

# DESIGN GUIDELINES



  
**SUMMIT**  
POWDER MOUNTAIN



CONSTRUCTION OF RIDGE NEST 13

**ACKNOWLEDGMENT OF RECEIPT**

(I/We) \_\_\_\_\_ have received a copy of the Summit at Powder Mountain Design Guidelines and understand that by purchasing Lot \_\_\_ in the \_\_\_\_\_ neighborhood. I / we are purchasing a property that will be subject to these guidelines, which include landscape standards, District requirements and building design guidelines, and that any home or structure built on this property will be expected to built within these restrictions and will be subject to review and approval by the Summit at Powder Mountain Architectural Review Committee, as well as all local governing agencies.

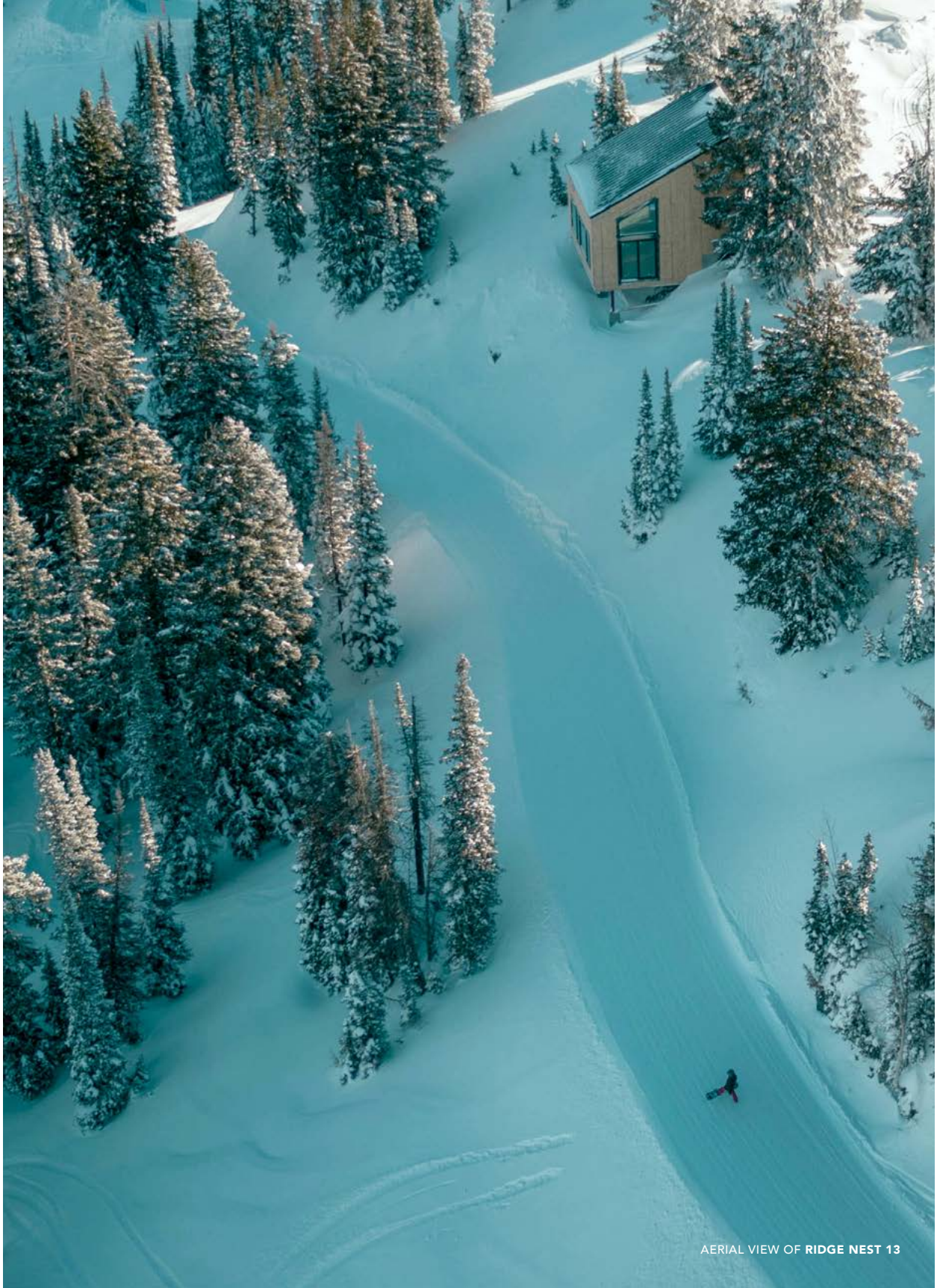
Homeowner: \_\_\_\_\_

Date: \_\_\_\_\_

Real Estate Advisor: \_\_\_\_\_

Date: \_\_\_\_\_





AERIAL VIEW OF RIDGE NEST 13

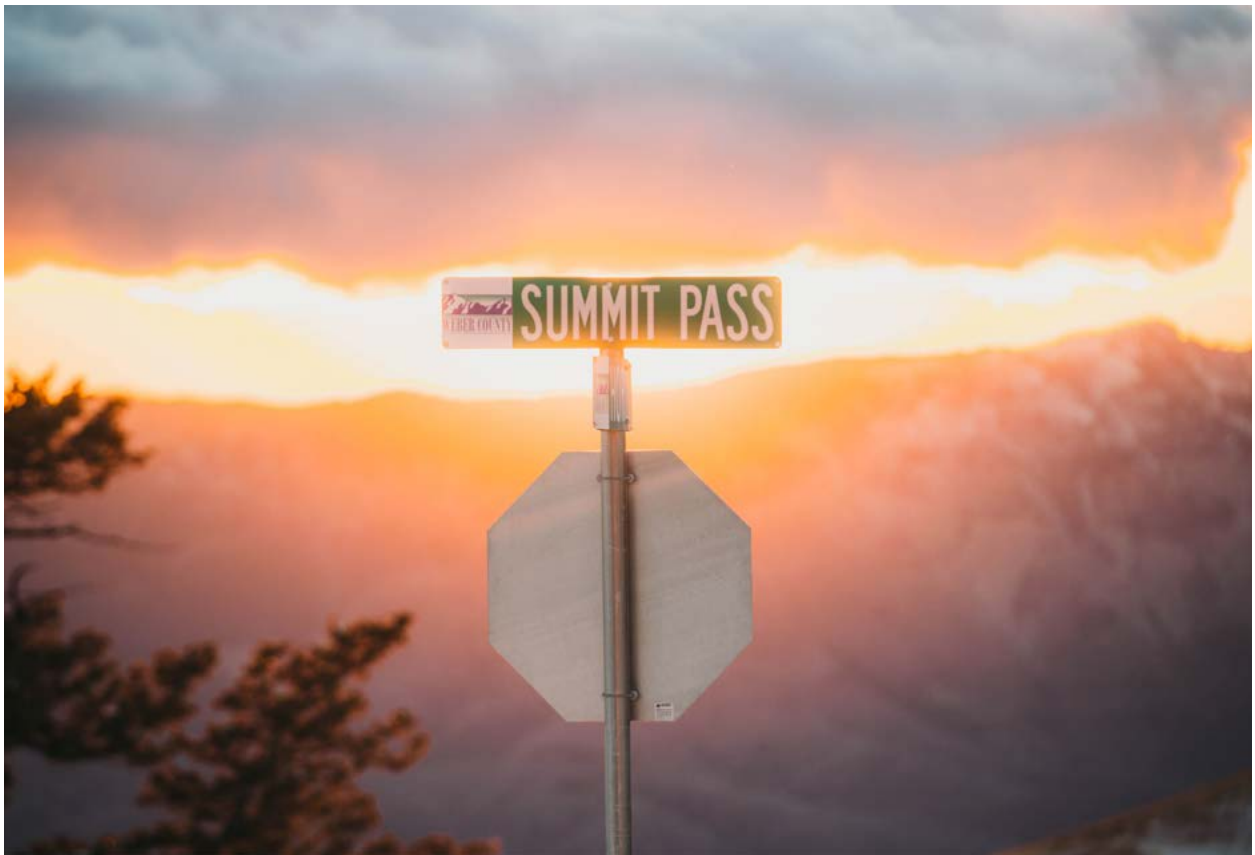
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WESTERN VIEW LOOKING OVER THE VILLAGE





A.

