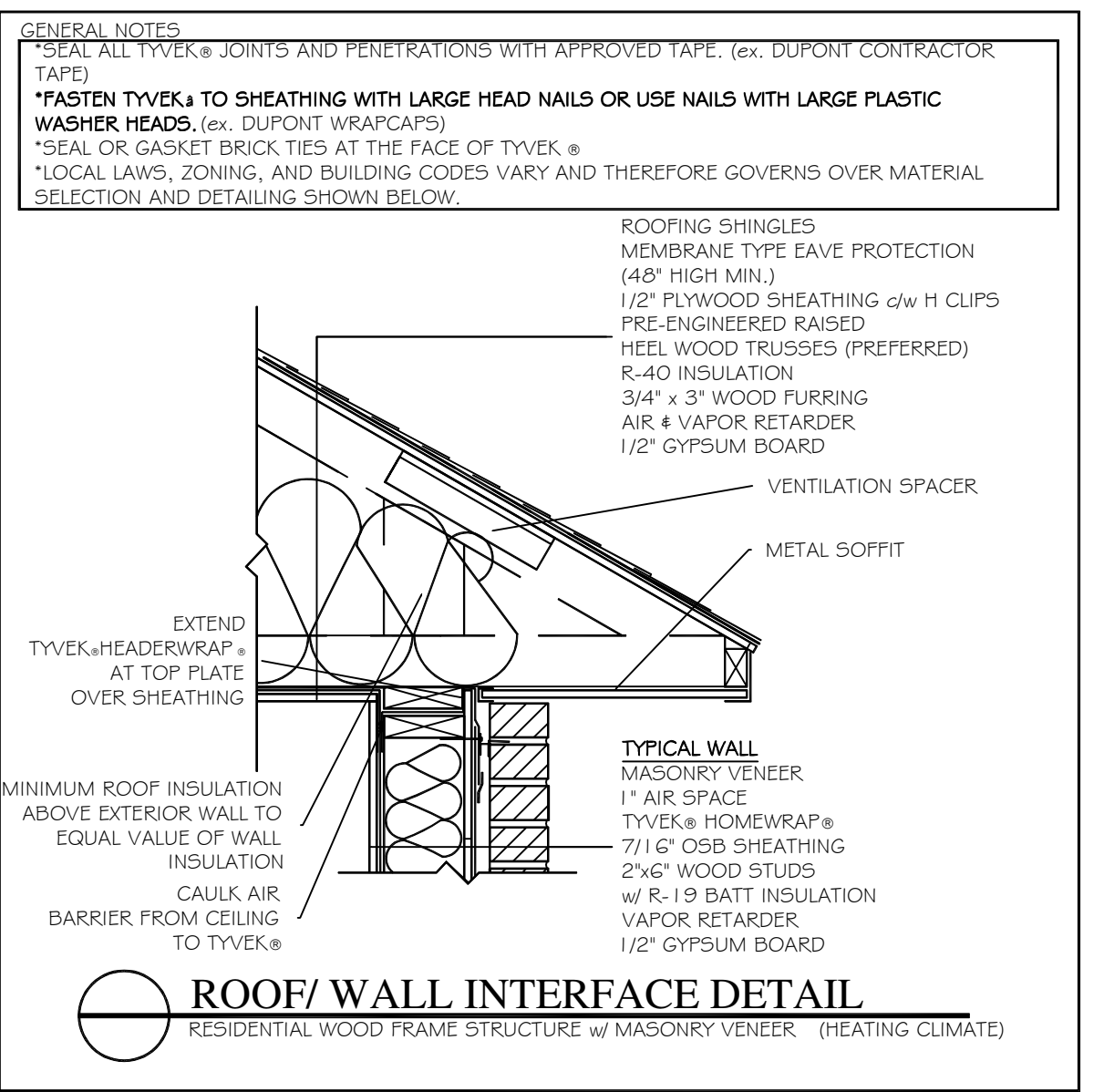
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