

THE RIDGE TOWNHOMES PHASE 3

A PLANNED RESIDENTIAL UNIT DEVELOPMENT (P.R.U.D.)

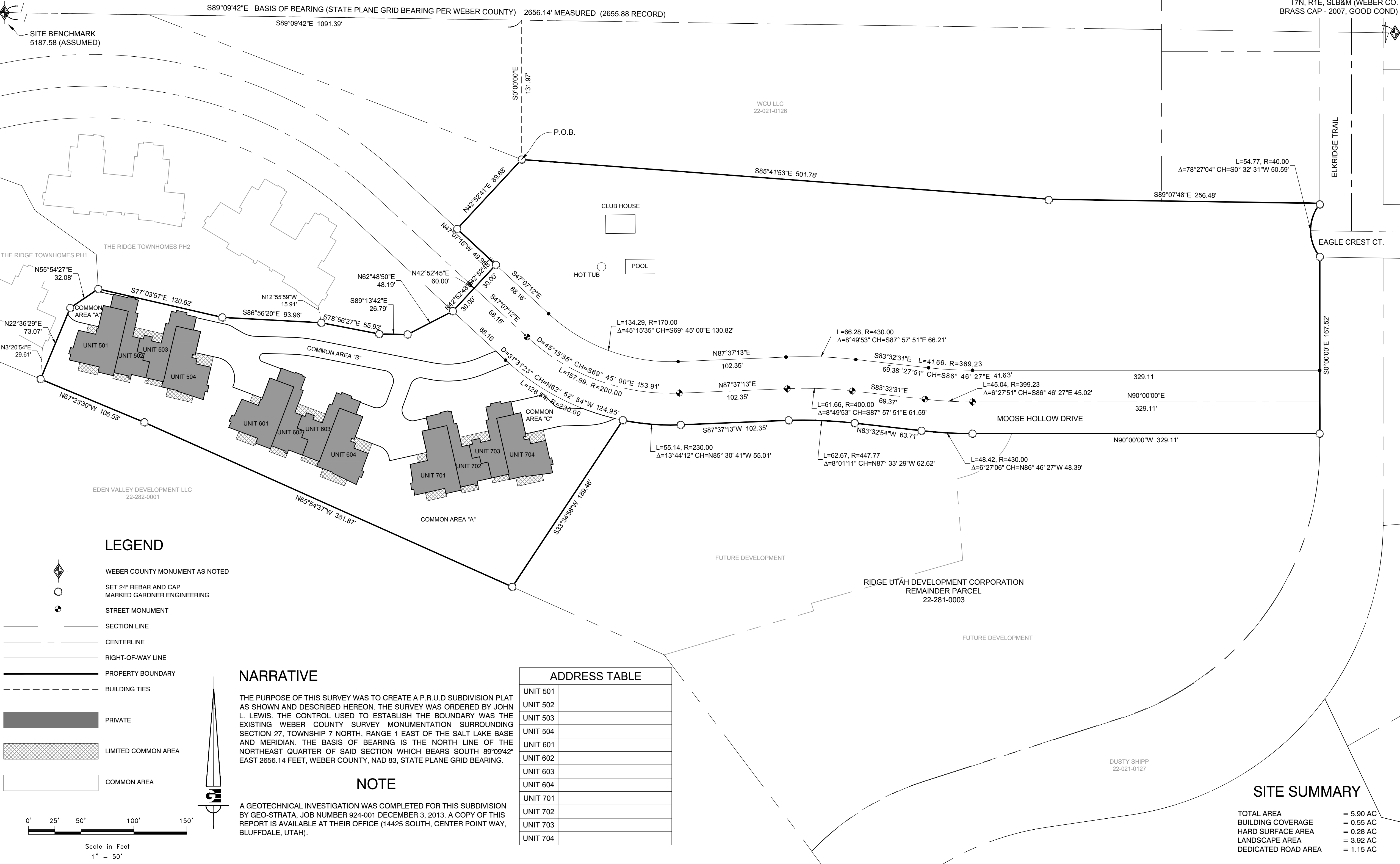
PART OF THE NORTHEAST 1/4 OF SECTION 27

T7N, R1E, SLB & M, US SURVEY

WEBER COUNTY, UTAH

SEPTEMBER 2016

NORTHWEST CORNER OF NORTHEAST
QUARTER OF SECTION 27,
T7N, R1E, SLB&M (WEBER CO. BRASS
CAP - 1981, GOOD COND)



BOUNDARY DESCRIPTION

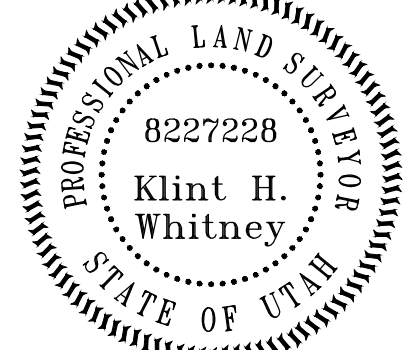
A PART OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEASTERLY MOST CORNER OF THE RIDGE TOWNHOMES PHASE 1 BEING LOCATED SOUTH 89°09'42" EAST 1091.39 FEET ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER AND SOUTH 0°00'00" EAST 131.97 FEET FROM THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER; RUNNING THENCE SOUTH 85°41'53" EAST 501.78 FEET TO THE EXTENSION OF THE SOUTHERLY BOUNDARY OF ELKHORN SUBDIVISION, PHASE 2, LOTS 24 THROUGH 28 AMENDED; THENCE ALONG SAID BOUNDARY LINE AND ITS EXTENSION SOUTH 89°07'48" EAST 256.48 FEET TO THE WESTERLY BOUNDARY OF EAGLES LANDING AT WOLF CREEK SUBDIVISION PHASE 1; THENCE ALONG SAID BOUNDARY ALONG THE ARC OF A CURVE TO THE LEFT 54.77 FEET, HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 78°27'04", AND WHICH CHORD BEARS SOUTH 0°32'31" WEST 50.59 FEET; THENCE SOUTH 0°00'00" WEST 167.52 FEET; THENCE NORTH 90°00'00" WEST 329.11 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 48.42 FEET, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 6°27'06", AND WHICH CHORD BEARS NORTH 86°46'27" WEST 48.39 FEET; THENCE NORTH 83°32'54" WEST 63.71 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 62.67 FEET, HAVING A RADIUS OF 447.77 FEET, A CENTRAL ANGLE OF 8°01'11", AND WHICH CHORD BEARS NORTH 87°33'29" WEST 62.62 FEET; THENCE SOUTH 87°37'31" WEST 102.35 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 55.14 FEET, HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 13°44'12", AND WHICH CHORD BEARS NORTH 85°30'41" WEST 55.01 FEET; THENCE SOUTH 33°34'58" WEST 189.46 FEET; THENCE NORTH 65°54'37" WEST 381.87 FEET; THENCE NORTH 67°23'30" WEST 106.53 FEET TO THE EASTERLY BOUNDARY OF SAID RIDGE TOWNHOMES PHASE 1; THENCE ALONG SAID BOUNDARY THE FOLLOWING THREE (3) COURSES: (1) NORTH 22°36'29" EAST 73.07 FEET; (2) NORTH 22°36'29" EAST 73.07 FEET; (3) NORTH 55°54'27" EAST 32.08 FEET TO THE SOUTHERLY BOUNDARY OF THE RIDGE TOWNHOMES PHASE 2; THENCE ALONG SAID BOUNDARY THE FOLLOWING SEVEN (7) COURSES: (1) SOUTH 77°03'57" EAST 120.62 FEET; (2) SOUTH 86°56'20" EAST 93.96 FEET; (3) SOUTH 78°56'27" EAST 55.83 FEET; (4) SOUTH 89°13'42" EAST 26.79 FEET; (5) NORTH 62°48'50" EAST 48.19 FEET; (6) NORTH 42°52'45" EAST 60.00 FEET; (7) NORTH 47°07'15" WEST 49.98 FEET TO THE BOUNDARY OF SAID RIDGE TOWNHOMES PHASE 1; THENCE ALONG SAID BOUNDARY NORTH 42°52'41" EAST 89.68 FEET TO THE POINT OF BEGINNING. CONTAINING 5.89 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; AND THAT THIS PLAT OF:

THE RIDGE TOWNHOMES PHASE 3

IN WEBER COUNTY, UTAH HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDERS OFFICE; I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.



SIGNED THIS ____ DAY OF ____, 2016.

KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

RIDGE UTAH DEVELOPMENT CORPORATION (RUDC) AS OWNER OF THE TRACT OF LAND DESCRIBED HEREON, AND AS DECLARANT OF THAT CERTAIN PROJECT KNOWN AS THE RIDGE TOWNHOMES PHASE 3, HEREBY DEDICATES TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES. RUDC FURTHER DEDICATES AND RESERVES UNTO ITSELF, INCLUDING ITS GRANTEES, SUCCESSORS, OR ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID PROJECT (AND THOSE ADJOINING PROJECTS OR SUBDIVISIONS THAT MAY BE SUBDIVIDED BY SAID OWNER/DECLARANT, ITS SUCCESSORS OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL LOTS/UNIT, TO BE MAINTAINED BY THE RIDGE TOWNHOMES ASSOCIATION, WHICH SHALL BE GOVERNED IN ACCORDANCE WITH THE UTAH COMMUNITY ASSOCIATION ACT AND WHOSE MEMBERSHIP SHALL CONSIST OF THE OWNERS OF SAID LOTS/UNITS, THEIR GRANTEES, SUCCESSORS, OR ASSIGNS. RUDC ALSO GRANTS AND CONVEYS TO THE RIDGE TOWNHOMES ASSOCIATION ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH RIDGE TOWNHOMES ASSOCIATION MEMBER IN COMMON WITH ALL OTHERS IN THE PROJECT.

RUDC GRANTS AND DEDICATES TO WEBER COUNTY A PERPETUAL EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES. RUDC ALSO GRANTS AND DEDICATES TO WEBER COUNTY A PERPETUAL EASEMENT FOR PROVIDING AND MAINTAINING CONSTRUCTION CUT AND/OR FILL SLOPES, LATERAL SUPPORT AND/OR PROPER DRAINAGE ADJACENT TO THE PUBLIC RIGHT-OF-WAY LOCATED WITHIN THE PROJECT.

RUDC GRANTS AND DEDICATES A PERPETUAL RIGHT AND EASEMENT FOR PUBLIC UTILITY PURPOSES OVER, UPON AND UNDER THE PROJECT.

A. STORM WATER DETENTION PONDS, DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

B. PRIVATE OWNERSHIP WILL BE DEFINED AS ANYTHING WITHIN THE FOOTPRINT OF THE INDIVIDUAL LOTS/UNITS AS SHOWN ON SHEET 3.

C. LIMITED COMMON AREA TO BE EXCLUDED FROM PUBLIC UTILITY EASEMENT DEDICATION.

RIDGE UTAH DEVELOPMENT CORPORATION

SIGNED THIS ____ DAY OF ____, 2016.

ERIC S. HOUSEHOLDER, OFFICER

RIDGE TOWNHOMES ASSOCIATION

SIGNED THIS ____ DAY OF ____, 2016.

ERIC S. HOUSEHOLDER, OFFICER

OWNER:
RIDGE UTAH DEVELOPMENT CORPORATION
JOHN L. LEWIS
3718 NORTH WOLF CREEK DRIVE
EDEN, UTAH 84310
801-430-1507
SEE RECORD OF SURVEY # 5332

S1
7

COUNTY RECORDER

ENTRY NO. ____ FEE PAID ____

FILED FOR AND RECORDED ____

AT ____ IN BOOK ____ OF OFFICIAL

RECORDS, PAGE ____, RECORDED

FOR ____

COUNTY RECORDER

BY: ____



WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.

SIGNED THIS ____ DAY OF ____, 2016.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

SIGNED THIS ____ DAY OF ____, 2016.

COUNTY ATTORNEY

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS ____ DAY OF ____, 2016.

COUNTY ENGINEER

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS ____ DAY OF ____, 2016.

COUNTY SURVEYOR

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.

SIGNED THIS ____ DAY OF ____, 2016.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST: ____ NAME/TITLE

WEBER - MORGAN HEALTH DEPARTMENT

I DO HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.

THIS ____ DAY OF ____, 2016

DIRECTOR WEBER-MORGAN HEALTH DEPARTMENT

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

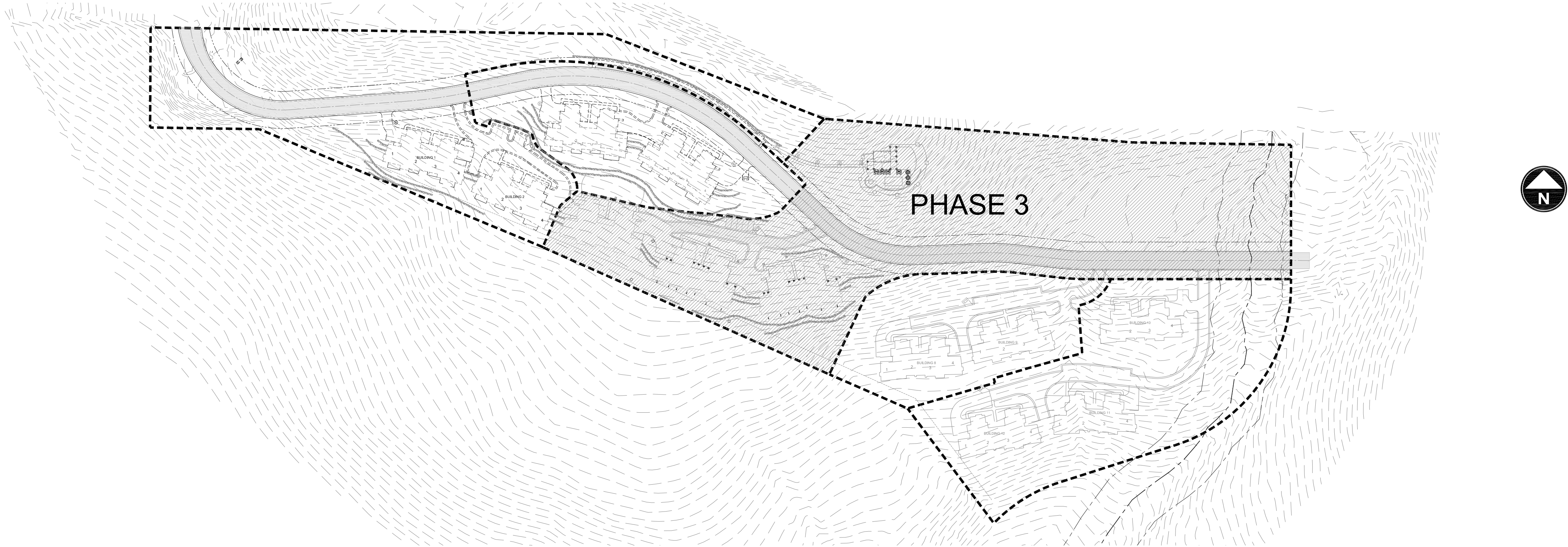
ON THIS ____ DAY OF ____, 2016, PERSONALLY APPEARED BEFORE ME ERIC S. HOUSEHOLDER, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, WHO DULY ACKNOWLEDGED TO ME HE SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

STAMP

NOTARY PUBLIC

THE RIDGE TOWNHOMES

PHASE 3 - SUBDIVISION APPLICATION



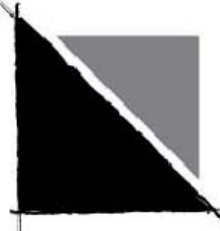
LOCATION MAP



PREPARED FOR:
LEWIS HOMES, INC
JOHN LEWIS
5577 EAST ELKHORN DRIVE
EDEN, UTAH 84310
801.430.1507



CONSULTANTS:
LANDSCAPE ARCHITECT:
LANGVARDT DESIGN GROUP
328 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101
801.583.1295



ARCHITECT:
BERTOLDI ARCHITECTS
RAY BERTOLDI
2726 HARRISON BLVD.
OGDEN, UTAH 84403
801.476.4330



ENGINEER:
GARDNER ENGINEERING
TYLER NIELSEN
5150 SOUTH, 375 EAST
OGDEN, UTAH 84405
801.476.0202



PROJECT MANAGEMENT:
THE HOUSEHOLDER GROUP
ERIC HOUSEHOLDER
2850 NORTH NORDIC VALLEY DRIVE
EDEN, UTAH 84310
801.389.0040

SHEET INDEX:	
PLANNING	C1.1 COVER SHEET
	P1.0 OVERALL PHASING PLAN
	P1.1 SLOPE ANALYSIS
	S1.1 SITE PLAN
	S1.2 SITE PLAN
	S1.3 SITE DETAILS
	L1.1 LANDSCAPE PLAN
	L1.2 LANDSCAPE DETAILS
CIVIL	C1 PLAN AND PROFILE
	C2 PLAN AND PROFILE
	C3 GRADING PLAN
	C4 BUILDING UTILITY PLAN
	C5 DETAILS - 1
	C6 DETAILS - 2
	C7 DETAILS - 3
	C8 SWPPP



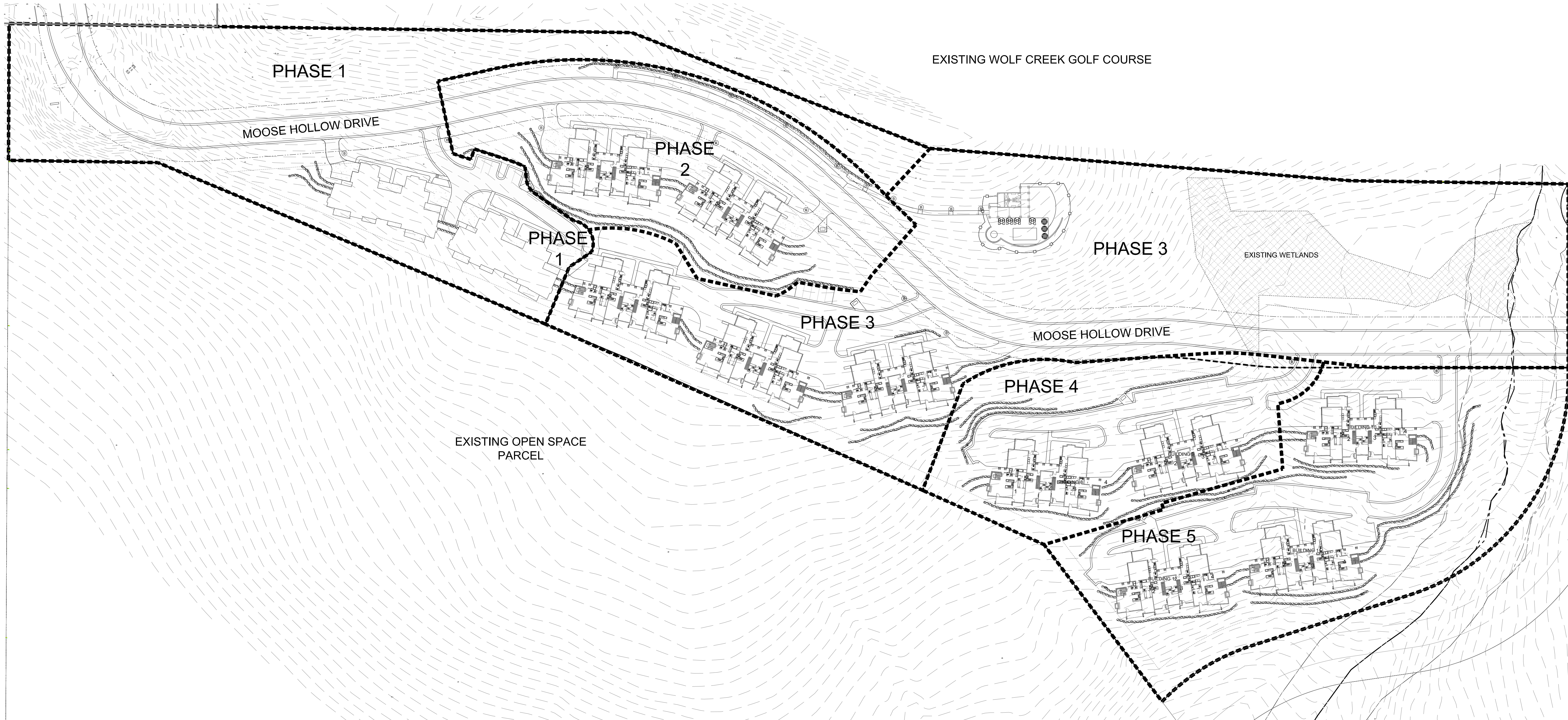
Phase Three
Subdivision Application
WEBER COUNTY, UT



DATE:	AUGUST 2016
PROJECT:	
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C1.1



OVERALL PHASING NOTE:

1. PHASE BOUNDARIES ARE APPROXIMATE AND MAY BE ADJUSTED PER MARKET CONDITIONS OR INFRASTRUCTURE FEASIBILITY. ALL PHASE OF DEVELOPMENT WILL BE CONSTRUCTED TO PROVIDE MINIMUM STANDARDS FOR FIRE SAFETY AND INFRASTRUCTURE REQUIREMENTS.