# VISION

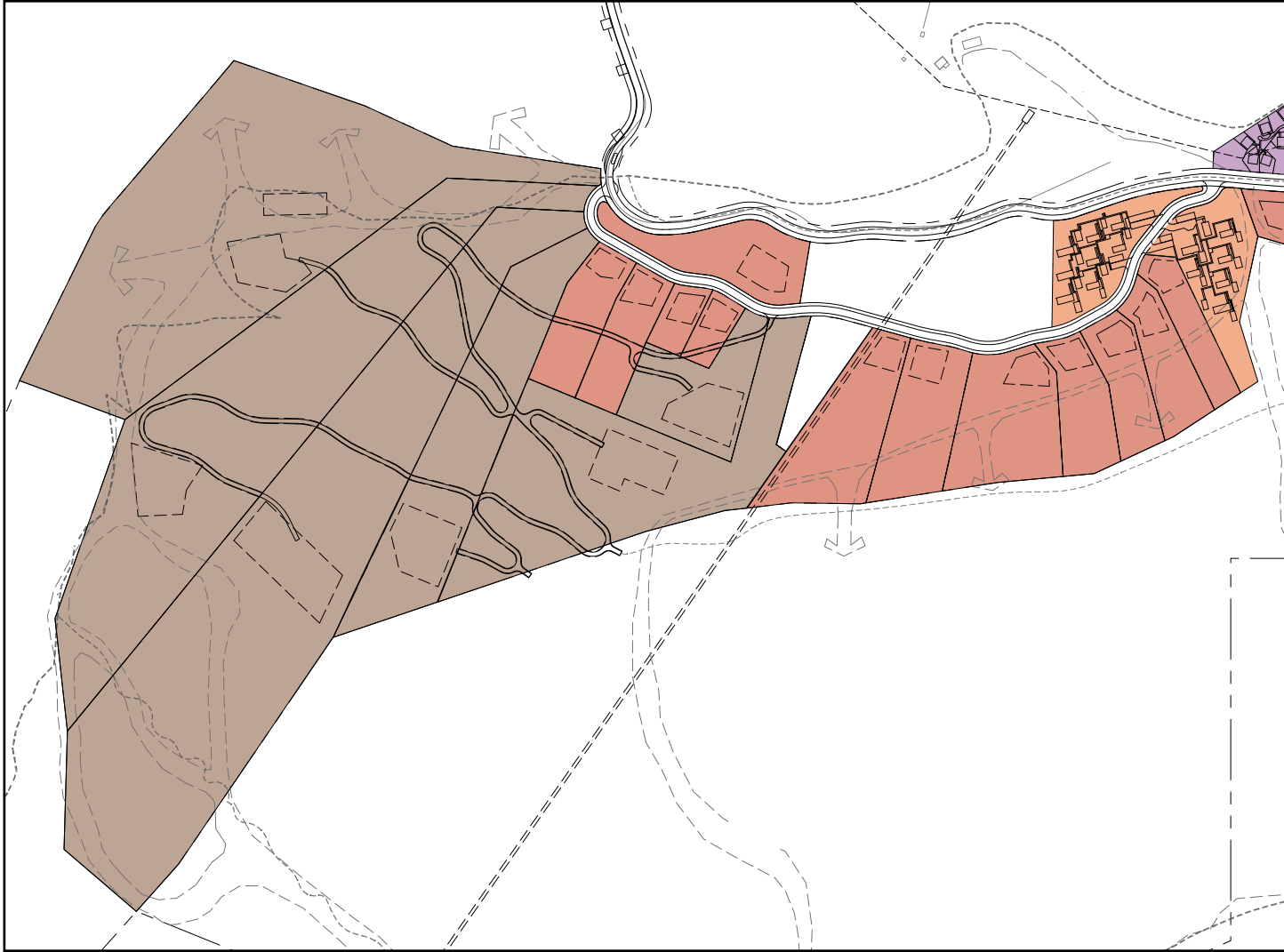


The Summit community shares a philosophy of innovation, creativity, cultural enrichment, and environmental conservation. At Summit at Powder Mountain, these core principles come to life in a heritage modern development on 10,000 acres of untouched land in the Wasatch Mountains of Northern Utah.