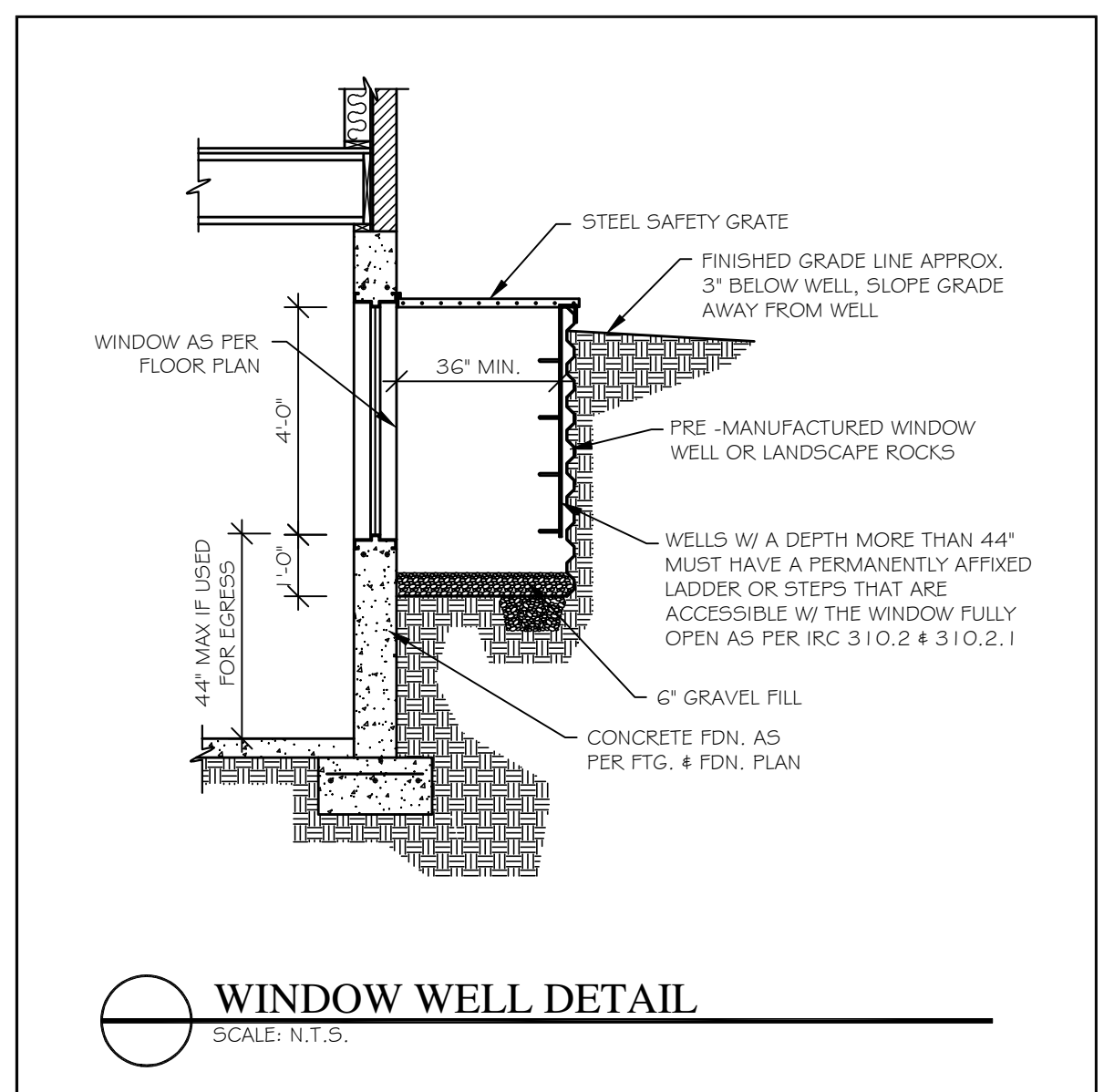
TYPICAL WALL ISOMETRIC
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