PHASE DATA:

PHASE 1: 8 UNITS / 21 PARKING STALLS

PHASE 2: 8 UNITS / 36 PARKING STALLS

PHASE 3: 12 UNITS / 41 PARKING STALLS & POOL/SPA FACILITY

PHASE 4: 8 UNITS / 29 PARKING STALLS

PHASE 5: 12 UNITS / 42 PARKING STALLS

NOTE: PARKING STALL COUNTS INCLUDE PROPOSED GARAGE AND SURFACE STALLS FOR EACH PHASE

OVERALL DEVELOPMENT DATA:

-PROJECT AREA: 16.03 ACRES

-PROPOSED USES: 48 TOWNHOME UNITS (12 - 4 PLEX UNITS)
500 S.F. POOL HOUSE W/ POOL, SPA AND POOL DECK

-PARKING: 130 TOTAL
-68 GARAGE STALL
-68 DRIVEWAY SPACES
-34 GUEST AND POOL SURFACE STALLS

-OPEN SPACE: 10.11 AC. (63.10%)



THE RIDGE TOWNHOMES

PHASE 3
WEBER COUNTY, UT

Phase Three
Subdivision Application
WEBER COUNTY, UT



DATE: AUGUST 2016

PROJECT: .028

DRAWN BY: MP

REVIEW BY: EL

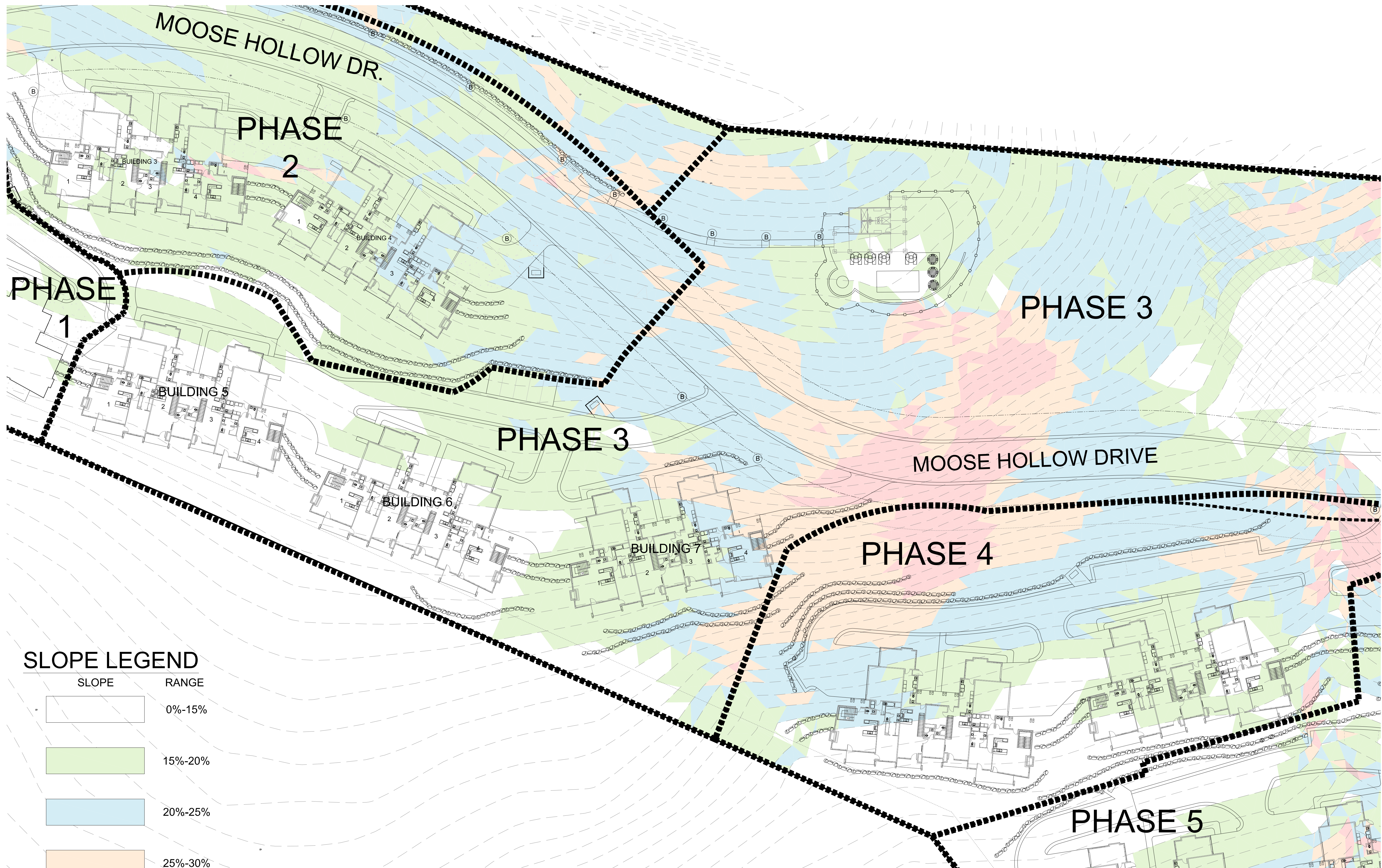
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REVISIONS:



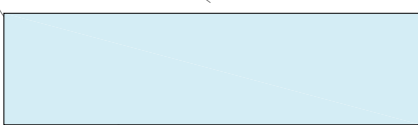

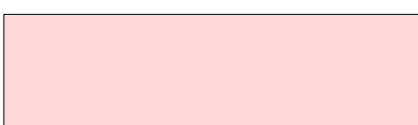

SHEET TITLE:
OVERALL
PHASING PLAN

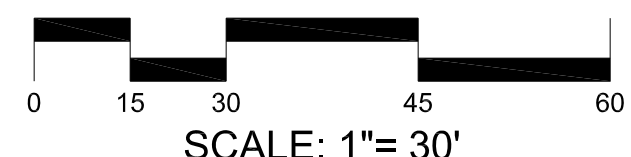
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P1.0



SLOPE LEGEND

SLOPE	RANGE
	0%-15%
	15%-20%
	20%-25%
	25%-30%
	30%-40%
	40% +



THE RIDGE TOWNHOMES

PHASE 3
WEBER COUNTY, UT

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Subdivision Application
WEBER COUNTY, UT

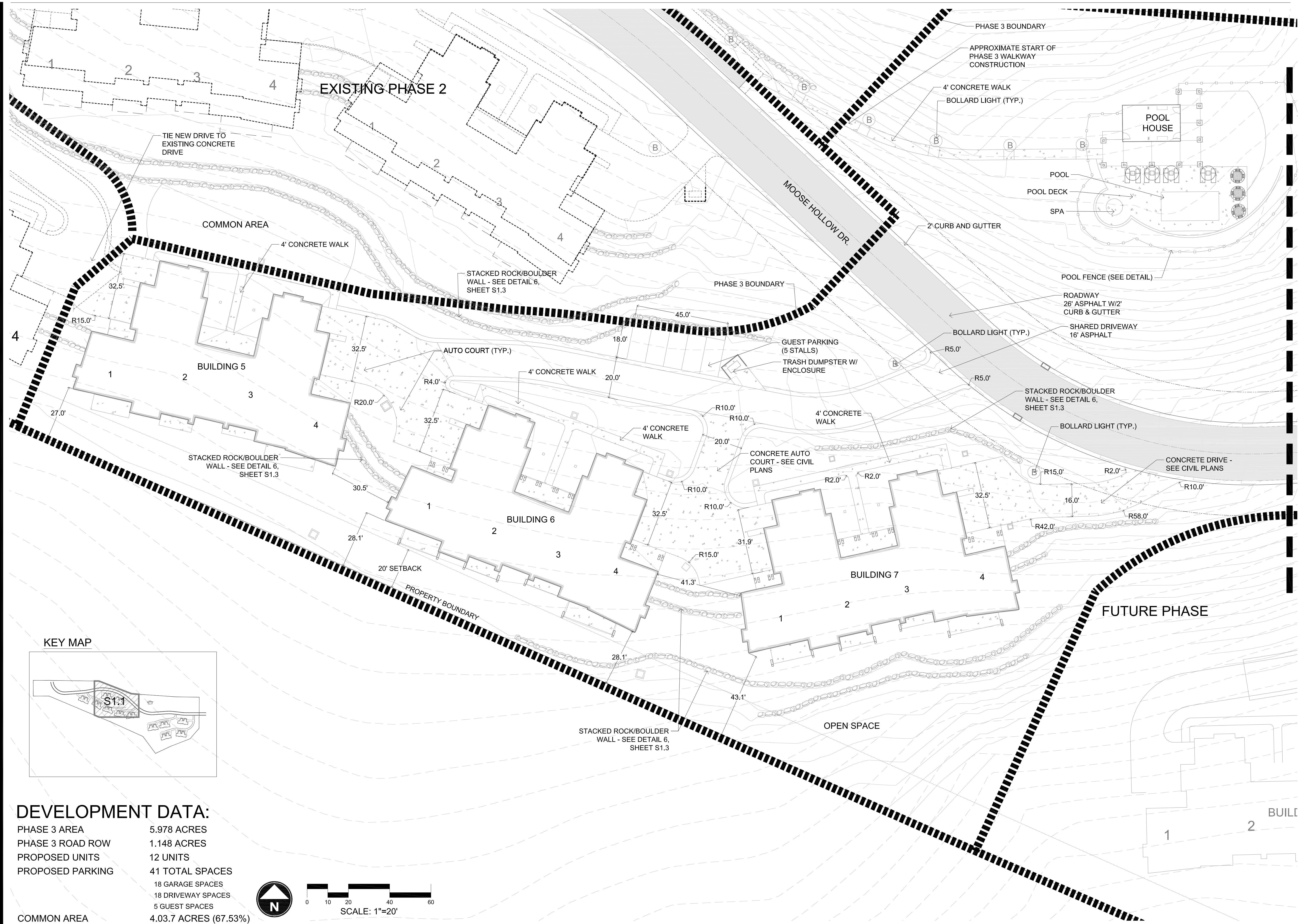


DATE:	AUGUST 2016
PROJECT:	.028
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

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SLOPE
ANALYSIS

SHEET NUMBER:

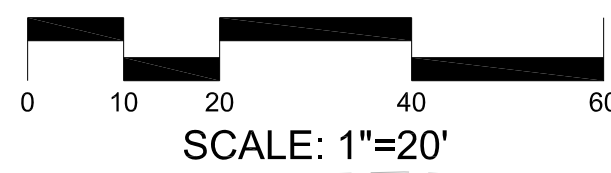
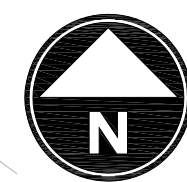
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KEY MAP

DEVELOPMENT DATA:

PHASE 3 AREA	5.978 ACRES
PHASE 3 ROAD ROW	1.148 ACRES
PROPOSED UNITS	12 UNITS
PROPOSED PARKING	41 TOTAL SPACES
	18 GARAGE SPACES
	18 DRIVEWAY SPACES
	5 GUEST SPACES
COMMON AREA	4.03.7 ACRES (67.53%)



THE RIDGE TOWNHOMES

PHASE 3
WEBER COUNTY, UT

Phase Three
Subdivision Application
WEBER COUNTY, UT

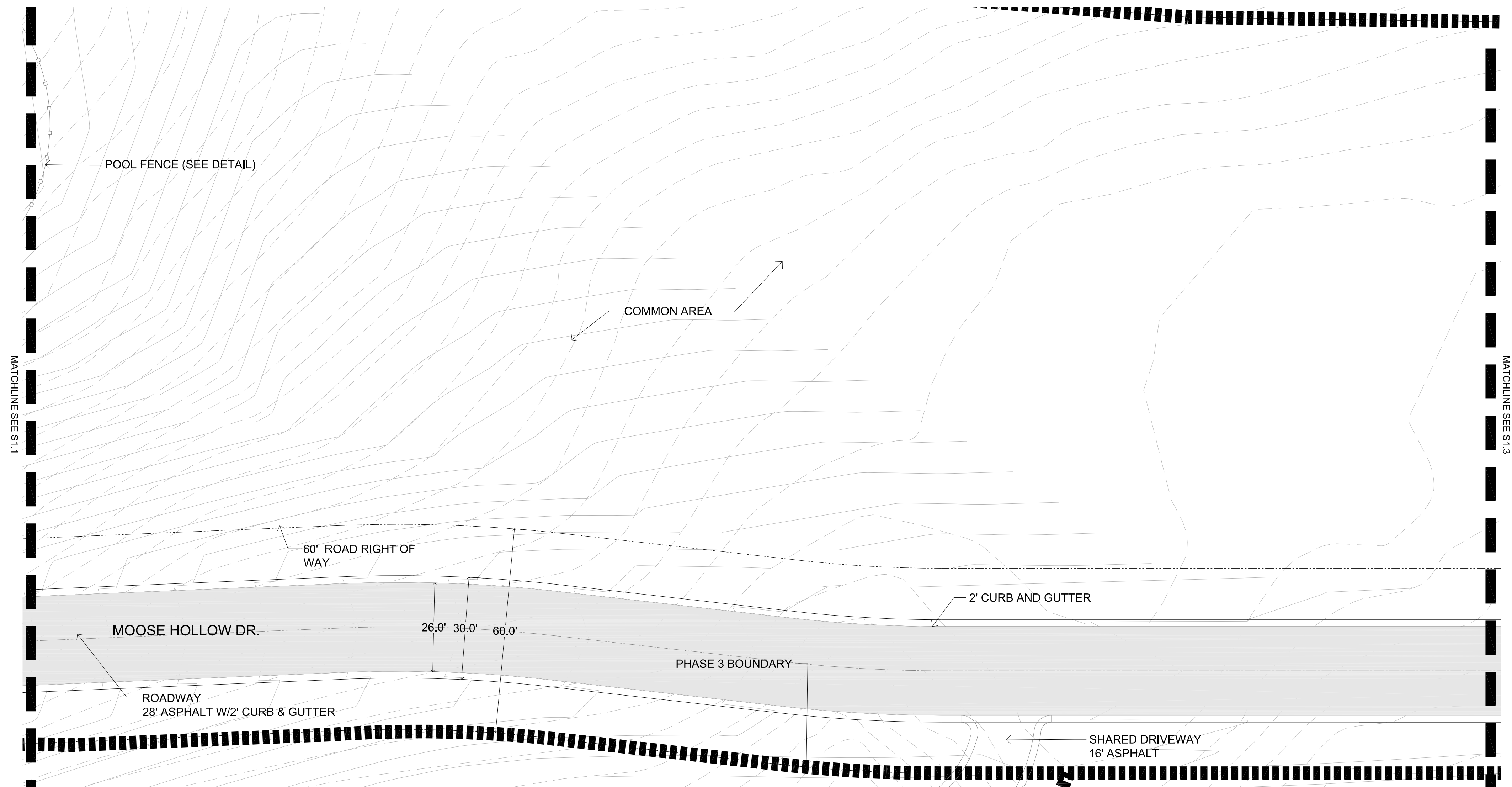


DATE:	AUGUST 2016
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VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
SITE
PLAN

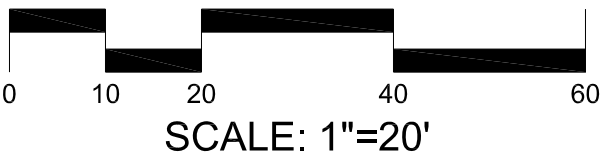
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WEBER COUNTY, UT

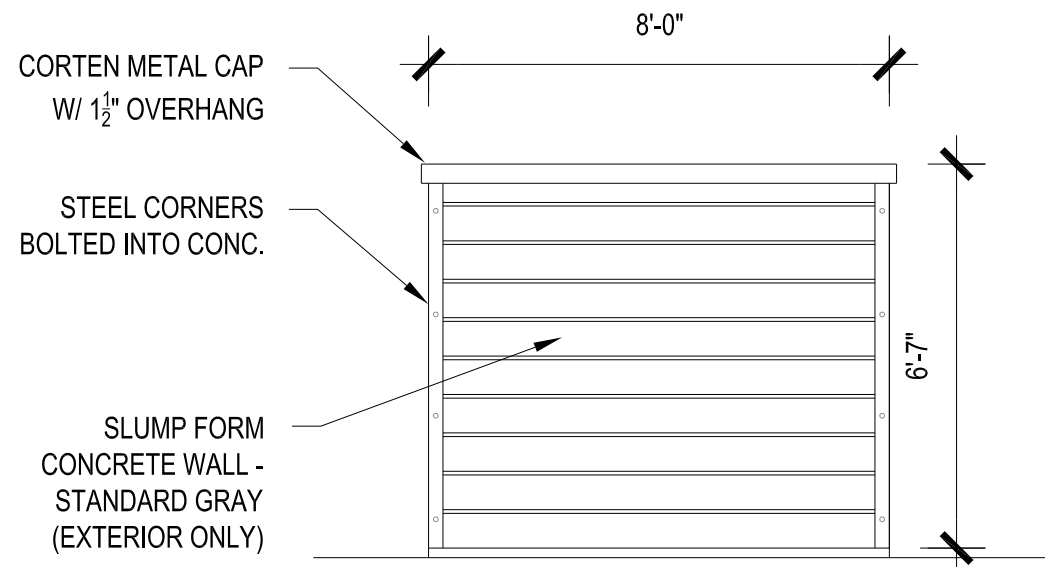


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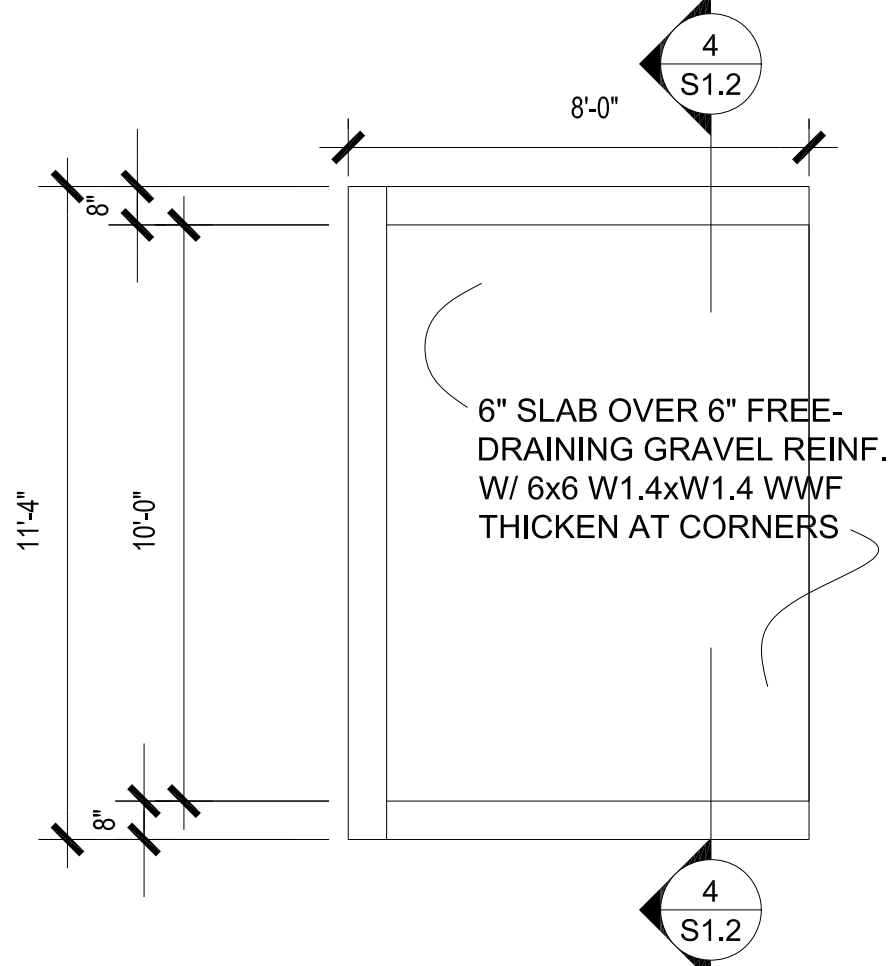
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SITE
PLAN

SHEET NUMBER:

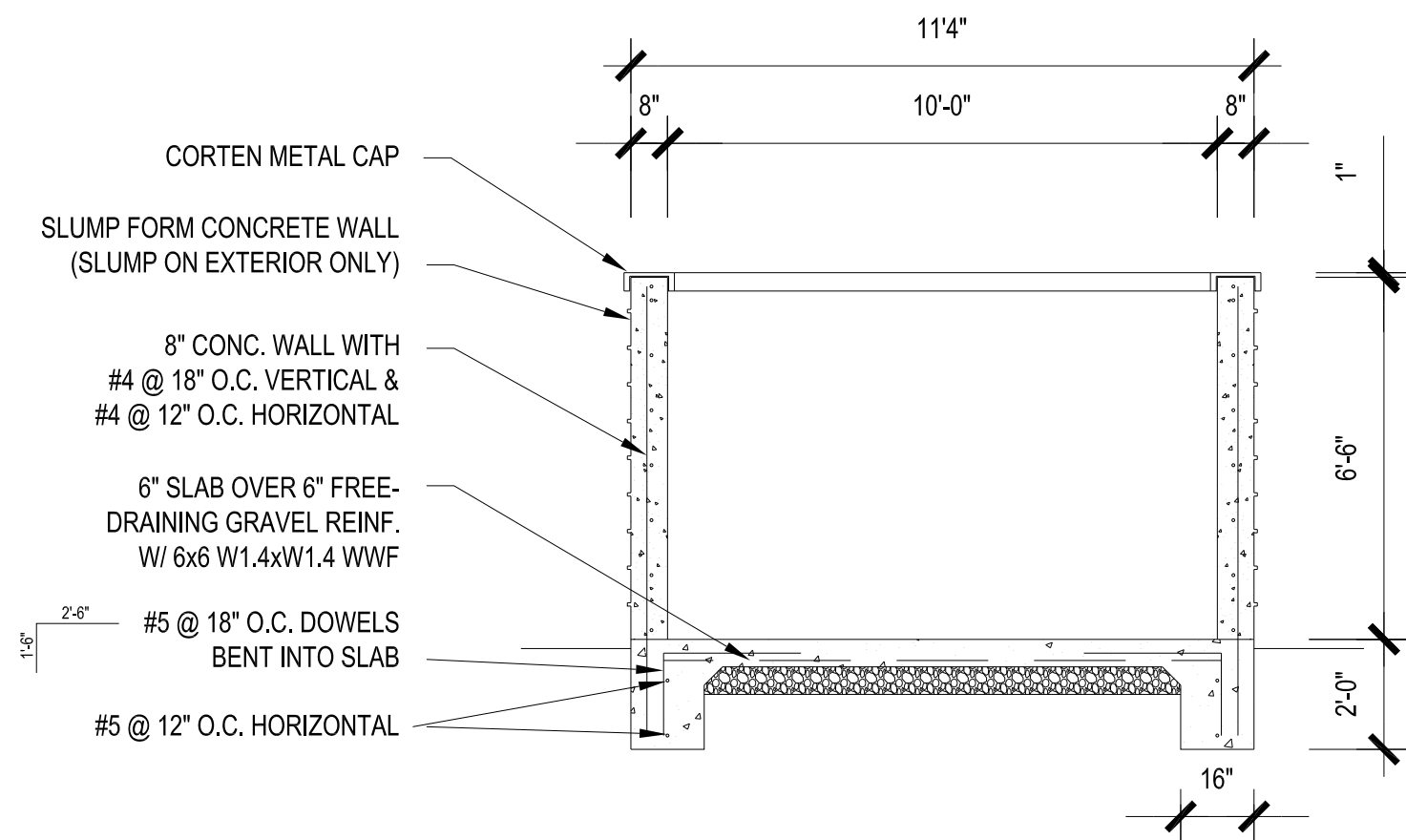
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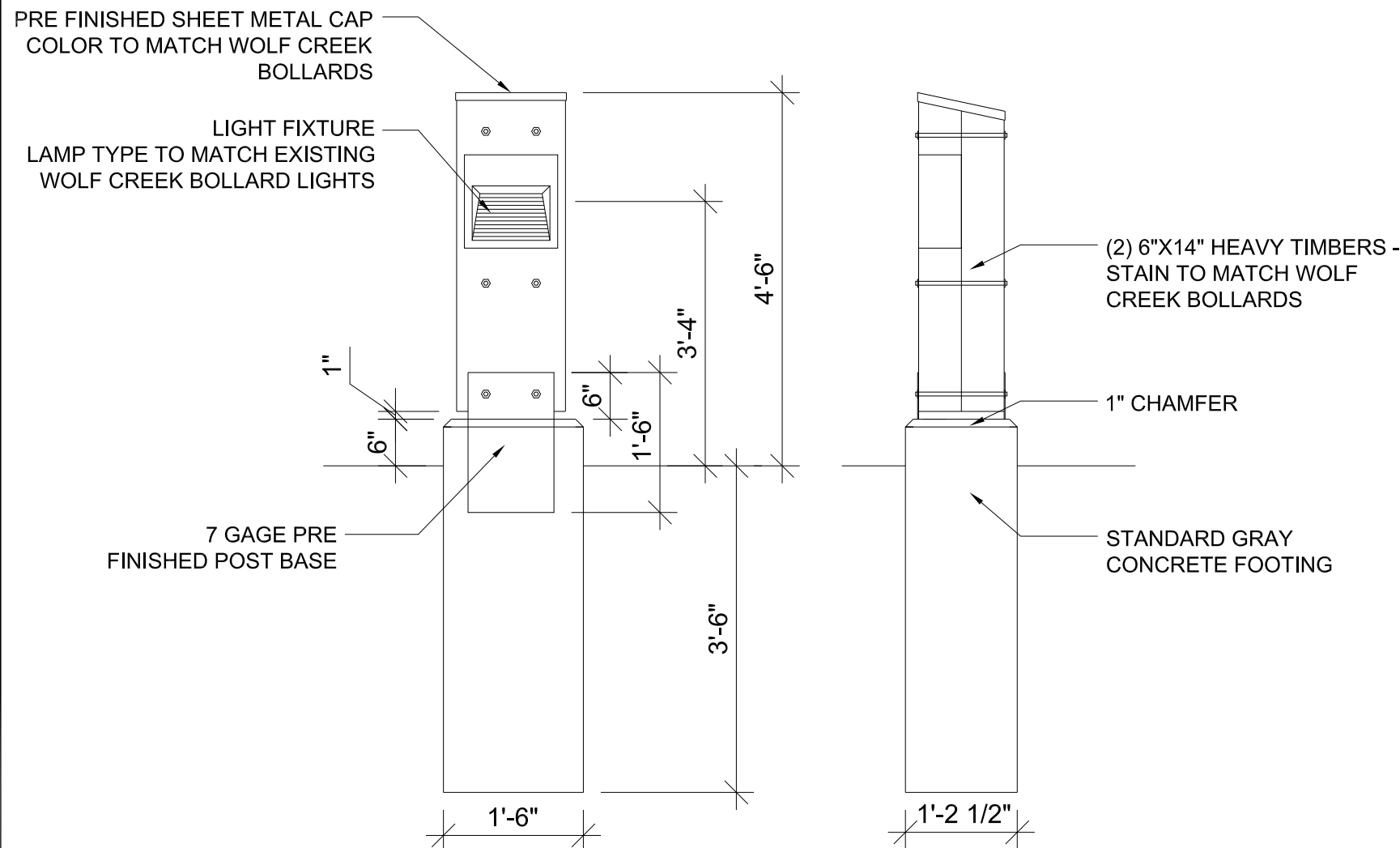
1 TRASH DUMPSTER - SIDE ELEVATION
SCALE: NTS