Summit at Powder Mountain is designed to support the vibrant live-work-play lifestyle of the Summit community in a unique natural setting of unparalleled beauty. Located high atop a network of ridges, meadows and plateaus with dramatic views of the surrounding mountains and the Salt Lake Basin, the community is planned around a variety of Districts, each with its own, individual character. All Districts are served by conveniently located roadways that also serve the unique and readily accessed “ski-down” system of lifts and trails.

Located at the center of the development, the Village District will be the social epicenter of the community, providing convenient, pedestrian access to in-town amenities such as resident artists’ studios, learning labs, hotels, cafes, restaurants, gathering spaces and condo living. The Village House, Townhouse and Nest Districts provide the benefits of “in-town” living with a variety of dwelling styles and building typologies. Other Districts such as the Ridge Nest and Mountain House Districts are located away from the Village providing their residents with more open spaces and a closer connection to nature.

Building design at Summit at Powder Mountain shall preserve its pristine views and natural beauty while creating a cohesive “heritage modern” aesthetic guided by an ethos that views architecture as subservient to the natural landscape. The heritage modern aesthetic recognizes the architectural precedents of the surrounding region while offering an opportunity to develop inventive designs consistent with the forward looking aspirations of the community.



B.

# PHASE I DISTRICT MAP







- |  |  |   |  |   |
|--|--|---|--|---|
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #8B4513; border: 1px solid black; margin-right: 5px;"></span> RANCH ESTATE  | <span style="display: inline-block; width: 15px; height: 10px; background-color: #C0392B; border: 1px solid black; margin-right: 5px;"></span> RIDGE ESTATE      | <span style="display: inline-block; width: 15px; height: 10px; background-color: #E67E22; border: 1px solid black; margin-right: 5px;"></span> HORIZON      | <span style="display: inline-block; width: 15px; height: 10px; background-color: #9B59B6; border: 1px solid black; margin-right: 5px;"></span> RIDGE NESTS   | <span style="display: inline-block; width: 15px; height: 10px; background-color: #5D97C6; border: 1px solid black; margin-right: 5px;"></span> MOUNTAIN HOUSE |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #80CBC4; border: 1px solid black; margin-right: 5px;"></span> VILLAGE HOUSE | <span style="display: inline-block; width: 15px; height: 10px; background-color: #FFD700; border: 1px solid black; margin-right: 5px;"></span> VILLAGE TOWNHOUSE | <span style="display: inline-block; width: 15px; height: 10px; background-color: #8C8B48; border: 1px solid black; margin-right: 5px;"></span> VILLAGE CORE | <span style="display: inline-block; width: 15px; height: 10px; background-color: #8BC34A; border: 1px solid black; margin-right: 5px;"></span> VILLAGE NESTS |   |



C.

# ENVIRONMENTAL STEWARDSHIP

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The ecology of Summit at Powder Mountain consists of High Mountain, Mountain, and Upland environments ranging in elevation from 6,914 to 9,422 feet. Temperatures range from below zero to freezing during the winter and from 50 to 75 degrees Fahrenheit during the summer, depending upon elevation. Annual precipitation is approximately 58 inches with annual snow accumulation of over 500 inches. The heavy snowfalls melt slowly over an extended spring season providing water for a carpet of herbaceous ground covers. Groups of sage brush, and aspen groves can be found at higher elevations and stands of lodge pole pine and spruce-fir at lower elevations. The environment supports a wildlife community that includes herds of elk, deer, moose, black bear, beaver, fox, Columbian sharp tailed grouse, porcupine, coyote, and turkey.

Building in this environment requires a high level of care. Heavy snow loads, high seismicity, and variable soil conditions must be considered in the design process along with the thermal demands of the low winter temperatures typical of high mountain environments. The herbaceous ground cover is also fragile and care must be taken to minimize disturbance during construction in order to preserve the continuity and appearance of the natural environment.

Preserving the quality of the environment is a key goal for Summit. As previously noted, the High Mountain ecosystem is a unique and fragile balance of flora and fauna that can be maintained through sustainable development practices. Summit at Powder Mountain requires that all residences meet the Silver Threshold of the 2012 (or current) ICC-700 National Green Building Standard. The Standard establishes criteria for rating the environmental impact of design and construction practices on a point based system. The standard does not supersede any laws, codes, or ordinances.