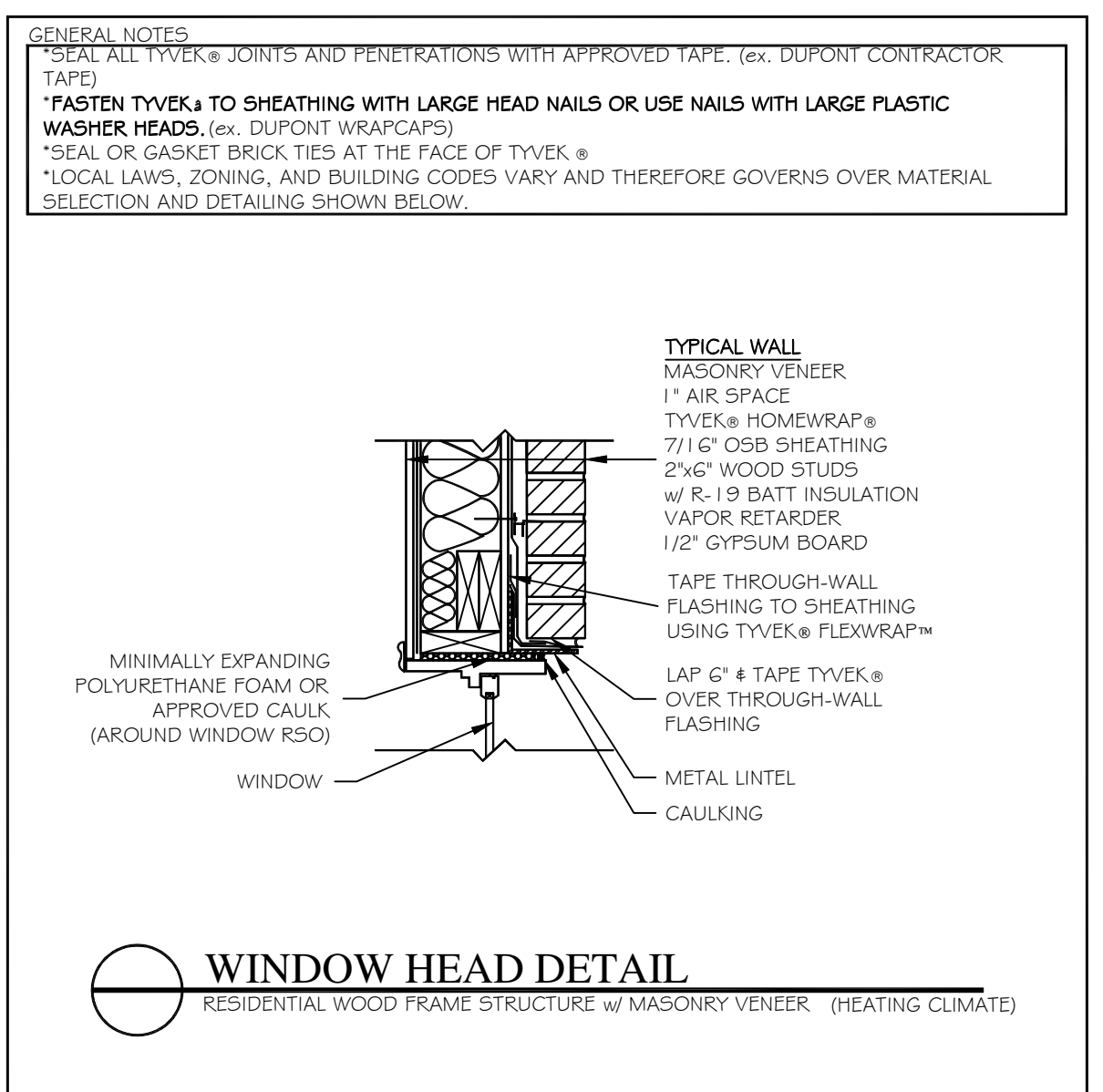
FLOOR/WALL INTERFACE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