2 TRASH DUMPSTER - PLAN VIEW
SCALE: NTS



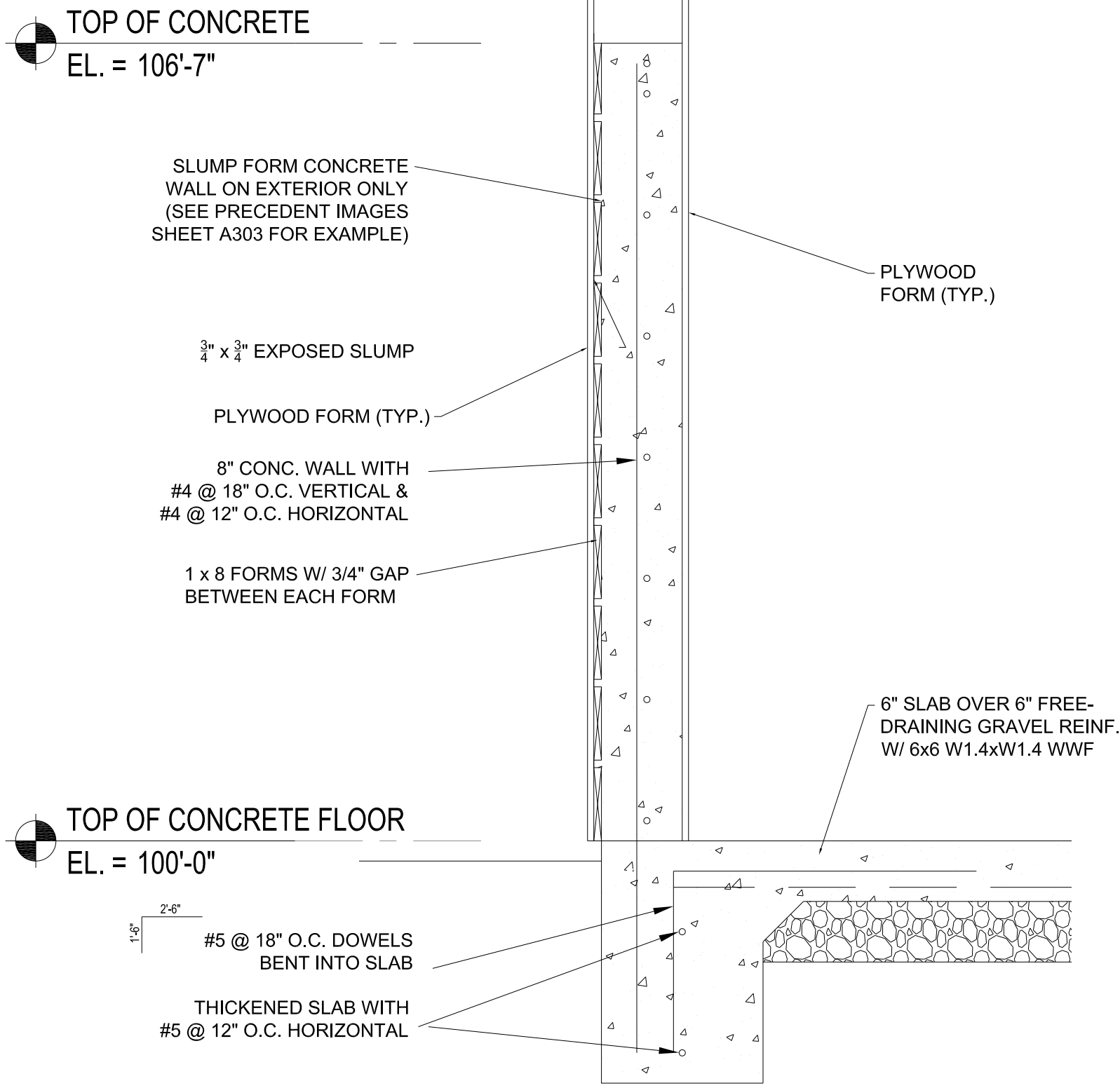
3 TRASH DUMPSTER - SECTION 1
SCALE: NTS



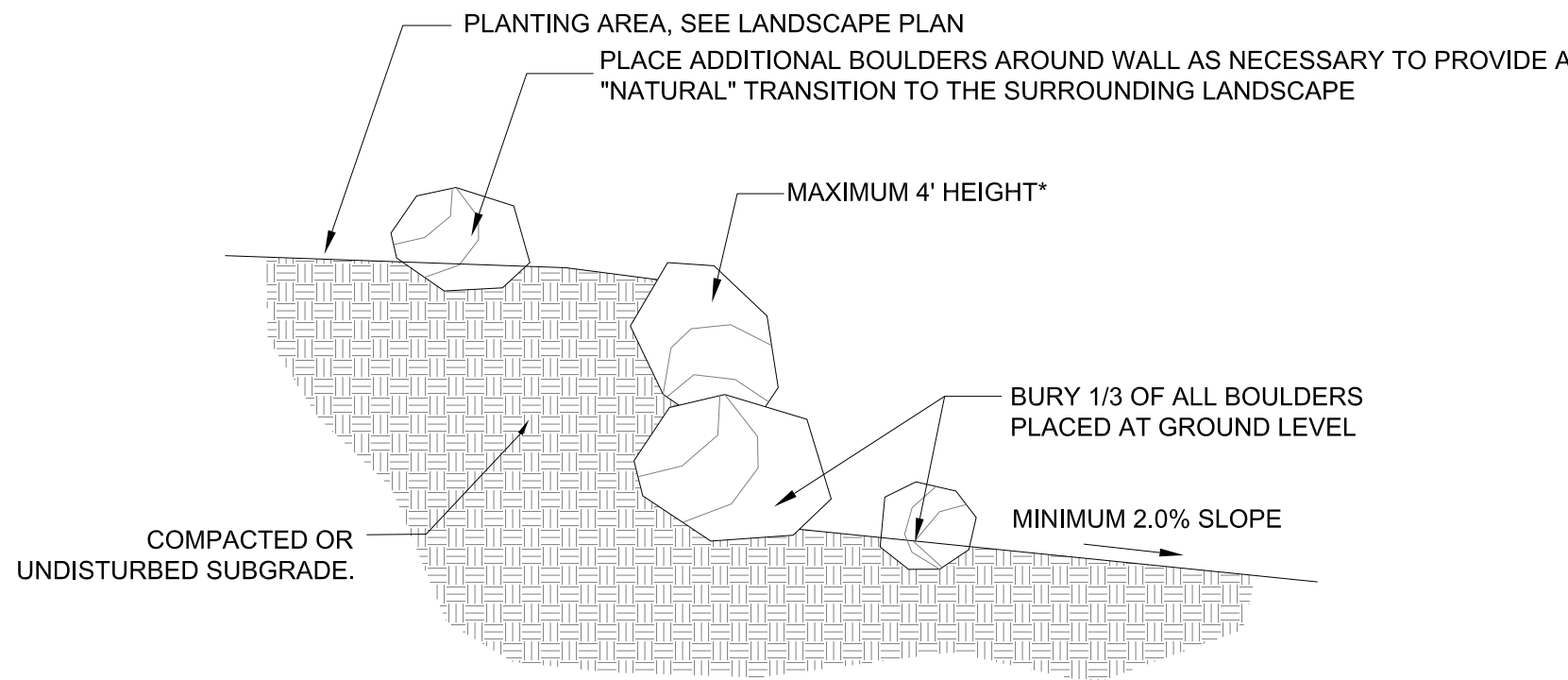
4 BOLLARD LIGHT
SCALE: NTS



DUMPSTER MATERIAL AND COLOR EXAMPLE (WILL NOT INCLUDE SIGNAGE)



5 TRASH DUMPSTER - SLUMP FORM FRAMING DETAIL
SCALE: NTS



- *NOTE:
- BOULDERS SHOULD GENERALLY RANGE FROM 2'-4" IN DIAMETER. LARGER BOULDERS SHALL BE PLACED AT BOTTOM OF WALL. BOULDERS SHOULD BE PLACED TO APPEAR "NATURAL" WITH ONE ANOTHER AND SHOULD NOT BE STACKED IN A STRUCTURED, ENGINEERED PATTERN.
 - ROCK WALLS THAT ARE 4' AND HIGHER REQUIRE AND ENGINEERED DESIGN AND SHALL BE CONSTRUCTED TO THE ENGINEERS RECOMMENDATIONS.

6 BOULDER RETAINING WALL
SCALE: NTS

WELDED STEEL FENCE, 3-RAIL 6' HEIGHT
POOL SECURITY FENCE WITH 4" MAXIMUM
OPENING

MATERIAL: GALVANIZED STEEL, 50,000 PSI
(ASTM A653)

PICKETS: 3/4" SQUARE X 16 GA., SPEAR TOP
PICKETS EXTEND PAST TOP AND BOTTOM
RAILS

RAILS: 1.4375" X .075" TOP, 1.500" X 0.075"
SIDES, 91.95" LONG

POSTS: 2-1/2" SQUARE X 16 GA.

COATING: E-COAT, 20 YEAR WARRANTY

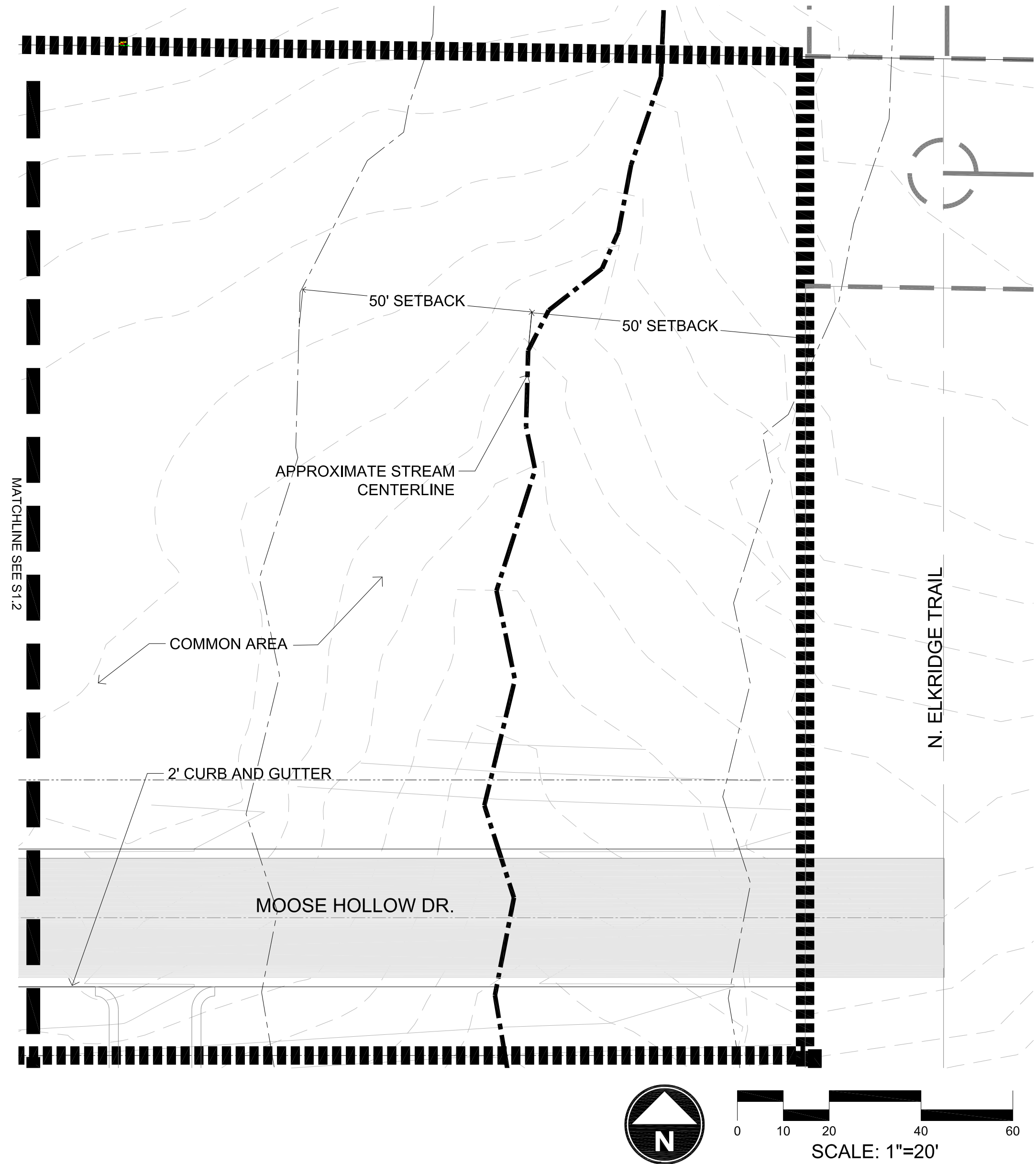
CONSTRUCTION: PROFUSION WELDED ATF,
RAKABLE TO FOLLOW TERRAIN CHANGES UP
TO 30" PER 8 FEET

COLOR: BLACK

GATES: 3' SELF CLOSING GATE, GATE STYLE
TO MATCH FENCE STYLE.
COORDINATE LOCKING SYSTEM WITH OWNER



7 6' TALL METAL POOL FENCING



8 PLAN
SCALE: 1"=20'

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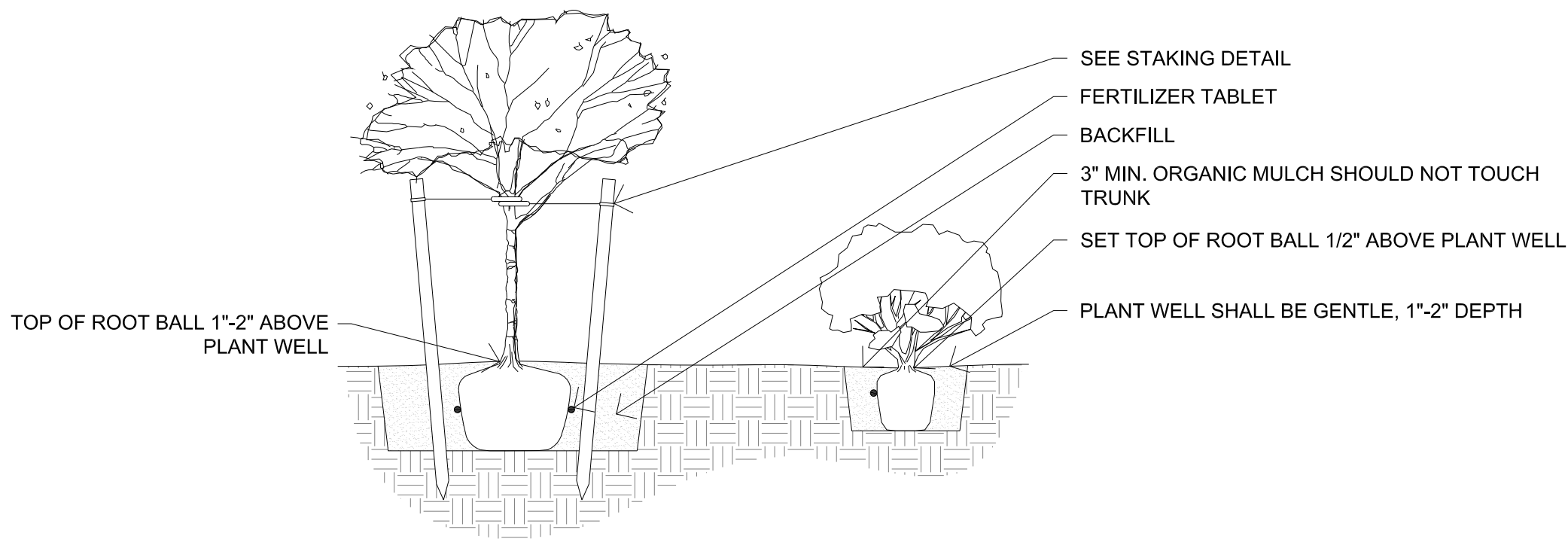
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REVISIONS:

SHEET TITLE:
SITE
DETAILS

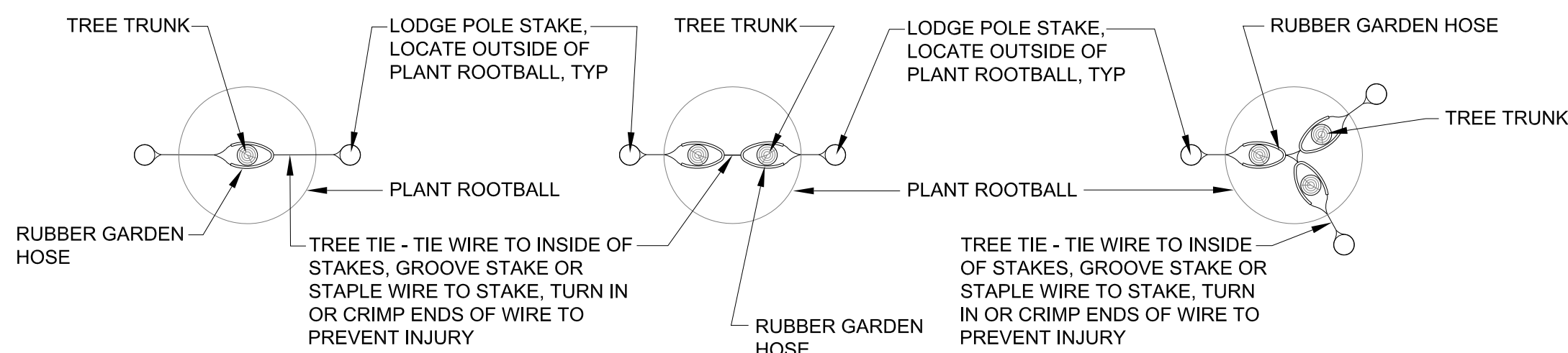
SHEET NUMBER:

S1.3

BACKFILL:
ONE PART MULCH TO THREE PARTS NATIVE SOIL.
PLANTING PIT SIZES:
1 GAL. OR 5 GAL. - 2X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 6"
15 GAL. OR LARGER - 3X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 12"
FERTILIZER TABLETS (21 GRAM AGRIFORM TABLETS)
1 PER 1 GAL., 3 PER 5 GAL., 5 PER 15 GAL., 1 PER 3" OF BOX SIZE (24" BOX OR LARGER)