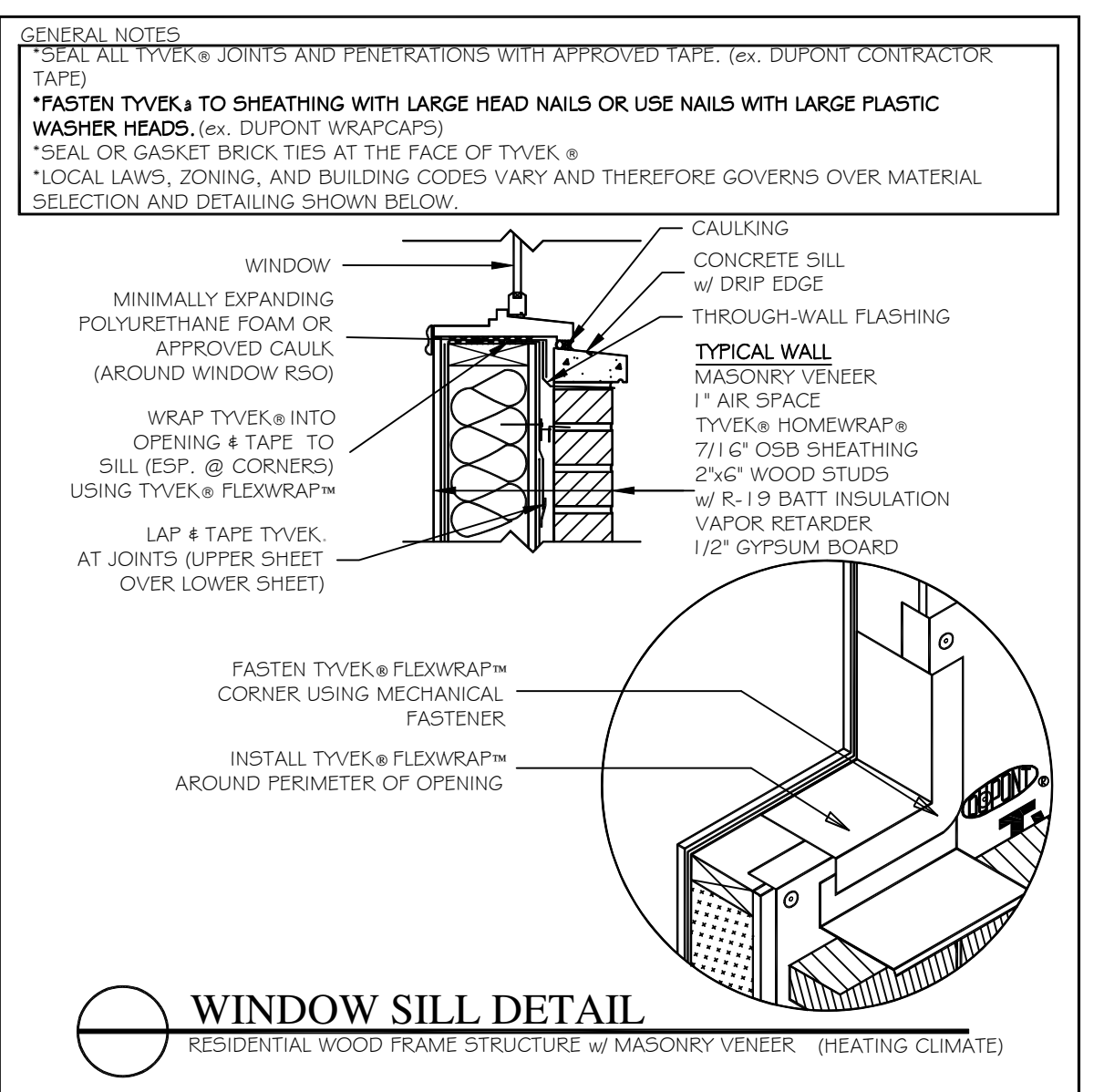
ROOF/WALL INTERFACE