1 DECIDUOUS TREE AND SHRUB PLANTING

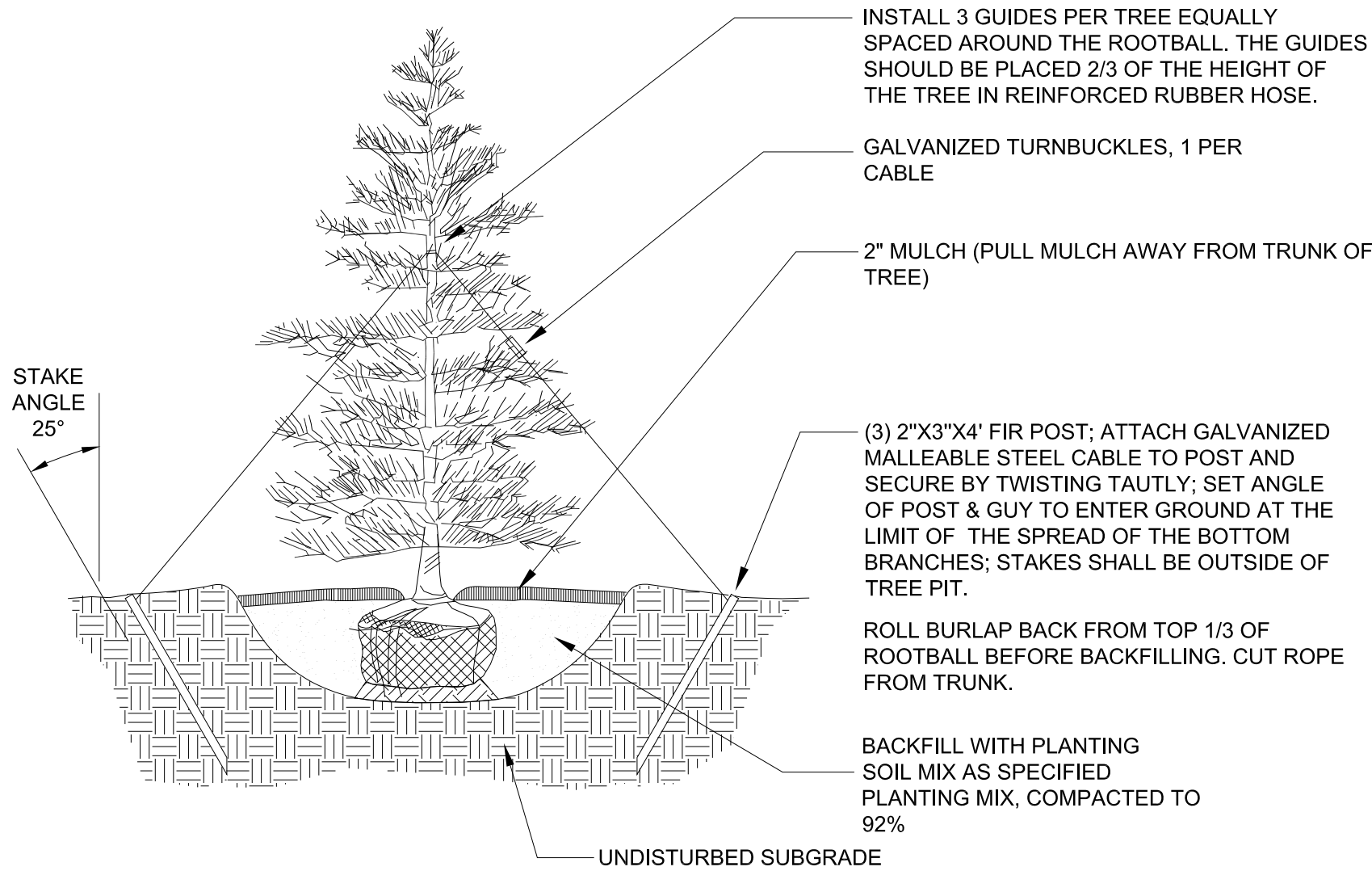


TREE STAKING PLAN - STANDARD

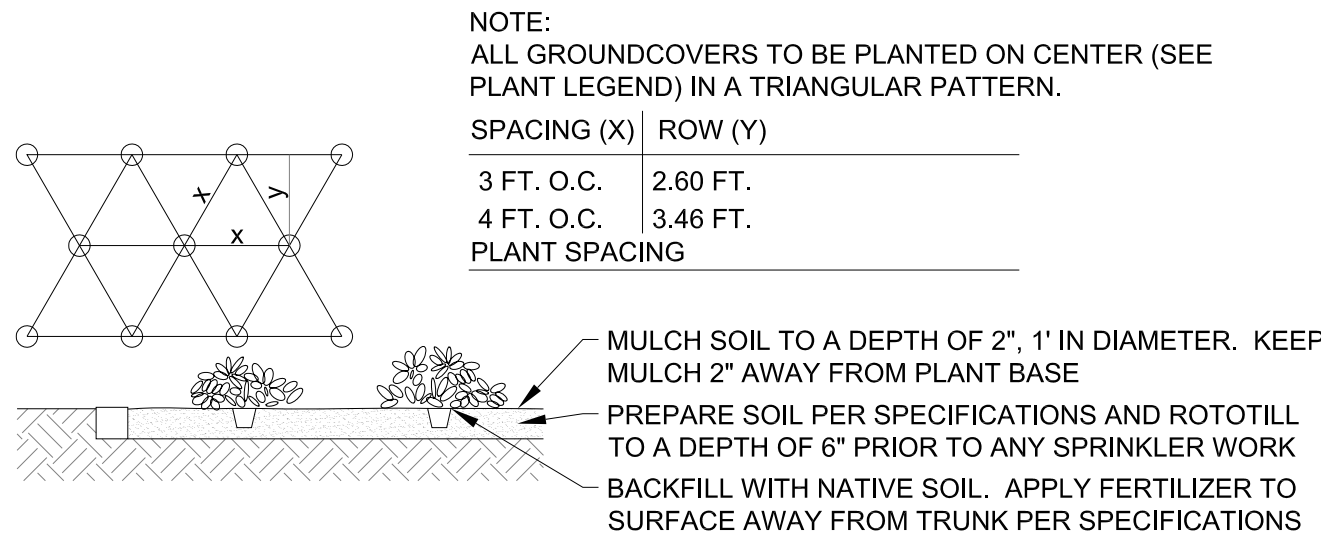
TREE STAKING PLAN - MULTIPLE

TREE STAKING PLAN - MULTIPLE

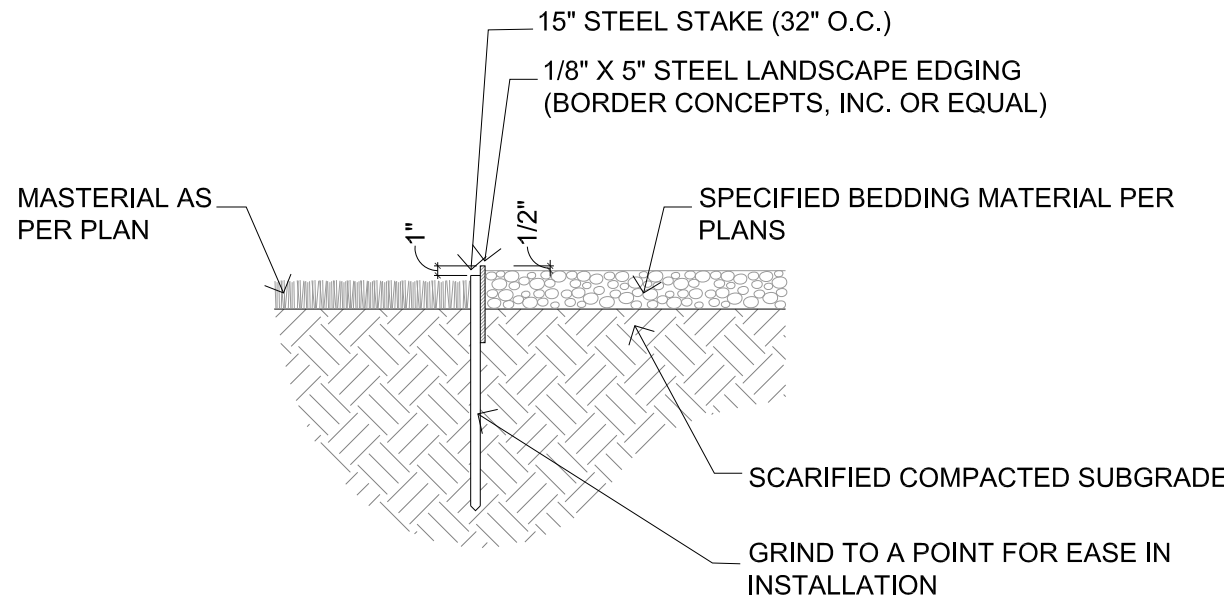
2 DECIDUOUS TREE STAKING



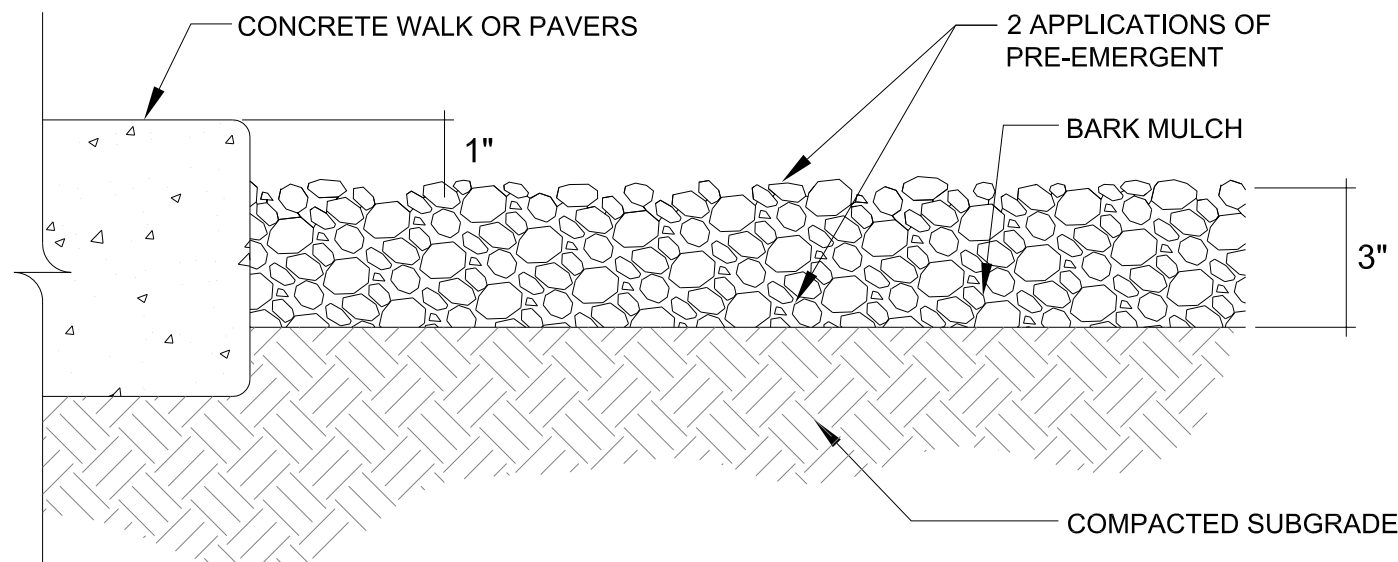
3 EVERGREEN TREE PLANTING AND STAKING



4 GROUNDCOVER SPACING



5 STEEL LANDSCAPE EDGING



NOTES:
1. SIZE AND COLOR OF MULCH IS SHOWN ON THE SITE PLAN AND LANDSCAPE PLAN.
2. PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF MULCH.
3. FINAL APPLICATION OF PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE AFTER INSTALLATION OF MULCH IS RAKED SMOOTH AND UNIFORM.

6 LANDSCAPE MULCH

Plant Schedule

QUANTITY	SYMBOL	BOTANICAL/COMMON NAME	INSTALLED SIZE
TREES			
11		Abies lasiocarpa Sub-Alpine Fir	6-8' Hgt.
10		Prunus virginiana Western Chokecherry	2" CAL.
12		Populus tremula 'erecta' Swedish Columnar Swedish Columnar Aspen	2" CAL.
SHRUBS			
31		Mahonia aquifolium 'compacta'	5 Gal.
23		Physocarpus opulifolius 'Dart's Gold'	5 Gal.
21		Pinus mugo mugu 'Dwarf'	5 Gal.
22		Rhus aromatica 'Grow Low'	5 Gal.
6		Salix purpurea nana Blue Arctic Willow	5 Gal.
25		Symphoricarpos alba Snowberry	5 Gal.
7		Syringa vulgaris Common Purple Lilac	5 Gal.
PERENNIALS			
101		Achillea filipendulina Yellow Yarrow	1 Gal.
48		Fragaria vesca x Lipstick Lipstick Strawberry	FLATS
75		Nepeta faassenii Dropmore Catmint	1 Gal.
GRASSES			
9		Miscanthus sinensis 'gracillimus'	1 Gal.
39		Panicum virgatum 'Shenandoah'	1 Gal.
70		Panicum virgatum 'Heavy Metal'	1 Gal.
MATERIALS			
14,961 S.F.		Turf	SOD
129 C.Y.		Shredded Bark Mulch As Approved by Landscape Architect	3" Depth

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, AND ALL SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE PROJECT MANAGER AND ALL OTHER CONTRACTORS WORKING ON THE SITE.
2. THE FINISH GRADE OF ALL PLANTING AREAS SHALL BE SMOOTH, EVEN AND CONSISTENT, FREE OF ANY HUMPS, DEPRESSIONS OR OTHER GRADING IRREGULARITIES. THE FINISH GRADE OF ALL LANDSCAPE AREAS SHALL BE GRADED CONSISTENTLY 3/4" BELOW THE TOP OF ALL SURROUNDING WALKS, CURBS, ETC.
3. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PLANTS FOR APPROVAL PRIOR TO PLANTING. TREES SHALL BE LOCATED EQUIDISTANT FROM ALL SURROUNDING PLANT MATERIAL. SHRUBS AND GROUND COVERS SHALL BE TRIANGULAR AND EQUALLY SPACED.
4. THE PLANT MATERIALS LIST IS PROVIDED AS AN INDICATION OF THE SPECIFIC REQUIREMENTS OF THE PLANTS SPECIFIED, WHEREVER IN CONFLICT WITH THE PLANTING PLAN, THE PLANTING PLAN SHALL GOVERN.
5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE PROPER COMPLETION OF ALL LANDSCAPE WORK AS SPECIFIED AND SHOWN ON THE DRAWINGS.
6. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO PLANTING. THE OWNER/LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS. THE OWNER/LANDSCAPE ARCHITECTS DECISION WILL BE FINAL.
7. THE CONTRACTOR SHALL KEEP THE PREMISES, STORAGE AREAS AND PAVING AREAS NEAT AND ORDERLY AT ALL TIMES. REMOVE TRASH, SWEEP, CLEAN, HOSE, ETC. DAILY.
8. THE CONTRACTOR SHALL PLANT ALL PLANTS PER THE PLANTING DETAILS, STAKE/GUY AS SHOWN. TOP OF ROOT BALLS SHALL BE PLANTED FLUSH WITH FINISH GRADE.
9. THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE IN ANY WAY. THE CONTRACTOR SHALL ALWAYS MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING, WALLS, ETC.
10. THE CONTRACTOR SHALL MAINTAIN ALL WORK UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. UPON COMPLETION OF LANDSCAPE WORK AN INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT FOR SCHEDULING OF INSPECTION AT LEAST SEVEN (7) DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL MAINTAIN AND GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. MAINTENANCE SHALL INCLUDE MOWING, WEEDING, FERTILIZING, CLEANING, INSECTICIDES, HERBICIDES, ETC.
12. NATIVE GRASS SEEDING AREAS TO BE A MIXTURE OF:
40% BIG HORN BLUE HARD FESCUE
40% DEFIANT HARD FESCUE
20% JAMESTOWN 4 CHEWINGS FESCUE
SEEDING RATE: 35 LBS PLS/ACRE
13. ALL DISTURBED AREAS OUTSIDE MULCHED LANDSCAPE BEDS ARE TO BE SEEDING WITH NATIVE GRASS MIXTURE.
14. ALL LANDSCAPE BEDS TO BE MULCHED WITH A MINIMUM 3" SHREDDED BARK MULCH.

IRRIGATION NOTE:

1. ALL PLANT MATERIALS SHOWN ON THE DRAWING SHALL BE SERVICED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL SHRUB BED AREAS, INCLUDING TREES SHALL BE IRRIGATED WITH A LOW PRESSURE DRIP IRRIGATION SYSTEM. ALL GRASS AREAS, EITHER NATIVE OR MANICURED SHALL BE IRRIGATED WITH A BROADCAST IRRIGATION SYSTEM.
2. THE CONTRACTOR IS TO HAVE A QUALIFIED IRRIGATION SYSTEM SPECIALIST PREPARE A DESIGN FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AND SUBMIT DRAWINGS TO THE ENGINEER FOR APPROVAL AT LEAST 30 DAYS PRIOR TO THE SYSTEM INSTALLATION.
3. UNDERGROUND IRRIGATION SYSTEM DRAWINGS SHALL BE PREPARED ON 24"X 36" SHEETS, NEATLY DRAWN AND VERY LEGIBLE. DRAWINGS ARE TO INCLUDE HEAD SPACING, TYPES OF HEADS, PIPING WITH SIZES, VALVES, FITTINGS AND ALL OTHER ITEMS REQUIRED FOR PROPER INSTALLATION OF THE SYSTEM.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL IRRIGATION SLEEVES PRIOR TO PLACEMENT OF HARD IMPROVEMENTS. COORDINATE WITH THE GENERAL CONTRACTOR.
5. THE UTILITY CONTRACTOR IS TO PROVIDE AN IRRIGATION SYSTEM CONNECTION TO EITHER THE CULINARY OR SECONDARY WATER LINE WITH A BACK FLOW PREVENTION DEVICE, AS APPLICABLE, WITHIN STATE AND LOCAL JURISDICTIONAL CODES. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THIS ITEM WITH THE UTILITY CONTRACTOR. IF SECONDARY WATER IS USED, THE SYSTEM SHALL BE FILTERED WITH A CLEANABLE FILTER SYSTEM.
6. THE IRRIGATION CONTROL BOX SHALL BE LOCATED AT THE DIRECTION OF THE PROJECT MANAGER/OWNER.

THE RIDGE TOWNHOMES

PHASE 3
WEBER COUNTY, UT

Phase Three
Subdivision Application
WEBER COUNTY, UT



DATE: AUGUST 2016

PROJECT: .028

DRAWN BY: MP

REVIEW BY: EL

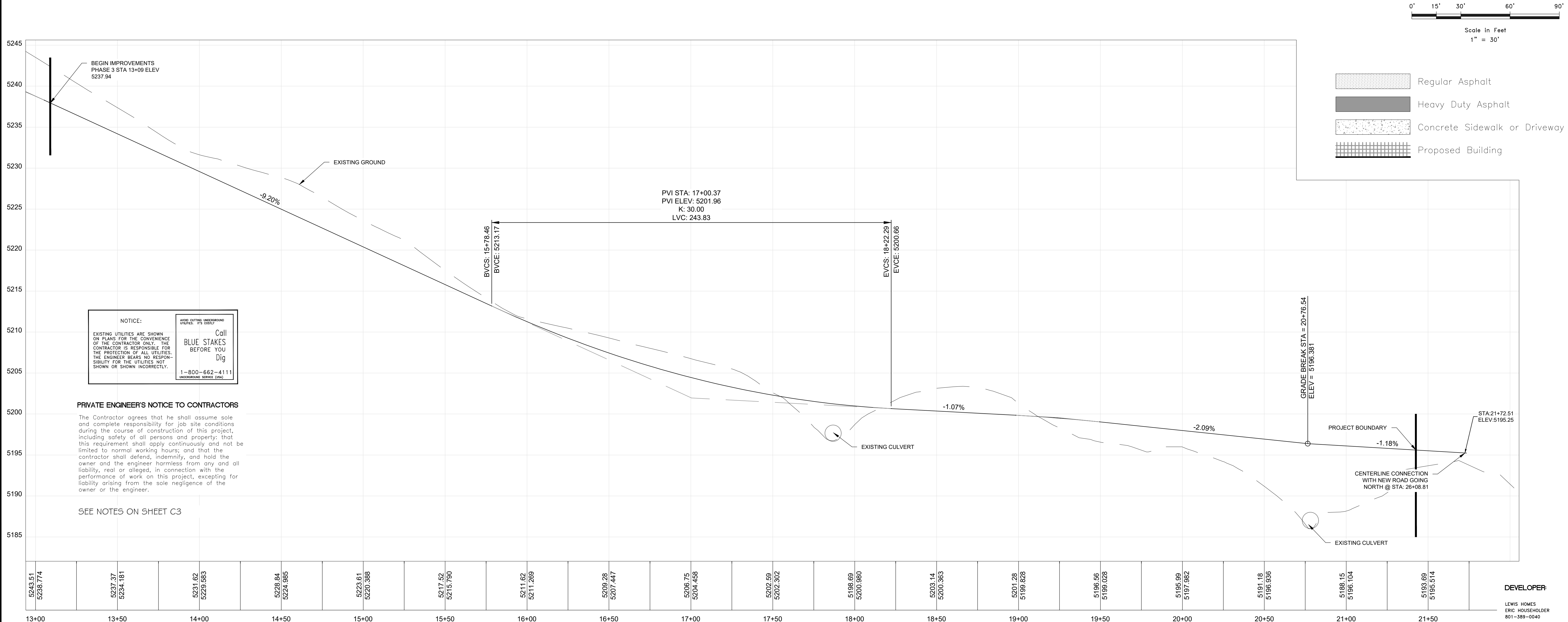
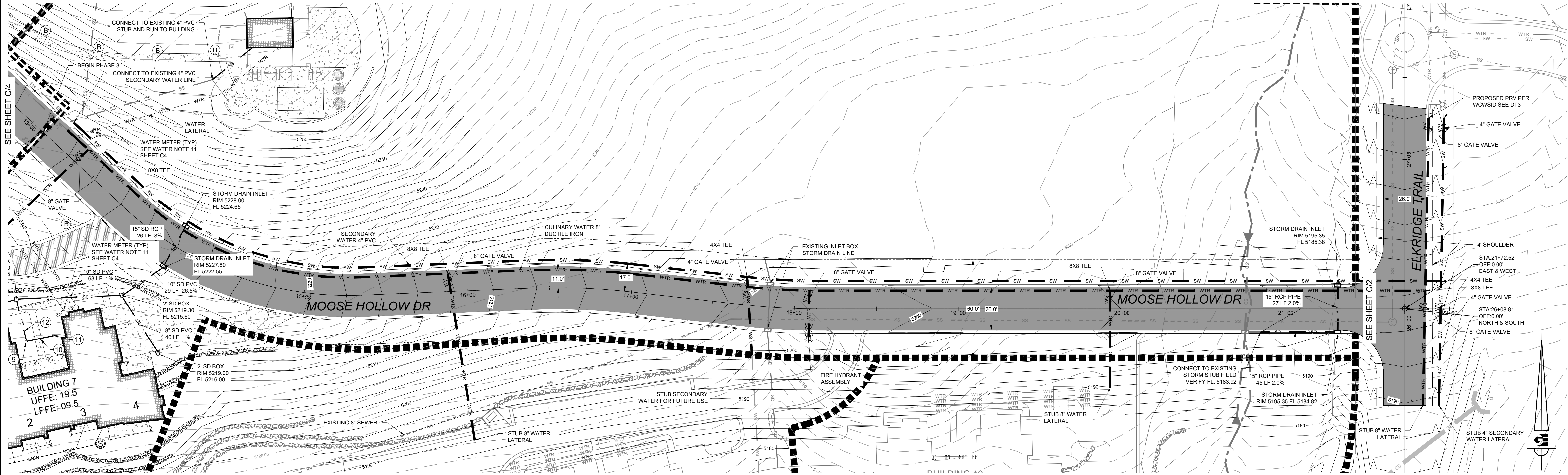
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REVISIONS:

SHEET TITLE:
LANDSCAPE
PLAN & DETAILS

SHEET NUMBER:

L1.2



SCALE: 1" = 30'

DATE: AUGUST 2016

DESIGN: RC

DRAWN: CJP

CHECKED: RC

REVISIONS

DATE

DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER

No. 8010280

RYAN A. CHRISTENSEN

STATE OF UTAH

PLAN AND PROFILE

THE RIDGE - PHASE 3

LEWIS HOMES

EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING

CIVIL • LAND PLANNING

MUNICIPAL • LAND SURVEYING

5150 SOUTH 37.5 EAST OGDEN, UT

OFFICE: 801.476.0202 FAX: 801.476.0066

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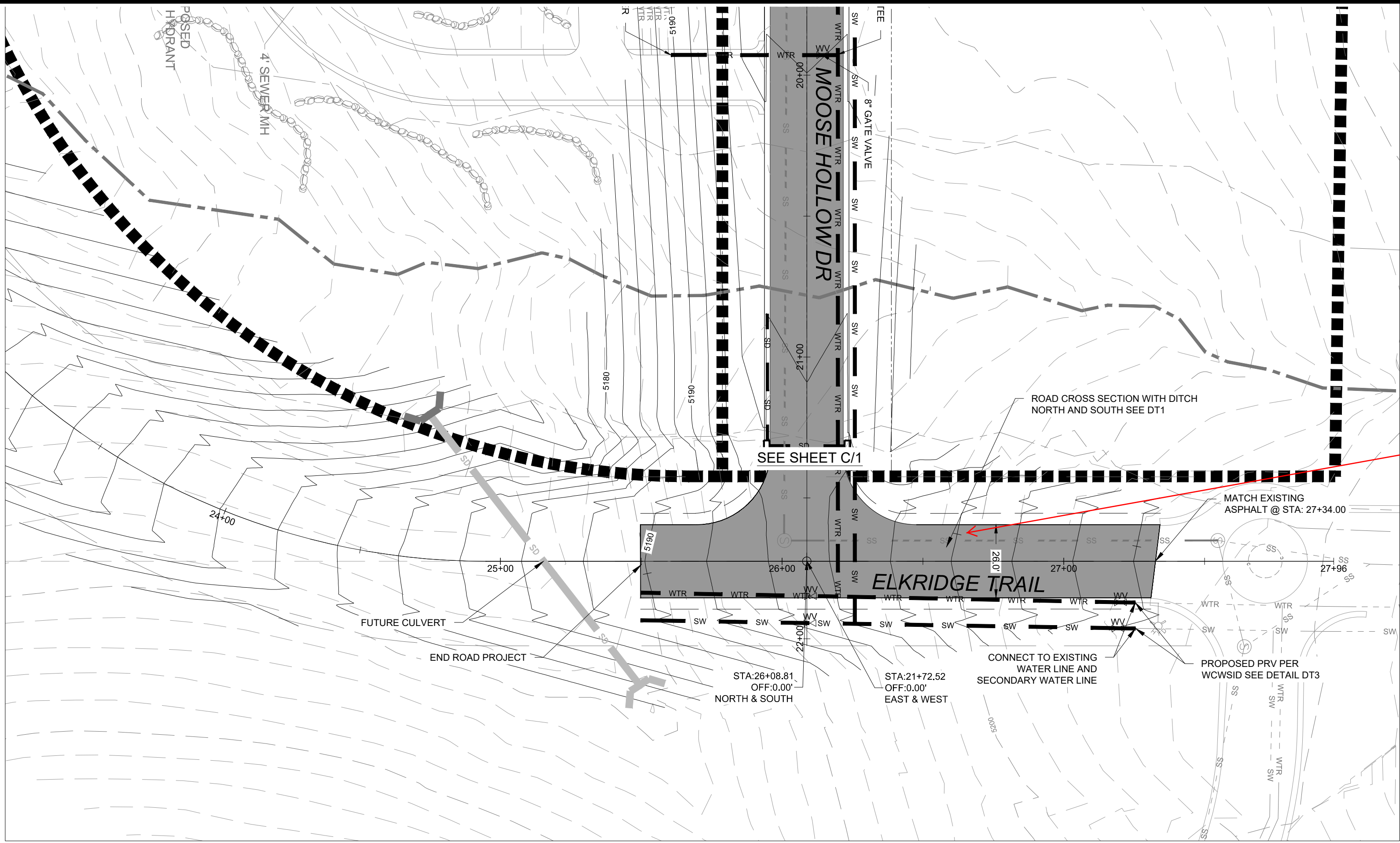
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DEVELOPER:

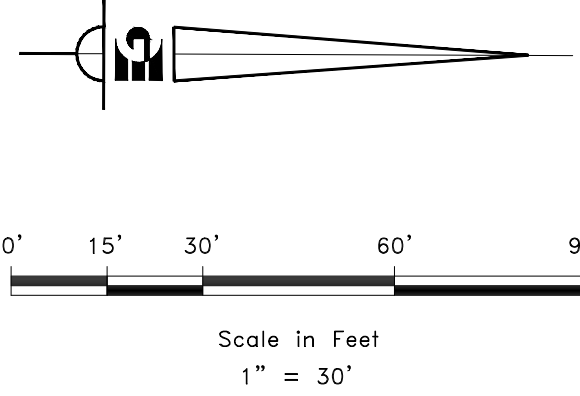
LEWIS HOMES

ERIC HOUSEHOLDER

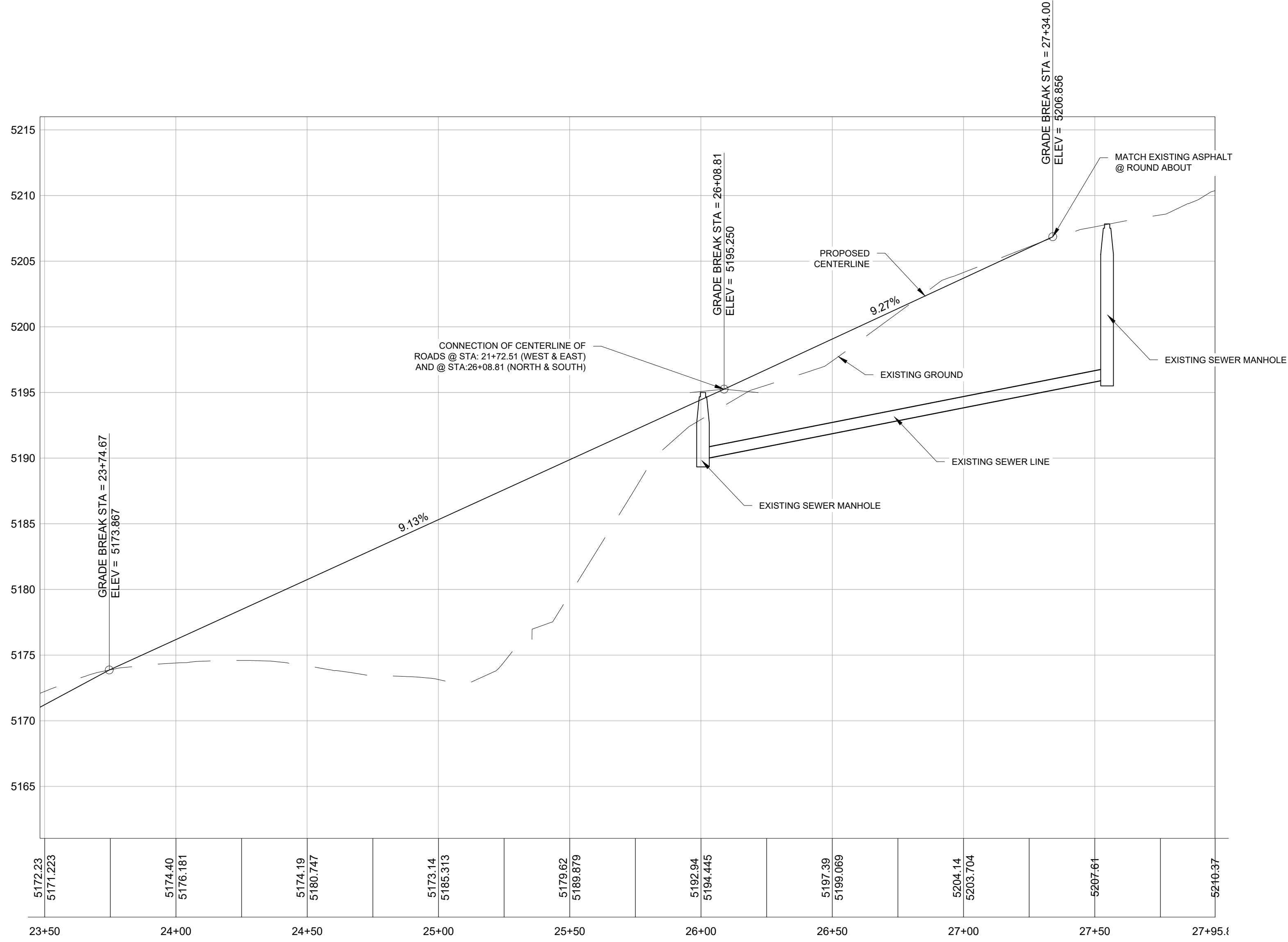
801-389-0040



We will need
information from a
Geotech
concerning the fill
material placed in
this area.



- Regular Asphalt
- Heavy Duty Asphalt
- Concrete Sidewalk or Driveway
- Proposed Building



NOTICE:
EXISTING UTILITIES ARE SHOWN
ON PLANS FOR THE CONVENIENCE
OF THE CONTRACTOR ONLY. THE
CONTRACTOR IS RESPONSIBLE FOR
THE PROTECTION OF ALL UTILITIES.
THE ENGINEER BEARS NO RESPON-
SIBILITY FOR THE UTILITIES NOT
SHOWN OR SHOWN INCORRECTLY.

Call
BLUE STAKES
BEFORE YOU
Dig

1-800-662-4111
UNDERGROUND SERVICE (USA)

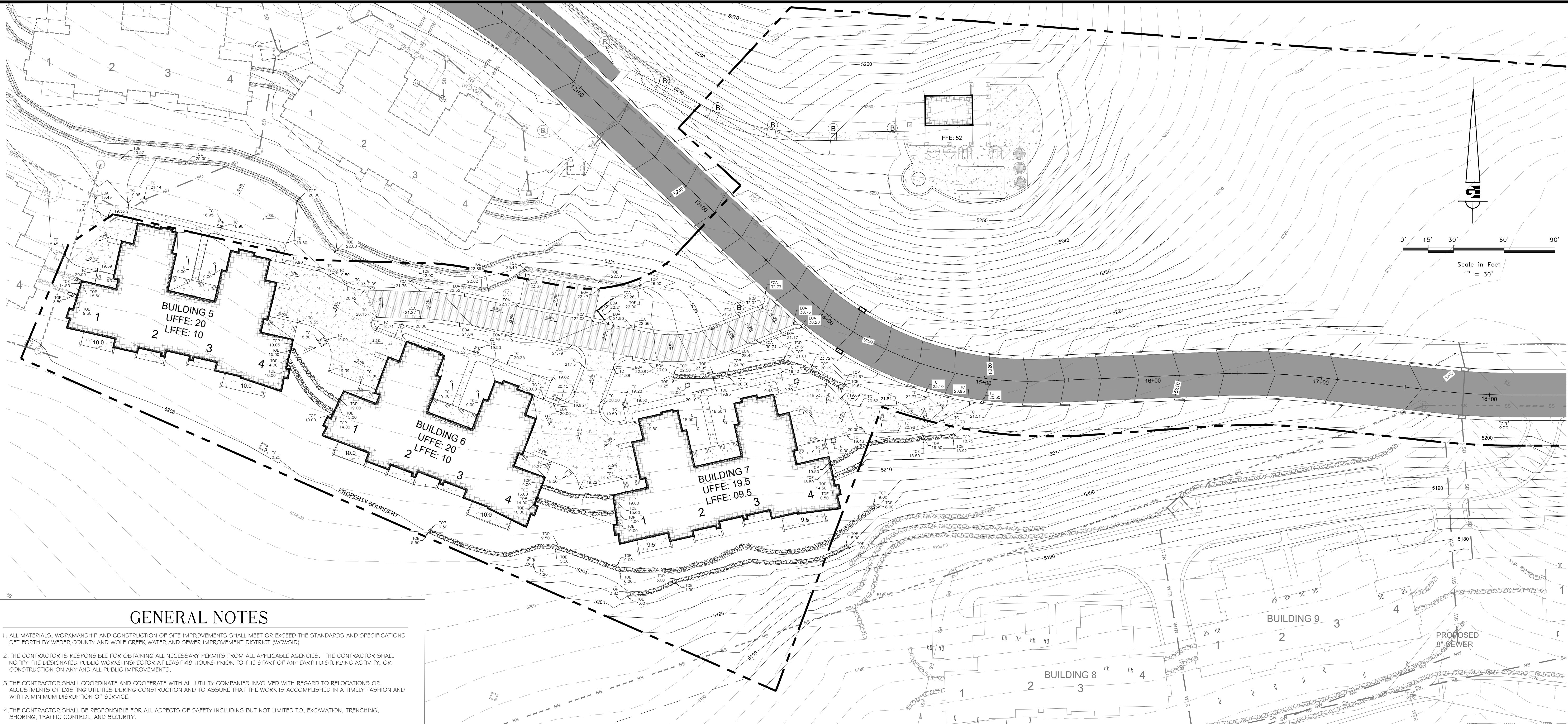
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SEE NOTES ON SHEET C3

DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040

SCALE: 1" = 30'		DATE: AUGUST 2016		DESIGN: RC		DRAWN: C.P.		CHECKED: RC	
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<div>REGISTERED PROFESSIONAL ENGINEER No. 8010280 RYAN A. CHRISTENSEN STATE OF UTAH</div>									
PLAN AND PROFILE									
THE RIDGE - PHASE 3									
LEWIS HOMES									
EDEN, WEBER COUNTY, UTAH									
<div>GARDNER ENGINEERING CIVIL - LAND PLANNING MUNICIPAL - LAND SURVEYING 5150 SOUTH 375 EAST OGDEN, UT OFFICE: 801.476-0202 FAX: 801.476-0066</div>									
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GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY WEBER COUNTY AND WOLF CREEK WATER AND SEWER IMPROVEMENT DISTRICT (WCWSID).
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
3. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
5. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE OWNER.
9. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
11. THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT SHALL BE FOLLOWED.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS; OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

STORM SEWER GENERAL NOTES

1. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH THE WEBER COUNTY STANDARDS AND SPECIFICATIONS. STORM DRAIN PIPE WITHIN THE ROADWAY SHALL BE 15" DIAM. MIN. RCP CLASS III. LINES OUTSIDE OF ROADWAY SHALL BE PVC SDR 35.
2. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE OGDEN CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
3. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
4. ALL STORM DRAIN PIPES IN THE PUBLIC RIGHT-OF-WAY SHALL BE RCP CL III.
5. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
6. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH WCWSID STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE WCWSID STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED PRIOR TO FINAL ACCEPTANCE.
6. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE WEBER COUNTY STANDARDS AND DIRECTION FROM SOILS REPORT (GEOSTRATA 12/3/13).
2. MAXIMUM SLOPES SHALL BE 2.5:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED (SEE NOTE 12).
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE SOILS REPORT. MINIMUM COMPACTION TESTS AT 1 FT LIFTS.
4. IN AREAS WHERE BASEMENT ELEVATIONS ARE GREATER THAN 4 FT BELOW EXISTING GROUND - FOUNDATION DRAINAGE SHALL BE INSTALLED PER THE SOILS REPORT. IT IS ASSUMED THAT FOUNDATION DRAINAGE WILL BE REQUIRED ON THE NORTH SIDE OF BUILDING 2.
5. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
6. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
7. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE CITY INSPECTOR FOR INSPECTION.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
10. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
11. PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH WATER UTILITY TO OBTAIN A WATER METER.
12. IF WATER IS ENCOUNTERED ON CUT SLOPES, PERFORATED LAND DRAIN OR OTHER GROUNDWATER MITIGATION SHALL BE INSTALLED TO DIRECT WATER TO ROADWAY OR STORM DRAIN. WHERE SITE CONDITIONS ALLOW, ROCK WALLS MAYBE USED TO MINIMIZE CUT SLOPE. WALLS WILL BE CONSTRUCTED IN ACCORDANCE WITH RETAINING WALL DETAIL ON THE SITE DETAILS SHEET.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO WCWSID STANDARDS AND SPECIFICATIONS AND PLANS. CULINARY WATERLINES SHALL BE DUCTILE IRON CLASS 52. ALL SECONDARY WATERLINES SHALL BE PVC C900 DR 14.
2. TRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.P. OF CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE CONTRACTOR IN COORDINATION WITH THE DISTRICT.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY HWID AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. CONTRACTOR SHALL COORDINATE CONNECTION TO THE WATER LINE WITH THE DISTRICT.
7. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
8. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE DUCTILE IRON.
9. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE DISTRICT.
10. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
11. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
12. WATER METERS SHALL BE MARKED WITH IDENTIFICATION NUMBER AS SHOWN ON PLANS.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- Regular Asphalt
- Heavy Duty Asphalt
- Concrete Sidewalk or Driveway
- Proposed Building

NOTICE:
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Call BLUE STAKES BEFORE YOU Dig
1-800-662-4111
UNDERGROUND SERVICE (USA)

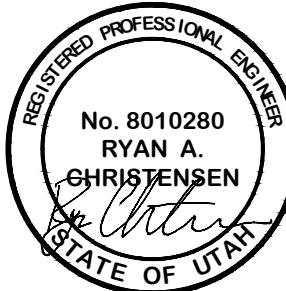
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DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040

REVISIONS		SCALE	1" = 30'
DATE	DESCRIPTION	DATE	AUGUST 2016
		DESIGN	RC
		DRAWN	C.P.
		CHECKED	RC

DWG: R:\1201\1303 DESIGN PROJ DWG SITE - THE RIDGE - TOWNHOMES.DWG



GRADING PLAN

THE RIDGE - PHASE 3

LEWIS HOMES

EDEN, WEBER COUNTY, UTAH

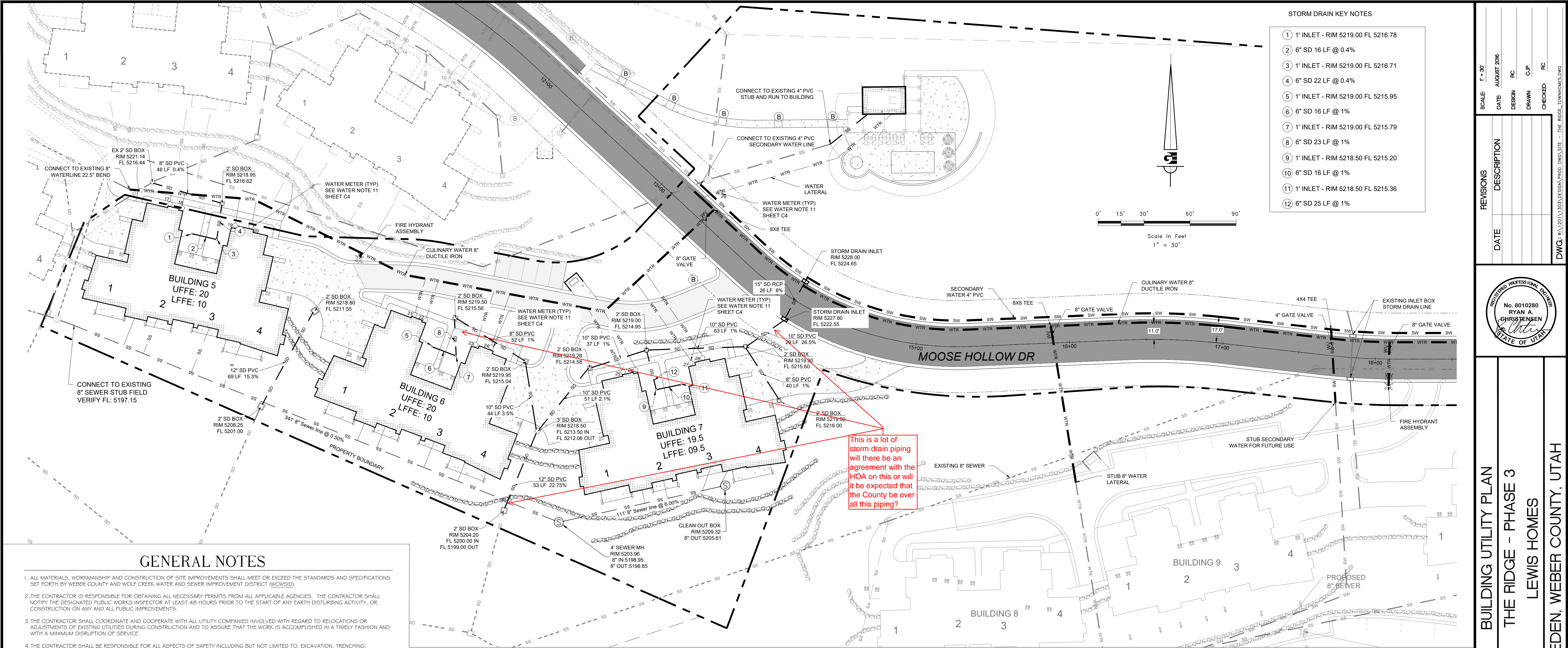
GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING



5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

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REVISIONS		DATE		DESCRIPTION	

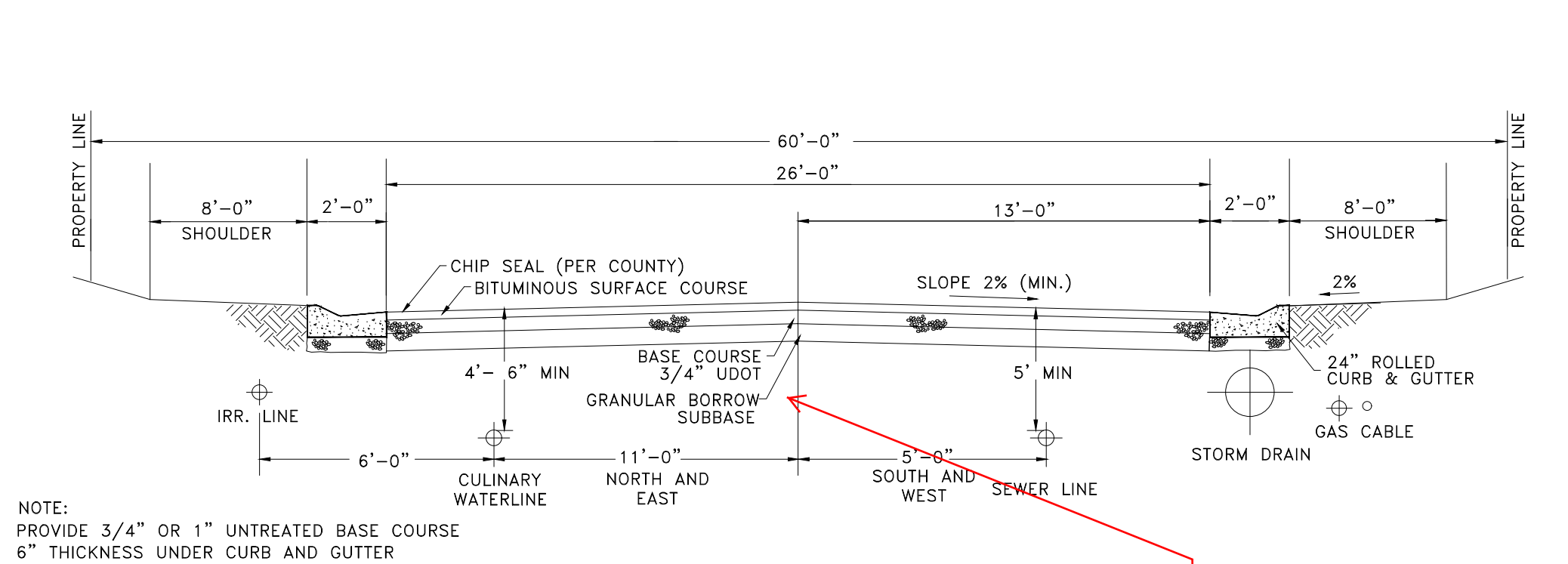
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DRAWN: CJP
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DWG: RVL2011.000 DESIGN PROJ. DWG SITE - THE RIDGE - TOWNHOMES.DWG

REGISTERED PROFESSIONAL ENGINEER
No. 8010280
RYAN A. CHRISTENSEN
STATE OF UTAH

BUILDING UTILITY PLAN
THE RIDGE - PHASE 3
LEWIS HOMES
EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

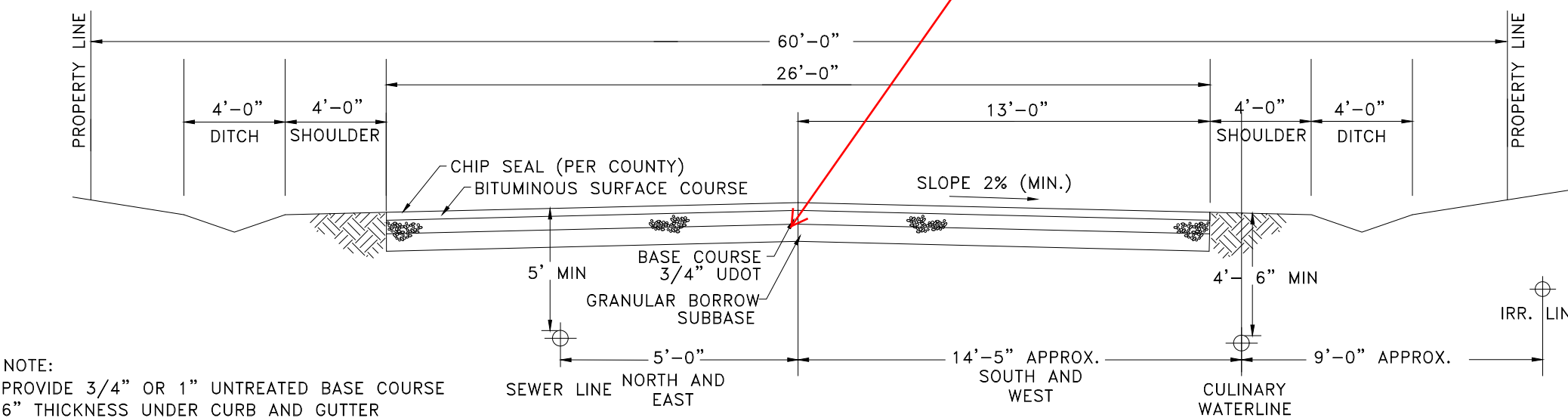
C
4



ROAD CROSS SECTION (TYP)

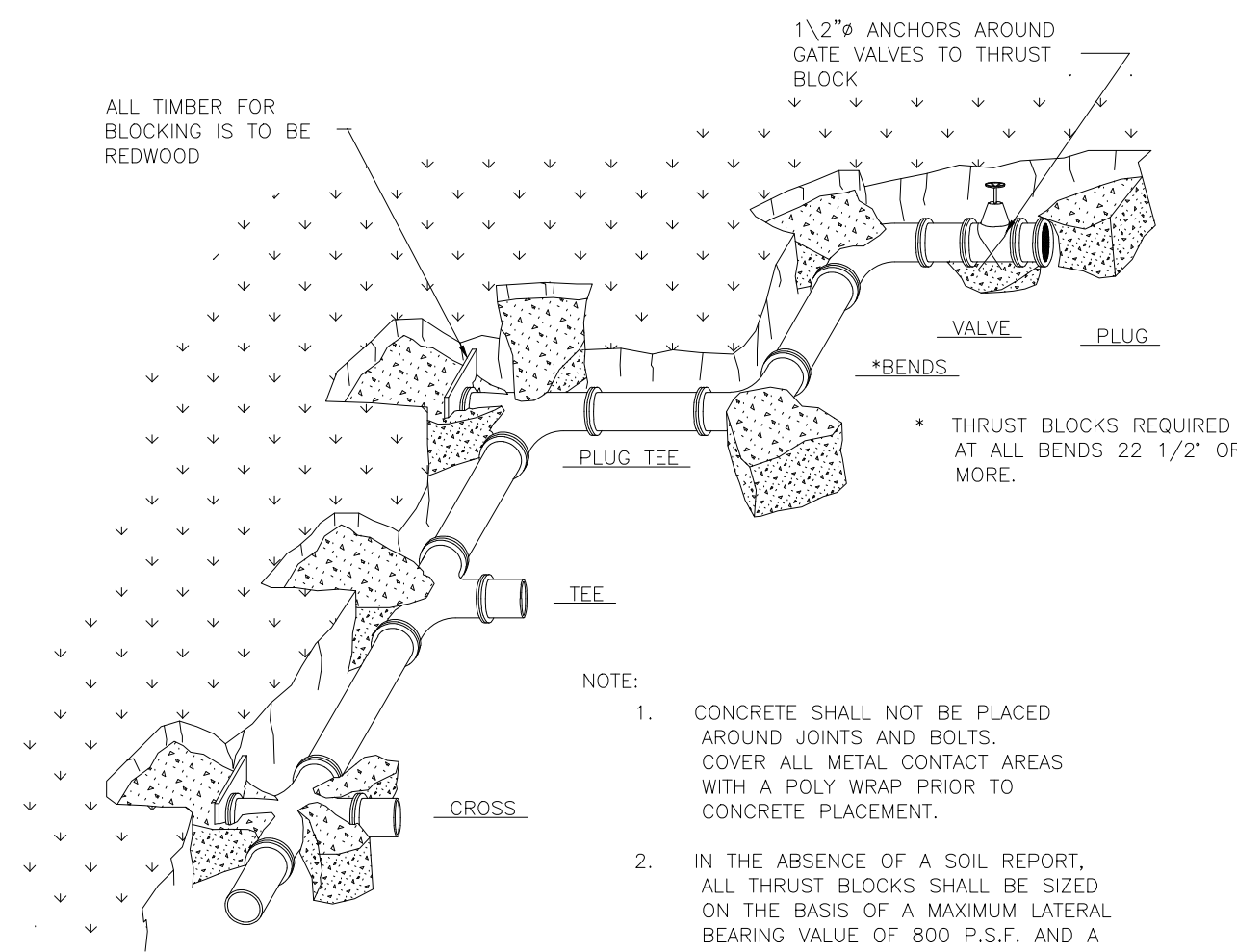
N.T.S.