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



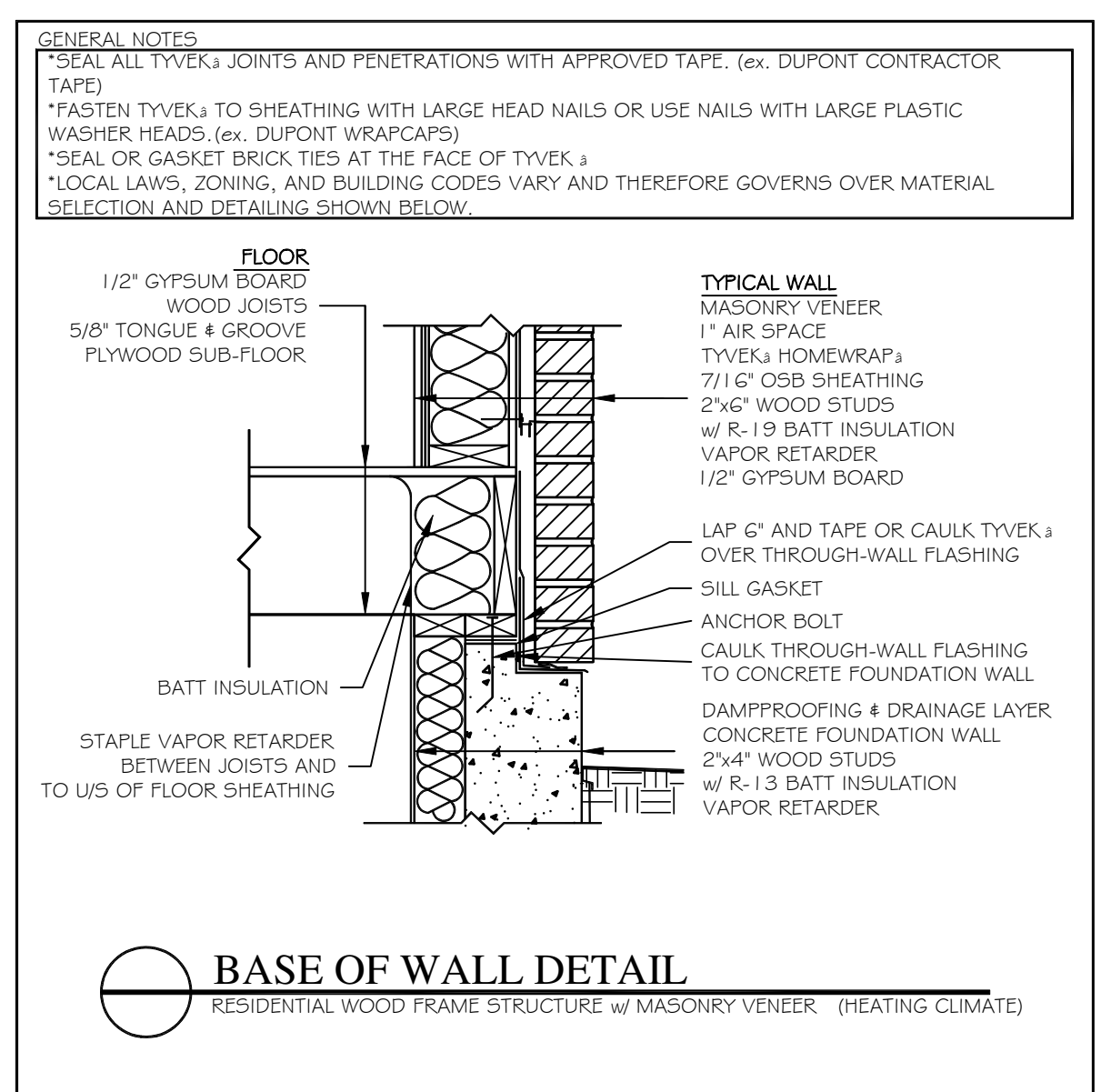
WINDOW WELL DETAIL
SCALE: N.T.S.