What are the thicknesses of each of these?



ROAD CROSS WITH DITCH SECTION

N.T.S.



NOTE:

1. CONCRETE SHALL NOT BE PLACED AROUND JOINTS AND BOLTS. COVER ALL METAL CONTACT AREAS WITH A POLY WRAP PRIOR TO CONCRETE PLACEMENT.
2. IN THE ABSENCE OF A SOIL REPORT, ALL THRUST BLOCKS SHALL BE SIZED ON THE BASIS OF A MAXIMUM LATERAL BEARING VALUE OF 800 P.S.F. AND A THRUST RESULTING FROM 150% OF THE WATER LINE STATIC PRESSURE.

TABLE OF BEARING AREAS IN SQ. FT FOR CONCRETE THRUST BLOCKING

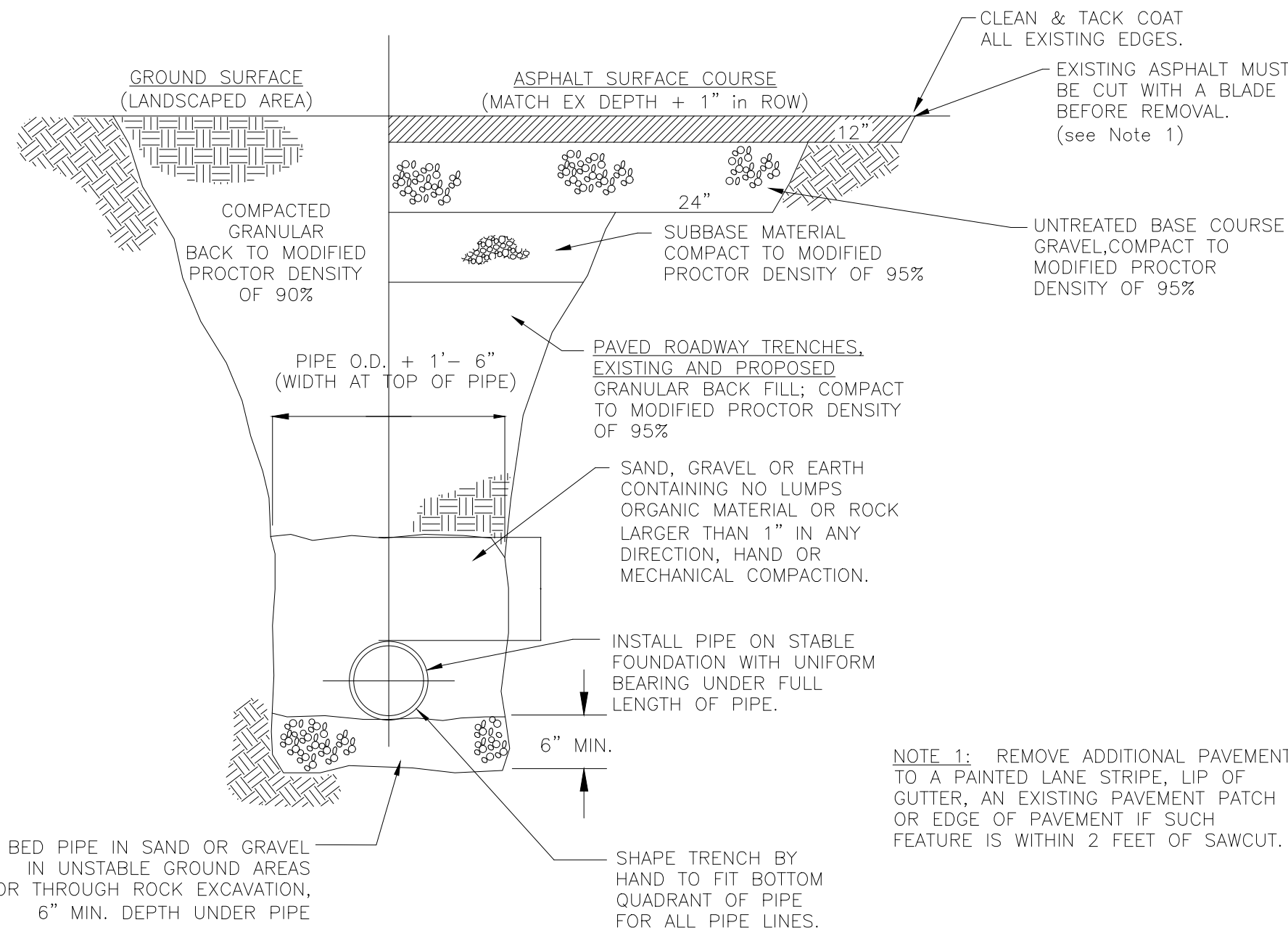
SIZE	BENDS				TEES	GATE VALVES	DEAD ENDS	CROSSW/ BRANCH PLUGGED	CROSSW/ BRANCH PLUGGED
	90°	45°	22 1/2°	11 1/2°					
3	1.0	0.0	0.3	0	0.7	0.5	0.7	0.7	0.7
4	1.8	1.0	0.5	0	1.3	0.5	1.3	1.3	1.3
6	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6	12.6	17.6	17.6	17.6
16	28.4	15.3	8.0	4.0	20.0	14.3	20.0	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4	18.0	25.4	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4	22.2	31.4	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6	24.6	34.6	34.6	34.6
22	54.0	29.0	14.8	7.4	38.0	27.0	38.0	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0	32.0	45.0	45.0	45.0
30	100.0	54.0	27.6	13.8	71.0	52.0	71.0	71.0	71.0
36	144.0	78.0	40.0	20.0	102.0	72.0	102.0	102.0	102.0

*SIZE IS BRANCH SIZE.

FOR 100 P.S.I. INTERNAL STATIC PRESSURE AND 1000 LBS.PER SQ. FT. SOIL BEARING CAPACITY.

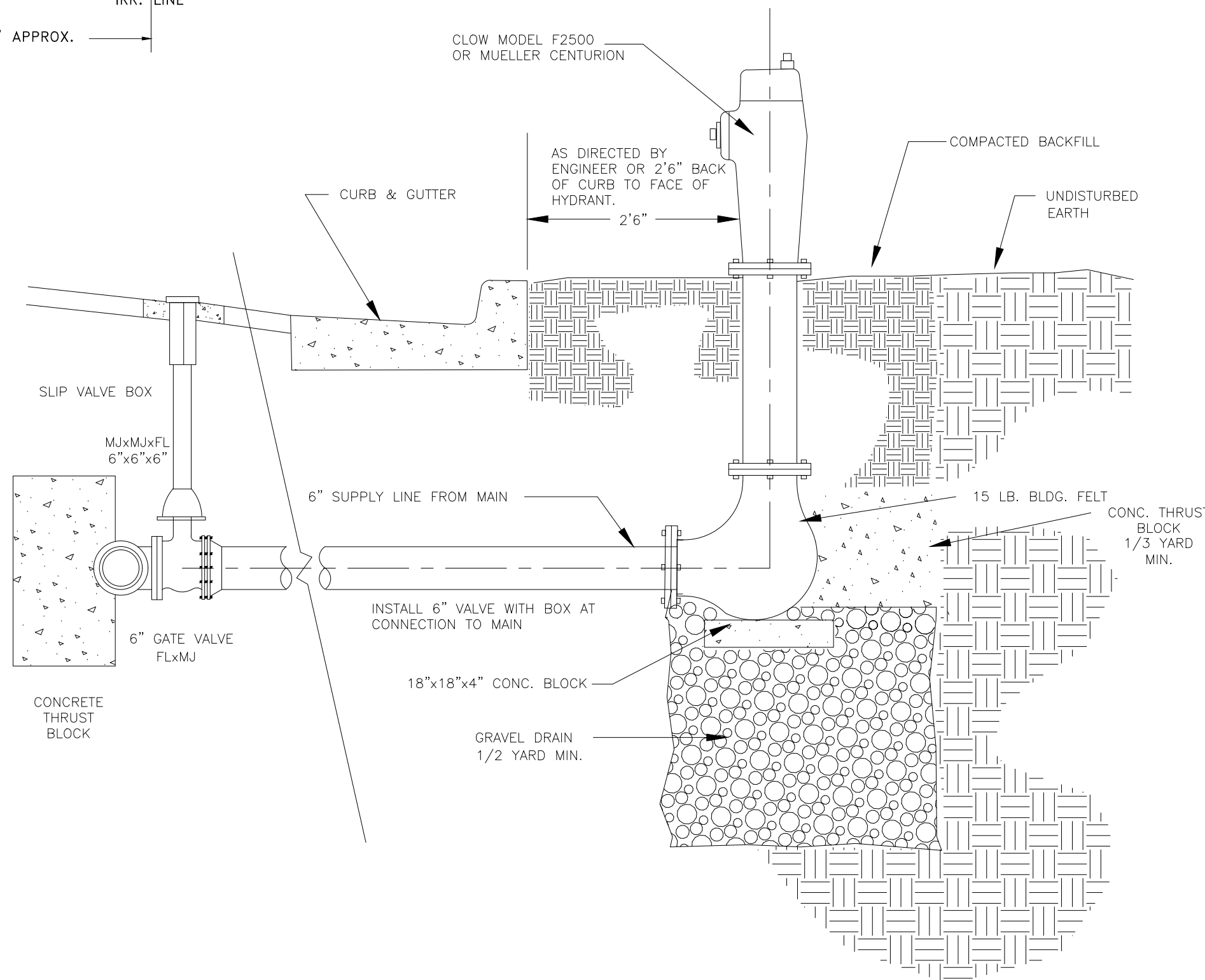
THRUST BLOCKING DETAIL

APPLIES TO ALL PRESSURE PIPE



TYPICAL TRENCH SECTION

N.T.S.



TYPICAL WATER HYDRANT INSTALLATION DETAIL

N.T.S.

ALL VALVES, TEES, CROSSES AND BENDS GREATER THAN 22.5" SHALL ALSO BE FITTED WITH MECHANICAL RESTRAINTS, SUCH AS MEGA LUGS OR APPROVED EQUAL.

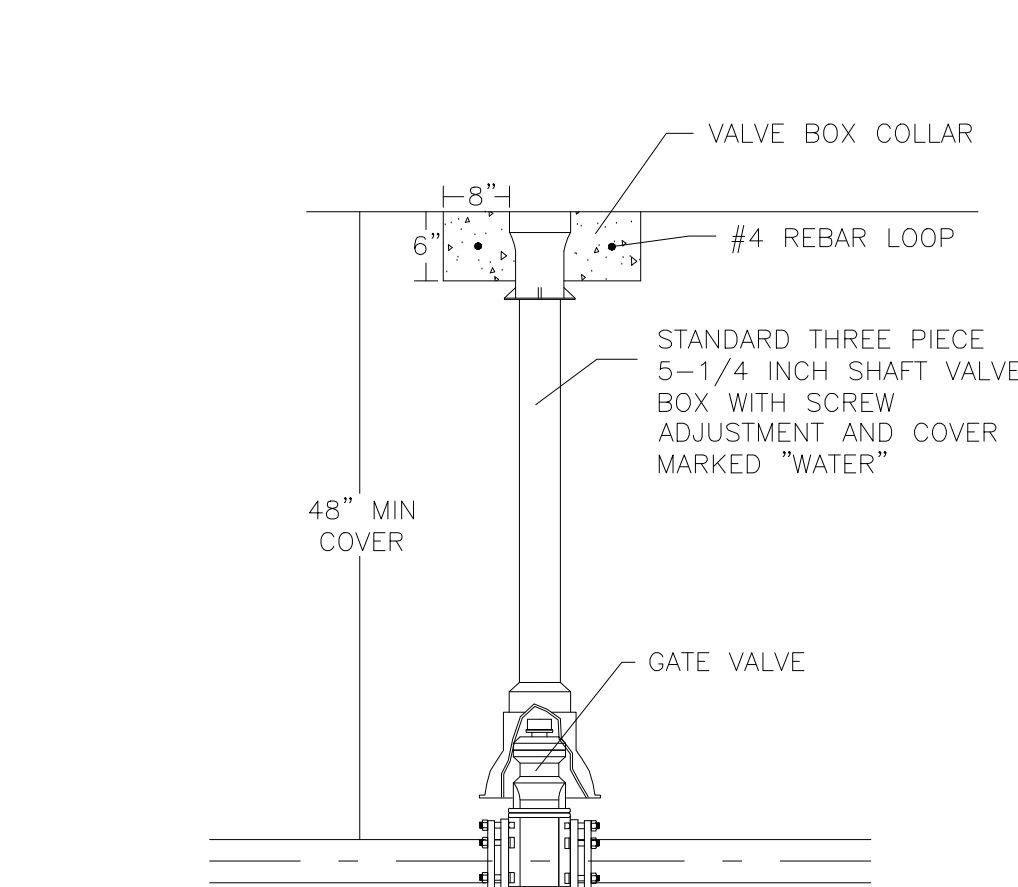
AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I AND A SOIL BEARING CAPACITY OF 1000 LBS PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

F = ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS/SQ. IN. / ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.

EXAMPLE: TO FIND BEARING AREA FOR 8"-90° BEND WITH A STATIC INTERNAL PRESSURE OF 1500 P.S.I AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT. F=1.5 / 3=0.5 TABULATED VALUE = 7.1 SQ. FT. 0.5 X 7.1=3.56 ~ 4 SQ. FT. (~OR 2FT. LONG BY 2FT. HIGH.)

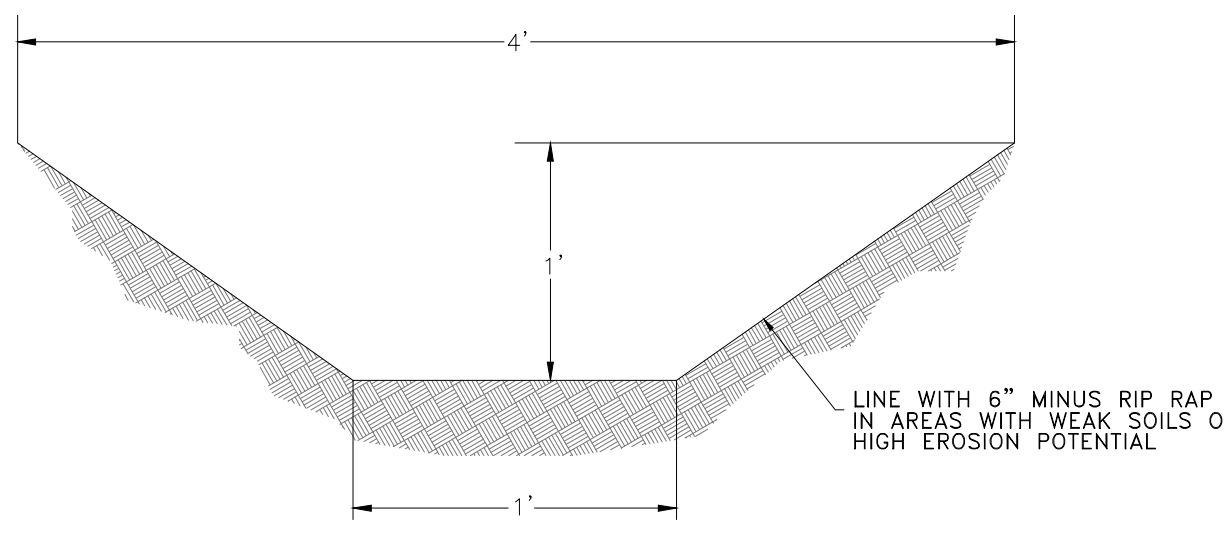
TYPICAL HEAVY DUTY ASPHALT PAVING

N.T.S.



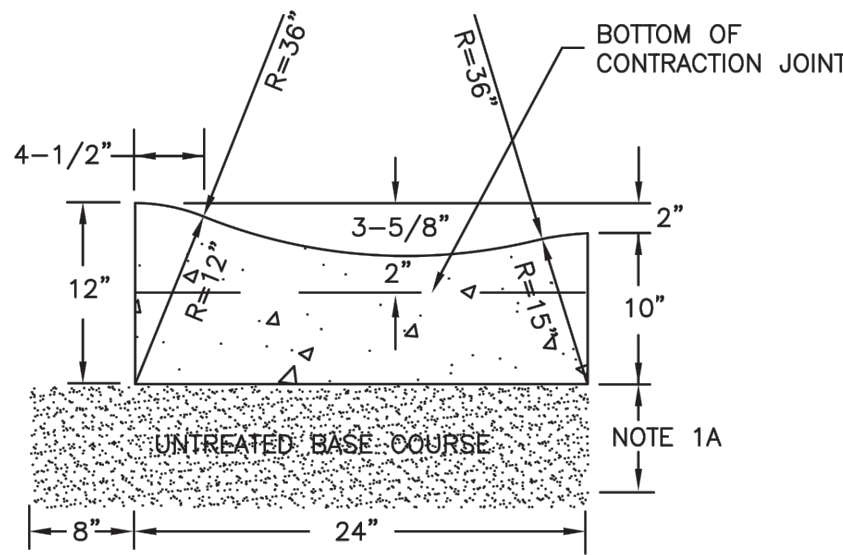
GATE VALVE DETAIL

N.T.S.



DRAINAGE DITCH

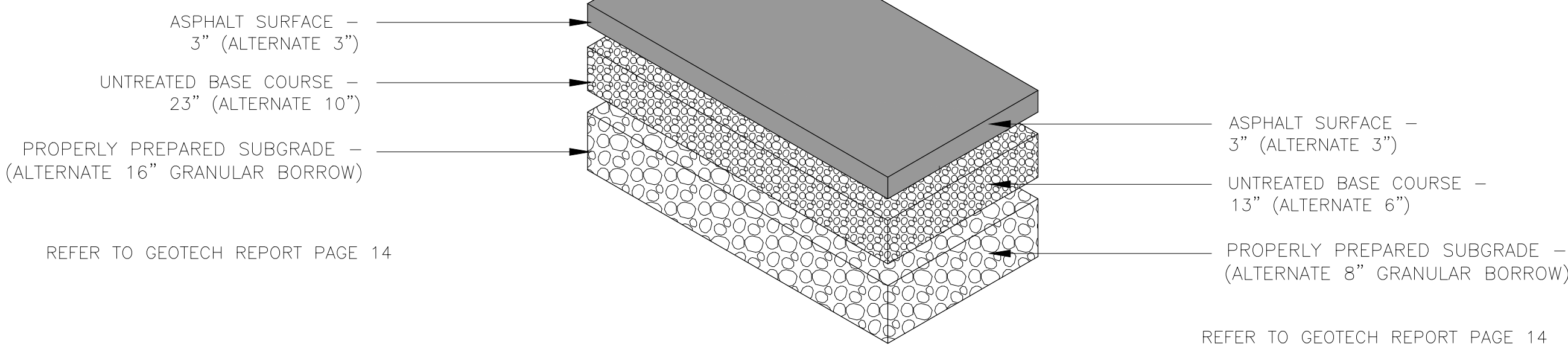
N.T.S.



24' ROLLED CURB AND GUTTER

N.T.S.

CONCRETE AREA = 1.989 SQ. FT.

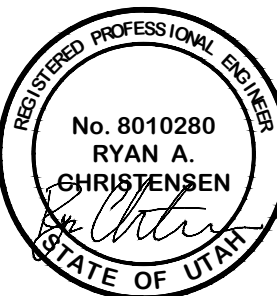


REFER TO GEOTECH REPORT PAGE 14

TYPICAL REGULAR ASPHALT PAVING

N.T.S.