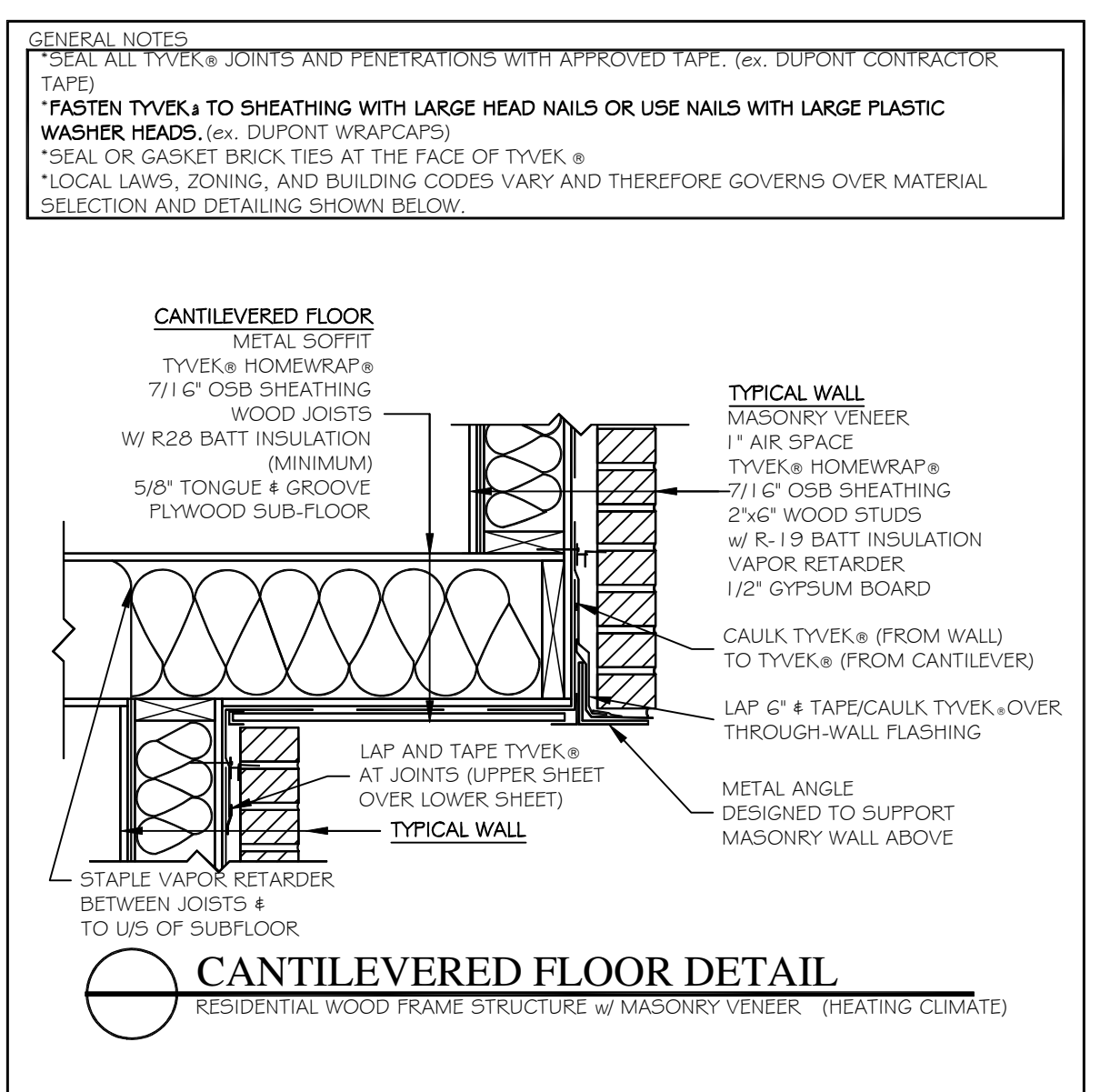
WINDOW HEAD DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



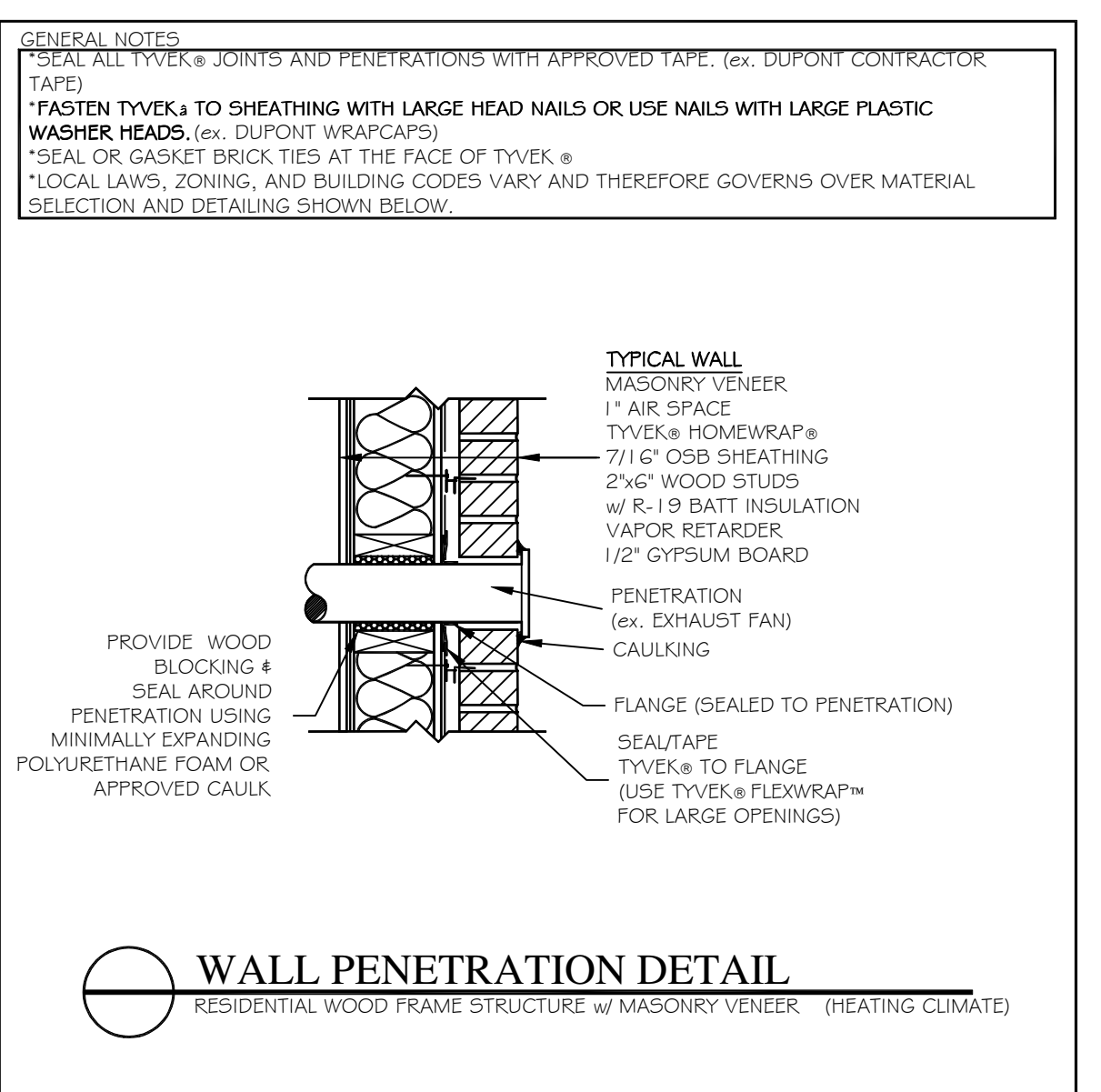
WINDOW SILL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



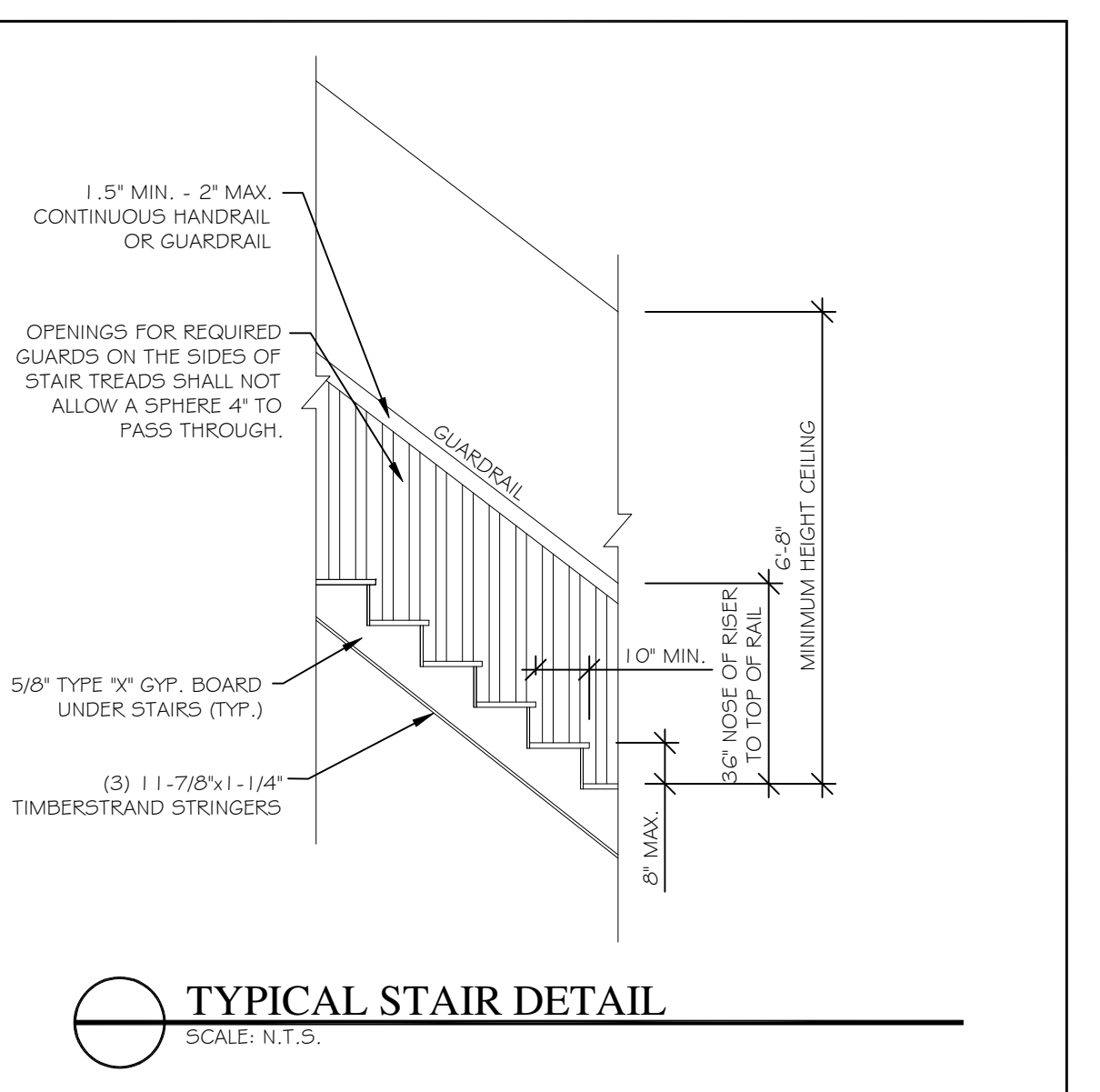
BASE OF WALL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



CANTILEVERED FLOOR DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



WALL PENETRATION DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



TYPICAL STAIR DETAIL
SCALE: N.T.S.

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