SCALE	NTS
DATE	AUGUST 2016
DESIGN	RC
DRAWN	C.P.
CHECKED	RC
DATE	
DESCRIPTION	
REVISIONS	



DETAILS - 1

THE RIDGE - PHASE 3

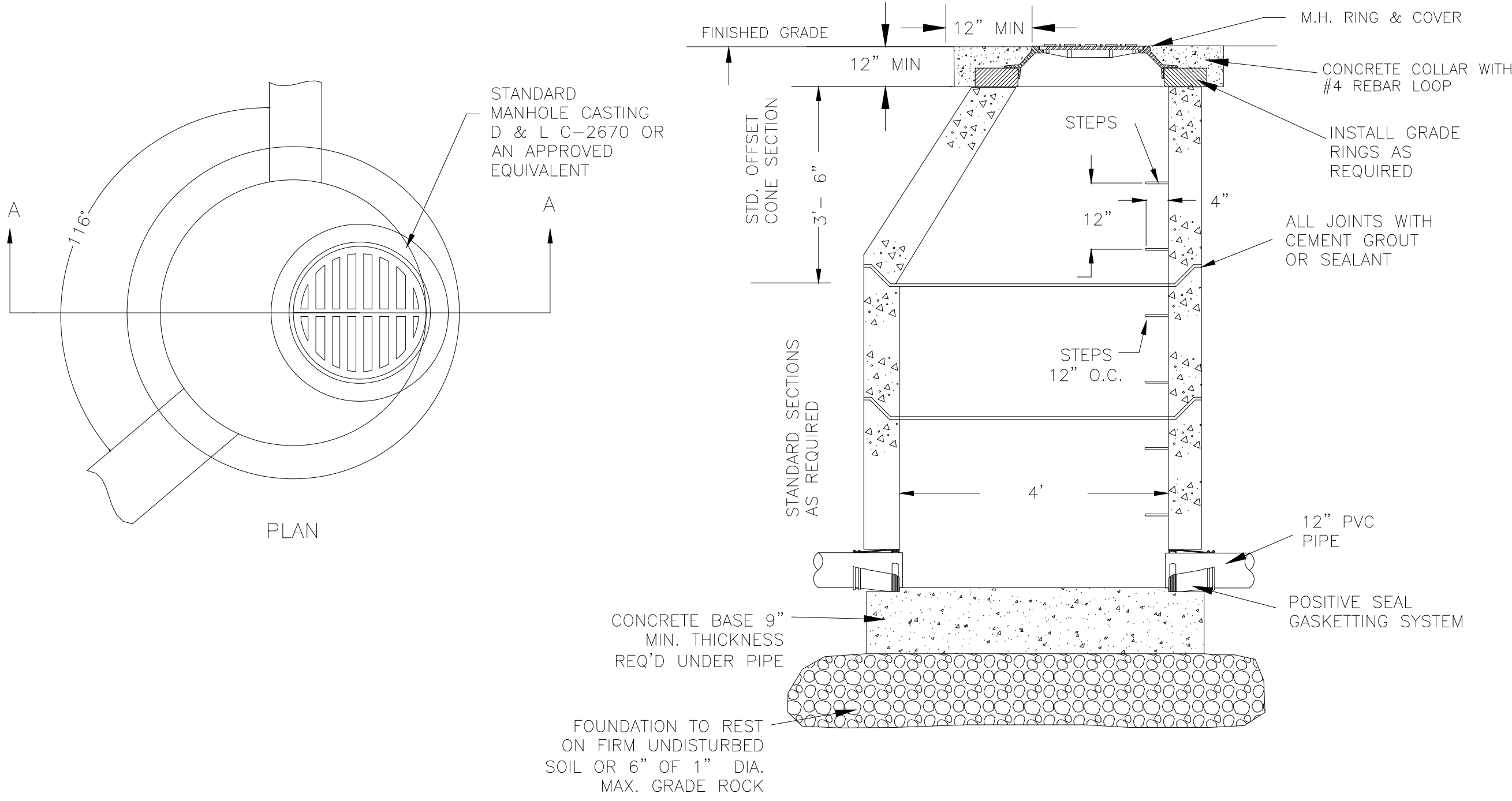
LEWIS HOMES

EDEN, WEBER COUNTY, UTAH

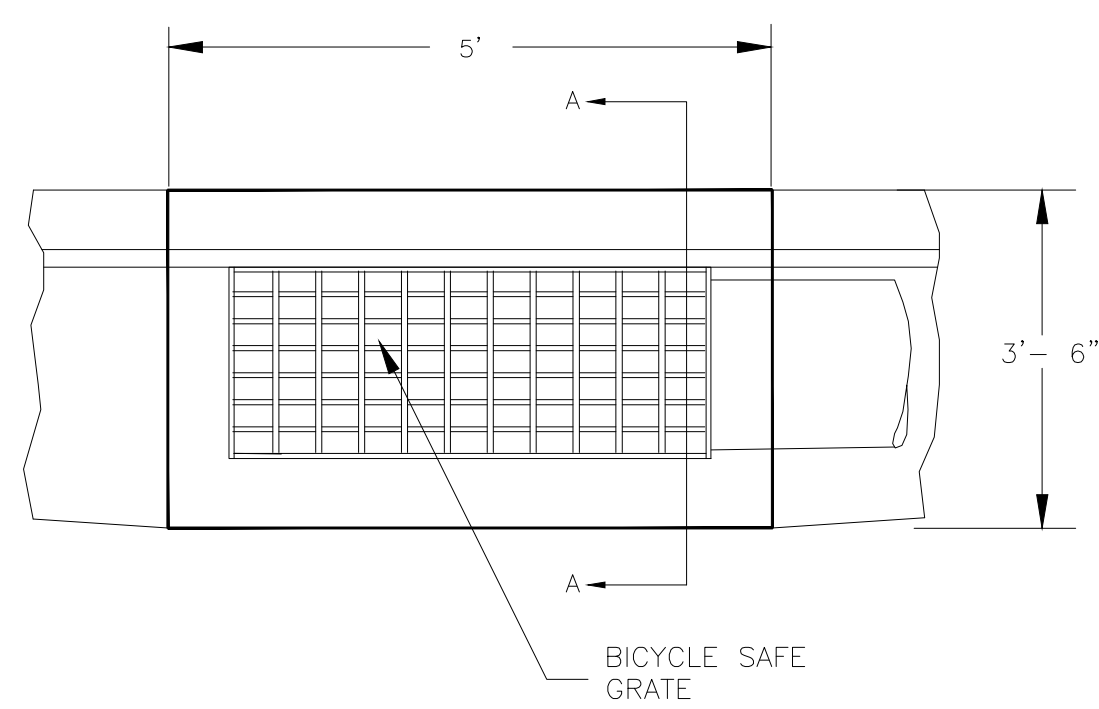


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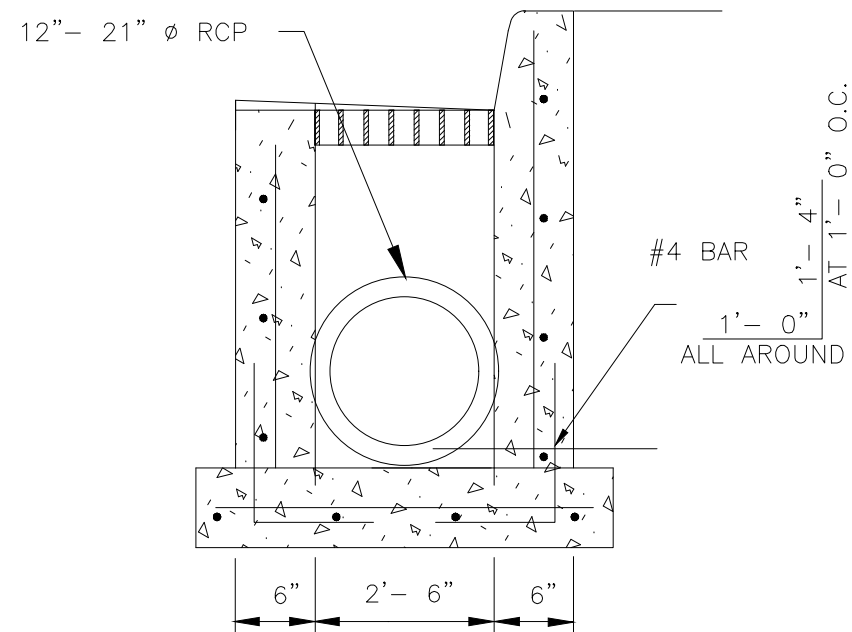
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MANHOLE
N.T.S.

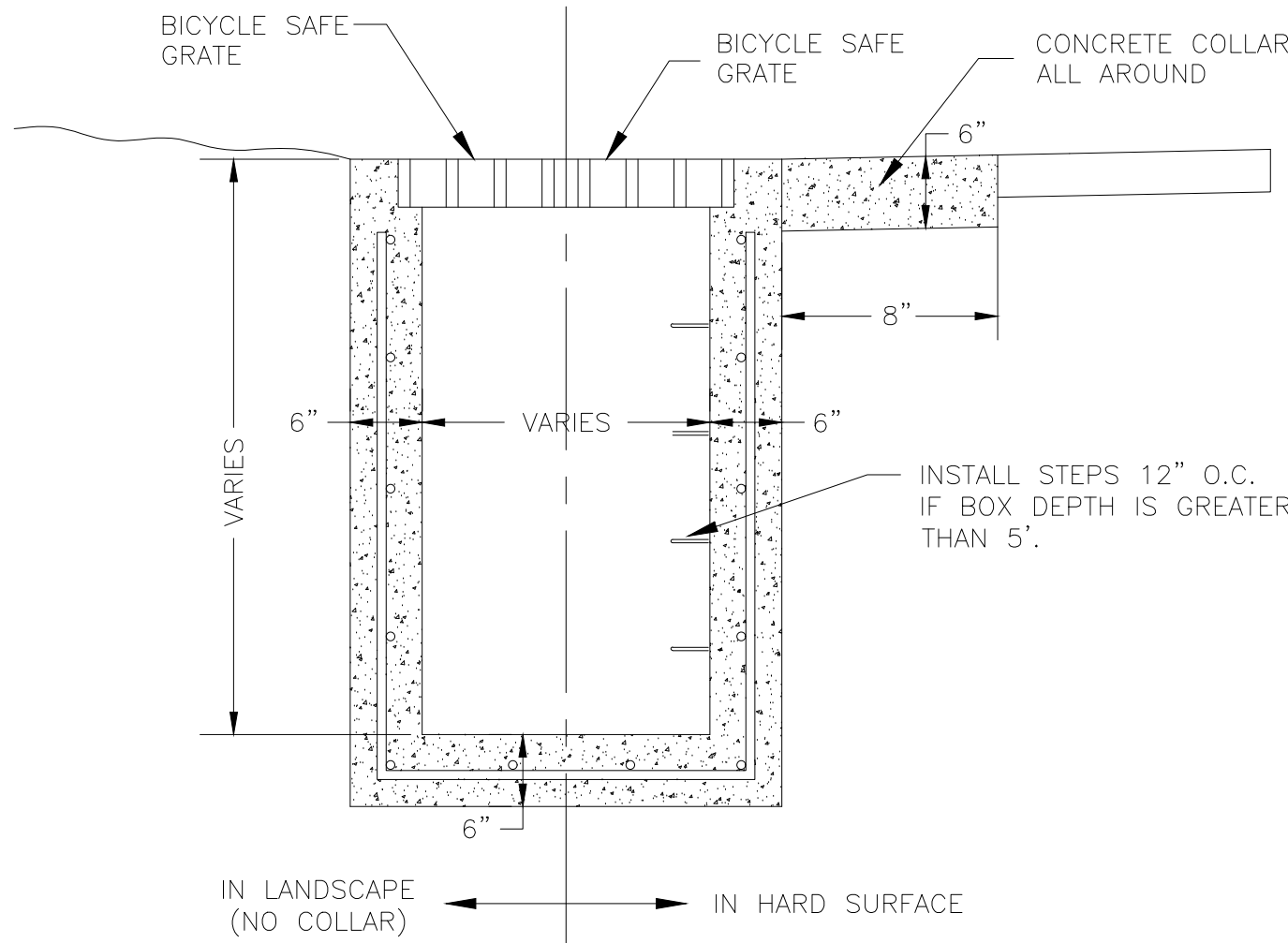


PLAN

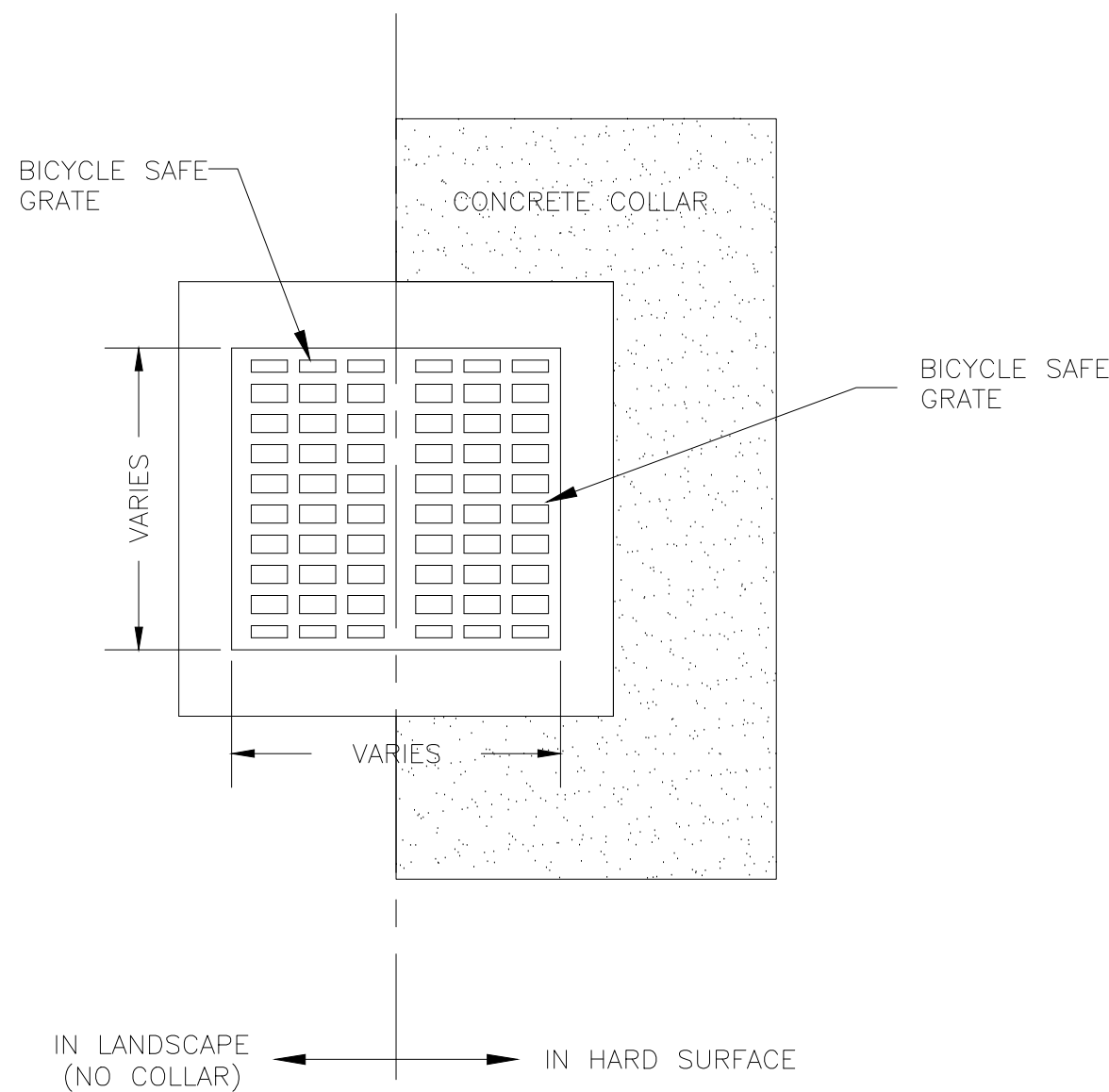


SECTION A-A

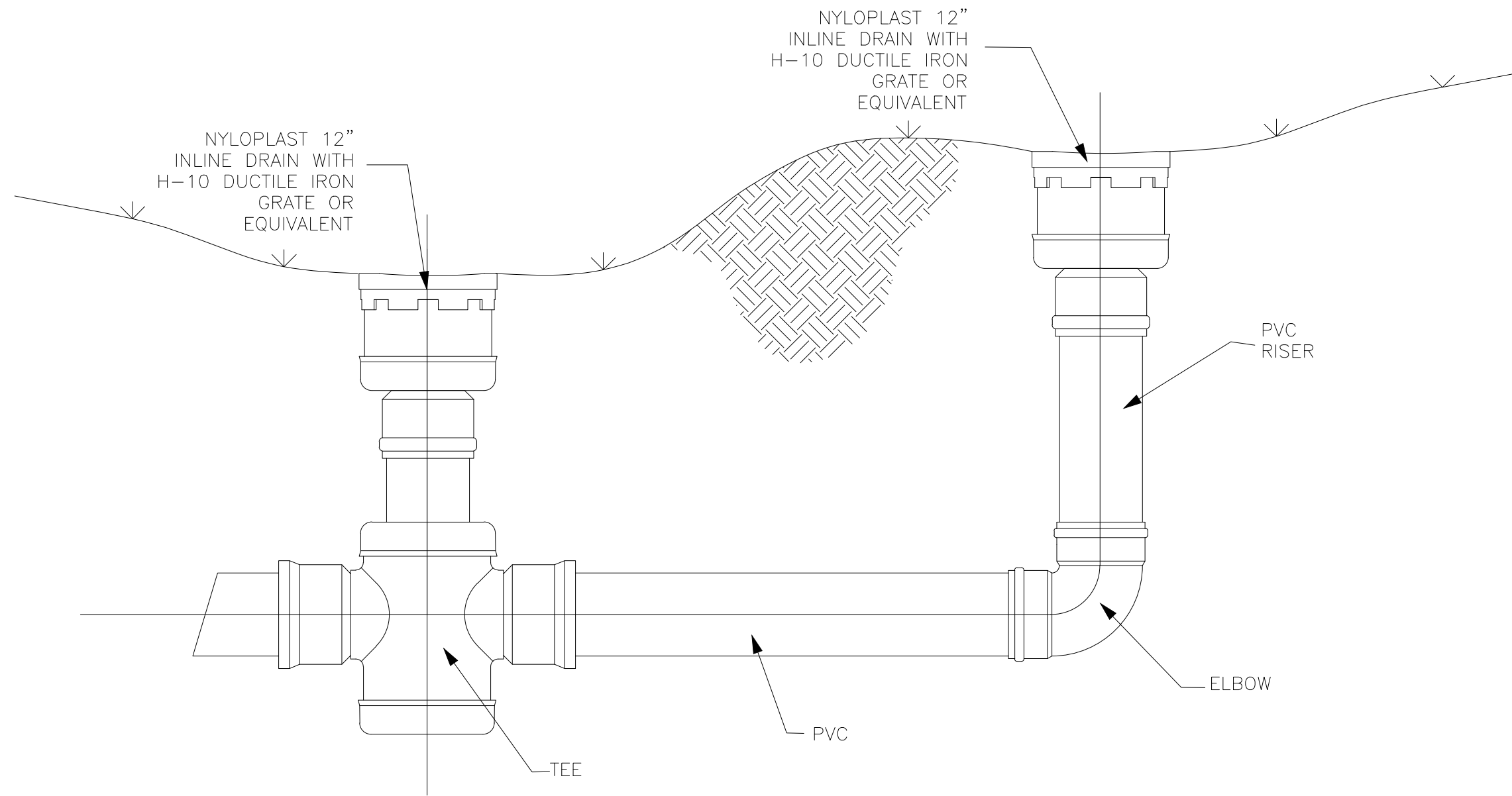
TYPICAL 2'-6" X 4' CATCH BASIN
N.T.S.



TYPICAL STORM DRAIN BOX
N.T.S.



TYPICAL STORM DRAIN BOX
N.T.S.



1' INLET - INLINE DRAIN BOX
N.T.S.

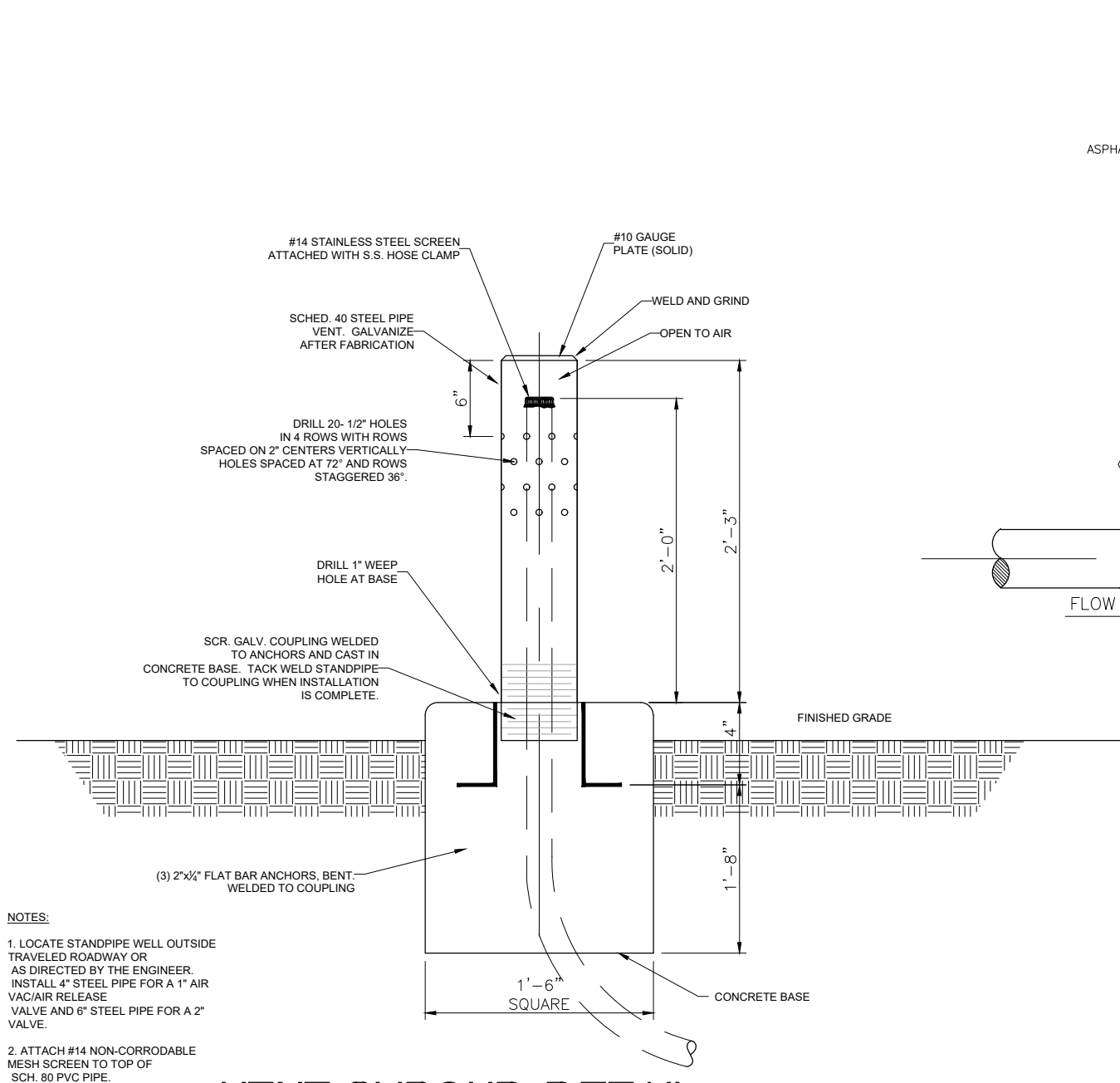
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DATE	AUGUST 2016
DESIGN	RC
DRAWN	C.P.
CHECKED	RC
DATE	
DESCRIPTION	
DATE	

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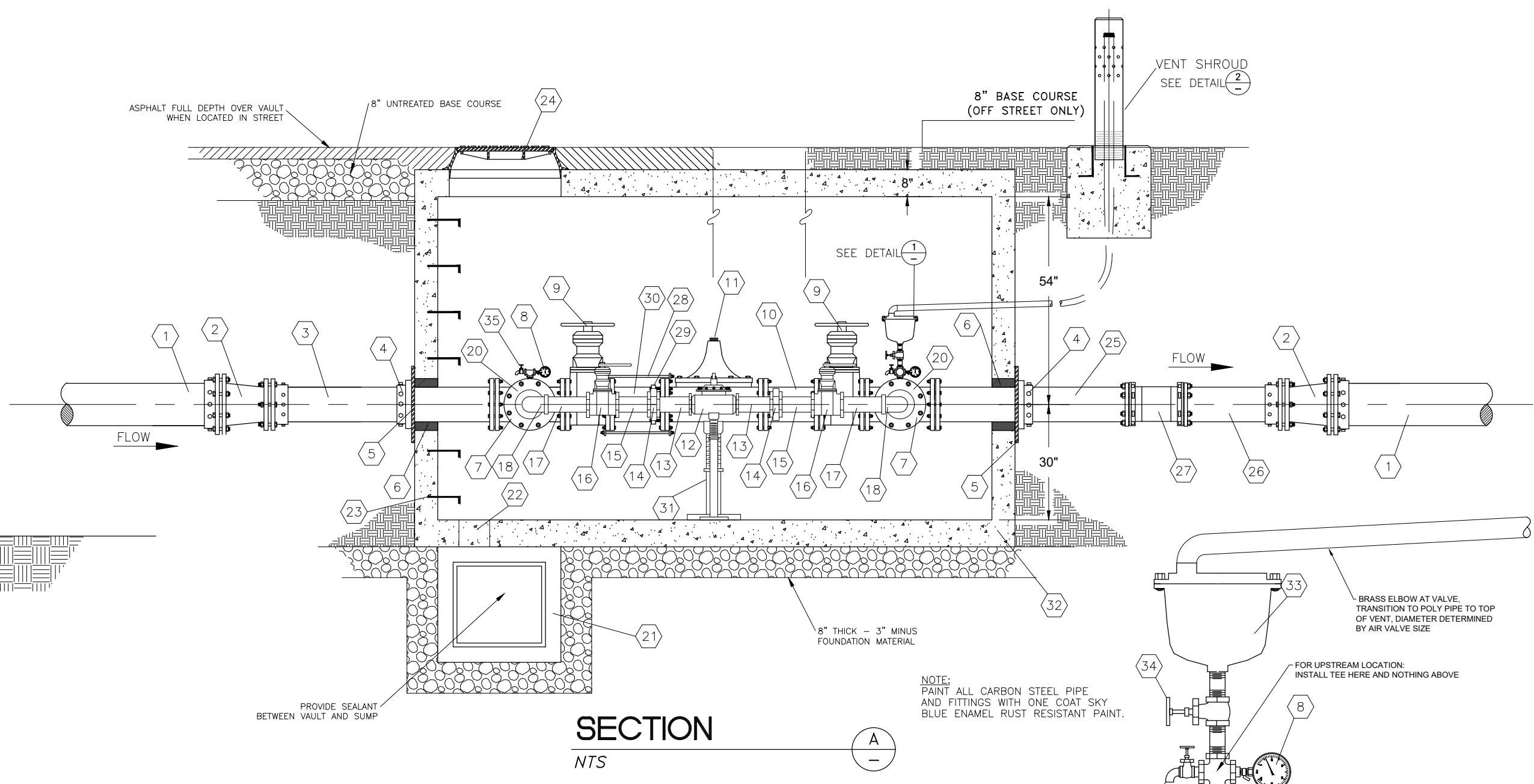


DETAILS - 2
THE RIDGE - PHASE 3
LEWIS HOMES
EDEN, WEBER COUNTY, UTAH



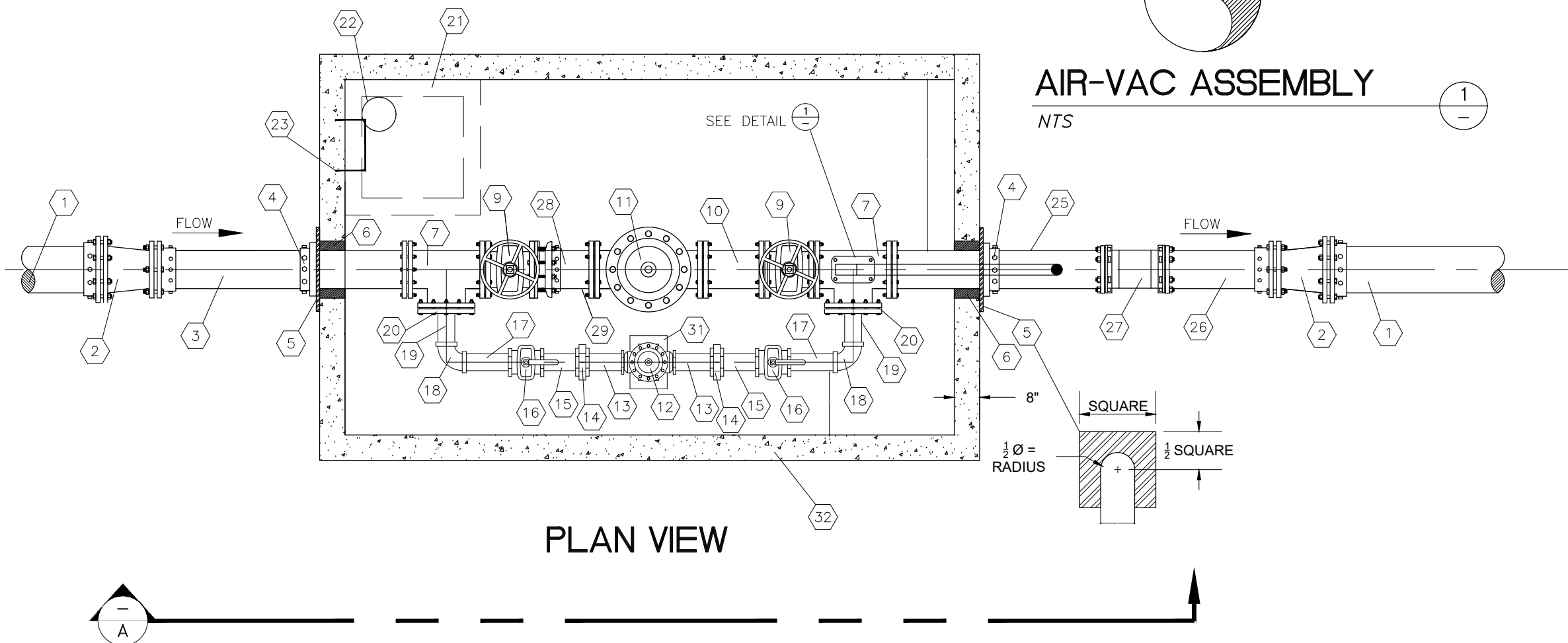


VENT SHROUD DETAIL
NTS



SECTION
NTS

BILL OF MATERIALS						
NO.	QTY	DESCRIPTION	4" LINE	6" LINE	8" LINE	10" LINE
1	2	DIP OR PVC MANHOLE	4"	6"	8"	10"
2	2	REDUCER MJMJ	N/A	6"x4"	8"x6"	10"x8"
3	1	DIP SPOOL 5'-0" LENGTH FLOFLG	4"	4"	6"	8"
4	2	FIELD FLANGE FOR DIP	4"	4"	6"	8"
5	2	1/4" THICK STEEL THRUST PLATE	10"x10" 5"x	10"x10" 5"x	15"x15" 7.5"x	18"x18" 10"x
6	2	PRE-CORED HOLES	8" 8"	10" 8"	12" 8"	14" 8"
7	2	TEE FLOFLG	4"x4"x4"	4"x4"x4"	6"x6"x6"	8"x8"x8"
8	2	1/4" (1-200) PSI LIQUID FILLED PRESSURE GAUGE	4"	4"	6"	8"
9	2	WESLENT SEAT GATE VALVE FLOFLG	4"	6"	8"	10"
10	1	DIA. X 1'-0" 1/4" DIP FLOFLG	4"	6"	8"	10"
11	1	PRESSURE REDUCING VALVE FLOFLG	4"	4"	6"	8"
12	1	PRESSURE REDUCING VALVE THDTHD	2"	2"	3"	3"
13	2	DIA. X LENGTH GALV. PIPE THDTHD	2"x	2"x	3"x	3"x
14	2	COUPLING	2"	2"	3"	3"
15	2	DIA. X LENGTH GALV. PIPE THDTHD	2"x	2"x	3"x	3"x
16	2	BALL VALVE THDTHD	2"	2"	3"	3"
17	2	DIA. X LENGTH GALV. PIPE THDTHD	2"x	2"x	3"x	3"x
18	2	80' GALV. BEND THDTHD	2"	2"	3"	3"
19	2	DIA. X 8' GALV. PIPE THDTHD	2"x	2"x	3"x	3"x
20	2	BLIND FLANGE W/ THREAD TAP	4"x2"	4"x2"	6"x3"	8"x3"
21	1	2' X 2' CONCRETE CATCH BASIN				
22	1	8" PRE-CORED HOLE				
23	6	STEPS				
24	1	A-1181 D&L MANHOLE RING AND COVER				
25	1	DIA. X LENGTH DIP FLOFLG	4", 6'-0"	4", 6'-0"	6", 5'-0"	8", 4'-2"
26	1	DIA. X 2'-0" SPOOL FLOFLG	4"	4"	6"	8"
27	1	DIP SLEEVE MJMJ	4"	4"	6"	8"
28	1	DIA. X 1'-0" DIP FLOFLG	4"	4"	6"	8"
29	1	RESTRAINED FLANGED COUPLING ADAPTER	4"	4"	6"	8"
31	2	PIPE STAND				
32	1	6' X 12' X 2' HIGH PRECAST CONCRETE VAULT				
33	1	COMBINATION AIR RELEASE VALVE W/ AIR VENT	1", 143C	1", 143C	1", 143C	2", 145C
34	1	1" SCREWED GATE VALVE				
35	1	1/2" SMOOTH NOSE TAP				

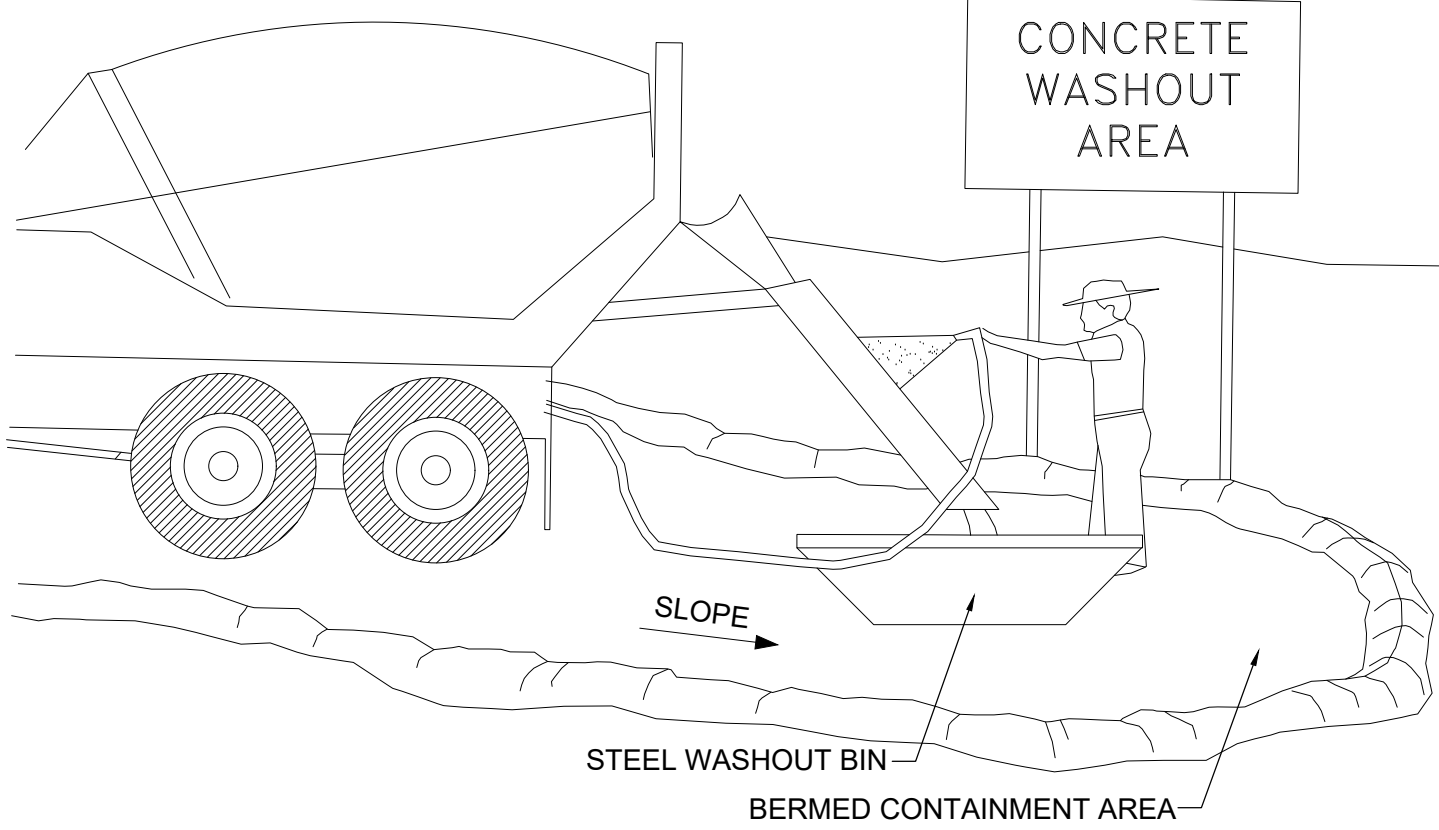
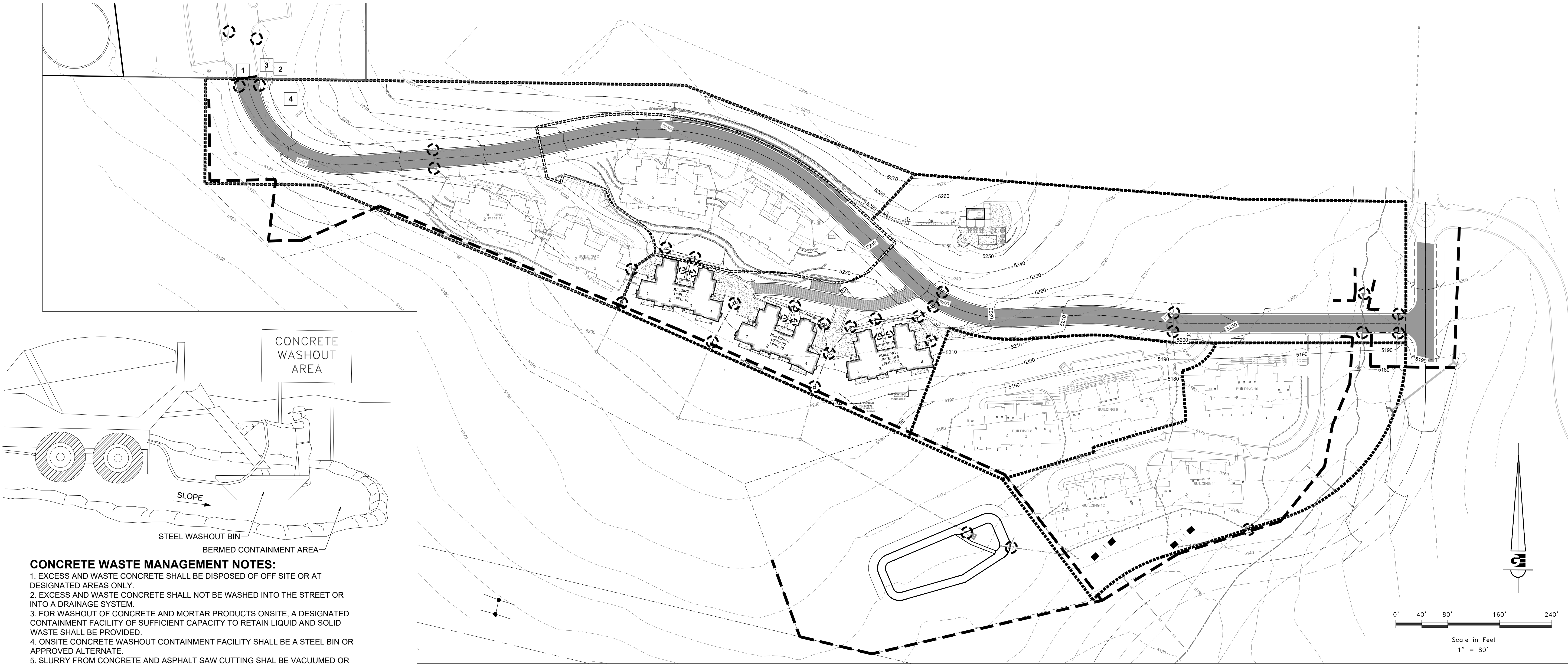


AIR-VAC ASSEMBLY
NTS

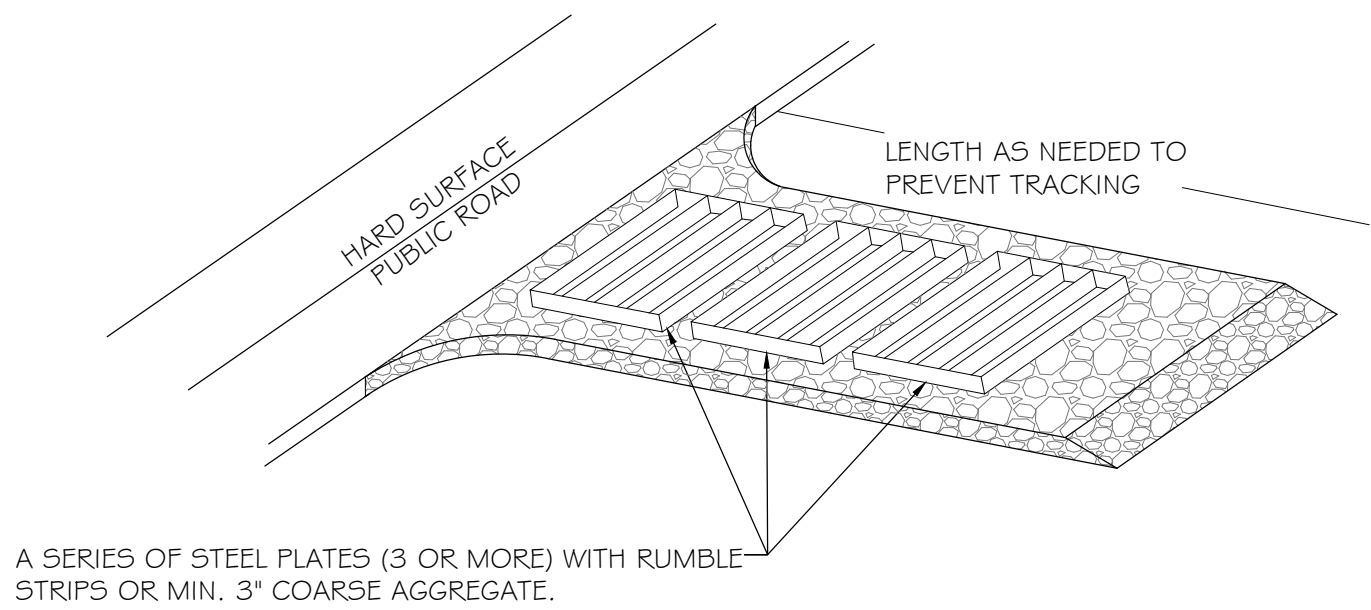
PRV DETAIL
N.T.S.

REVISIONS		SCALE	NTS
DATE	DESCRIPTION	DATE	AUGUST 2016
		DESIGN	RC
		DRAWN	CJP
		CHECKED	RC

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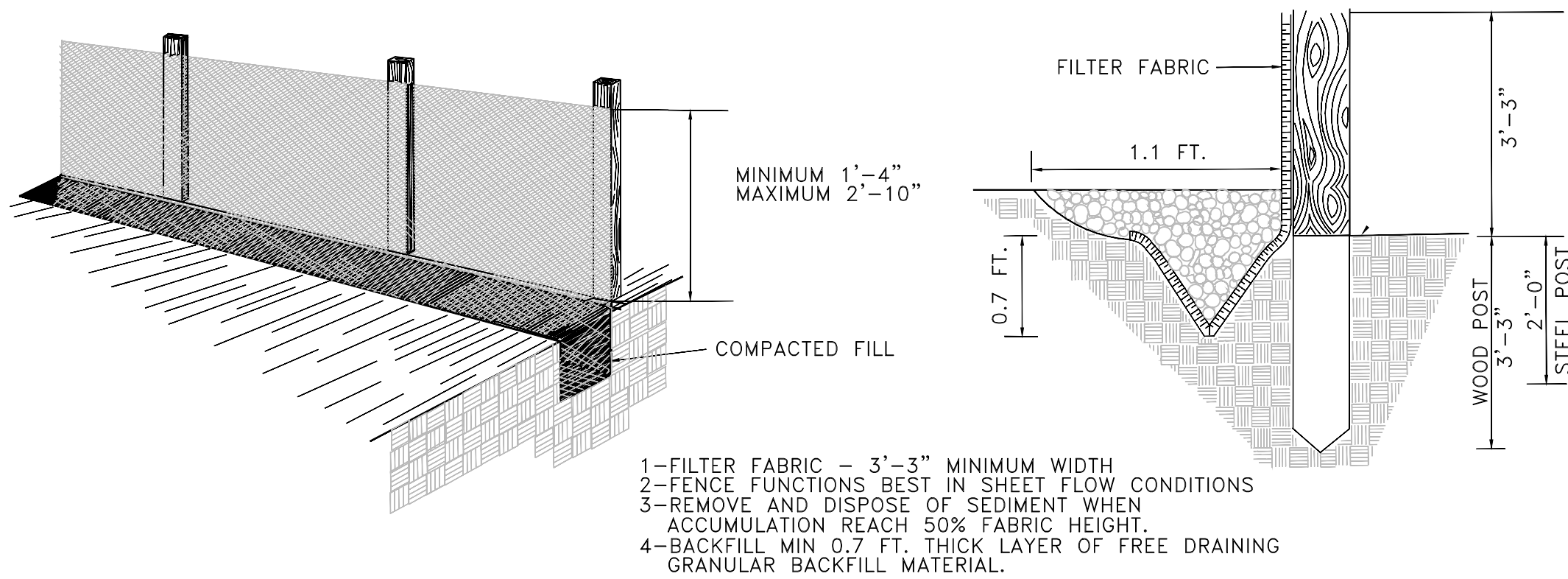


- CONCRETE WASTE MANAGEMENT NOTES:**
1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
 2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
 3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
 4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
 5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHAL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

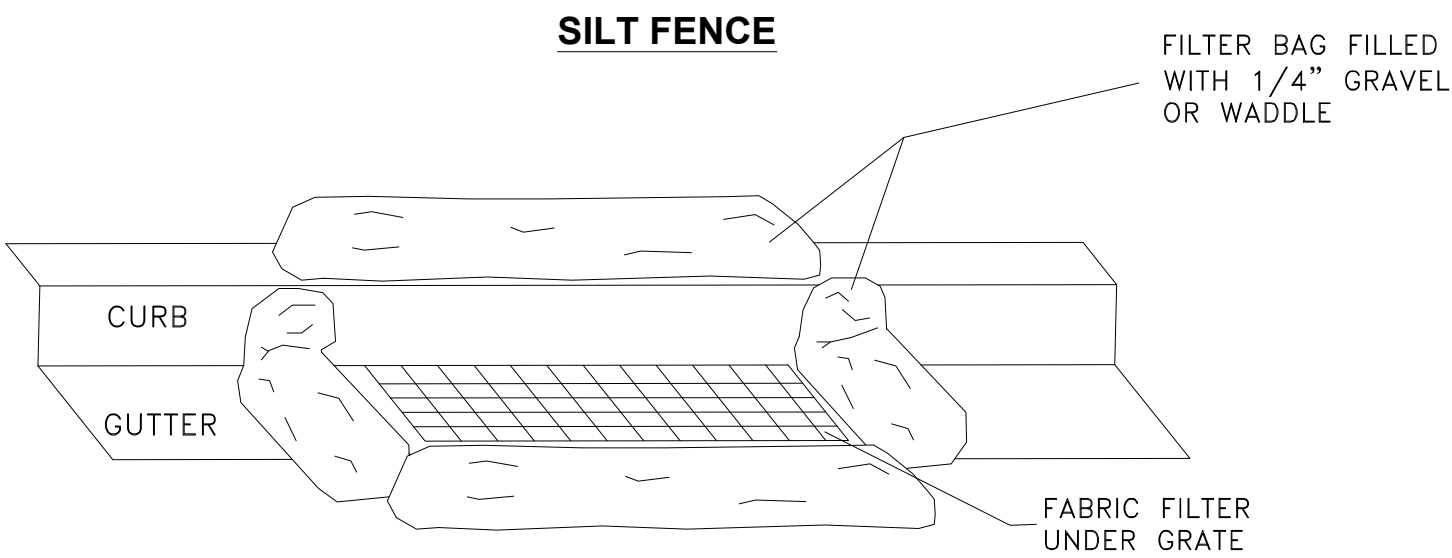


- ENTRANCE STABILIZATION NOTES:**
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
 2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
 3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
 4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

- STREET MAINTENANCE NOTES:**
1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
 2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
 3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.



- 1-FILTER FABRIC - 3'-3" MINIMUM WIDTH
- 2-FENCE FUNCTIONS BEST IN SHEET FLOW CONDITIONS
- 3-REMOVE AND DISPOSE OF SEDIMENT WHEN ACCUMULATION REACH 50% FABRIC HEIGHT.
- 4-BACKFILL MIN 0.7 FT. THICK LAYER OF FREE DRAINING GRANULAR BACKFILL MATERIAL.



SILT FENCE

INLET PROTECTION

- LEGEND**
- INLET PROTECTION (GRAVEL FILLED WATTLES AND FABRIC UNDER GRATE)
 - SILT FENCE - INSTALL SILT FENCE AS NEEDED TO CONTROL SEDIMENT
 - FIBER ROLL / GRAVEL FILLED WATTLES (INSTALLED IN DRAINAGE SWALE)

- SWPPP KEY NOTES**
- 1 STABILIZED CONSTRUCTION ENTRANCE
 - 2 WASH-OUT AREA
 - 3 POSTED SWPPP LOCATION
 - 4 STAGING AREA / CONSTRUCTION SUPPORT

- SWPPP NOTES**
1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE COUNTY AND THE STATE AS REQUIRED.
 2. ALL REQUIREMENTS OF THE GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES SHALL BE MET.
 3. ALL BMP'S SHALL BE IN PLACE PRIOR TO BEGINNING OF CONSTRUCTION OR ACTIVITIES THAT MAY REQUIRE BMP'S
 4. AN UPDATED COPY OF THE SWPPP SHALL BE MAINTAINED AT THE SITE.
 5. SILT FENCE, INLET PROTECTION, AND STREET CLEANING SHALL BE COMPLETED AS NEEDED TO PREVENT EROSION AND SEDIMENT FROM ENTERING DRAINAGES.

DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040

SCALE: 1" = 80'		DATE: AUGUST 2016		DESIGN: RC		DRAWN: DTB		CHECKED: RC	
REVISIONS		DESCRIPTION		DATE		DATE		DATE	
No. 8010280		RYAN A. CHRISTENSEN		STATE OF UTAH		DWG: R/L 1201.1303 DESIGN PROJ. DWG SITE - THE RIDGE - TOWNHOMES.DWG			
STORM WATER POLLUTION PREVENTION PLAN									
THE RIDGE - PHASE 3									
LEWIS HOMES									
EDEN, WEBER COUNTY, UTAH									
GARDNER ENGINEERING									
CIVIL - LAND PLANNING MUNICIPAL - LAND SURVEYING									
5150 SOUTH 375 EAST OGDEN, UT OFFICE: 801.476-0202 FAX: 801.476-0066									
8									