See Appendix section II for a description of specific mandatory practices.





HOMESITE 27 BY BICUARDO ARCHITECTS



RIDGE NEST 13 ARCHITECTURE BY LIFE EDITED



D.

# DESIGN GOALS AND PRINCIPLES

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Consistent with Summit's goal of environmental stewardship and the desire to maintain the pristine quality of the landscape and views, the following Design Goals are provided as a framework to guide the architecture of individual dwellings towards a cohesive and minimal presence in the landscape. Taken together, they represent an integrated design approach; taking into consideration the unique qualities of the surrounding mountain environment and balancing sustainability goals with the design goals of individual owners.

## **D.1.1 REGIONALLY RESPONSIVE MODERN ARCHITECTURE: HERITAGE MODERN**

The architecture at Summit respects and blends with the unique qualities of the surrounding alpine landscape with its ridges, steep slopes, and encompassing views. Taking inspiration from the traditional barns and utilitarian structures of the region and the minimalist qualities of modern architecture, the heritage modern style is an opportunity to engage the landscape in new and exciting ways, blending with the surrounding landscape while framing near and distant views. Large, unbroken windows are encouraged to focus on views, extend spatial relationships, maximize daylight, and enhance passive solar capture. North facing windows are to be minimized for energy efficiency.

## **D.1.2 BUILDINGS THAT MERGE WITH THE LANDSCAPE**

Buildings and structures shall be designed to follow the natural slope of the land as much as possible in order to maintain the continuity and breadth of views from roadways, paths and other structures. Buildings shall be designed to merge with the landscape and should avoid large, unbroken massing and wall surfaces that disturb the natural flow of the topography. As with the massing, roof forms shall be designed to compliment the flow of the land and blend with adjacent buildings. Top heavy massing is discouraged.

### **D.1.3 REDUCED PALLET OF NATURAL BUILDING MATERIALS AND COLORS**

Consistent with the heritage modern design approach, the number of building materials used on the exterior shall be kept to a minimum. Materials shall evoke the indigenous functional architecture and shall have natural finishes (translucent stains, weathered wood, weathered steel, copper, zinc, etc.). No reflective materials or surfaces are permitted except glass.

### **D.1.4 MINIMAL BUILDING FOOTPRINT**

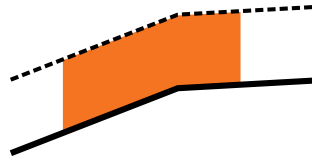
Each lot is provided with a designated Buildable Area which defines the limits within which a structure can be located on the lot as well as a Maximum Total Building Sq/Ft. The two work together to limit the visual and spatial impacts of the building, maintaining an appropriate distance from adjacent structures and ensuring the continuity of the natural landscape. Landscape disturbed during construction is to be restored to its natural condition. Roadways and pathways shall be designed to minimize site disturbance.

### **D.1.4 CONSERVATION OF RESOURCES**

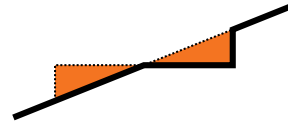
Water and the natural landscape are precious resources in Utah. As a responsible steward of the environment Summit at Powder Mountain requires that building structure and sites comply with special provisions of the National Green Building Standard as noted in Appendix Section II.

The Design Principles shown on the following page show how the Design Goals can be applied to the typical sloped sites found at Summit at Powder Mountain. While these are not proscriptive, the principles they embody have informed the District specific guidelines included in this document.

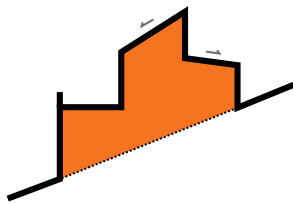
## DESIGN PRINCIPLES



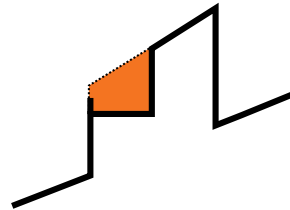
Building massing and roofs follow and align with the topography



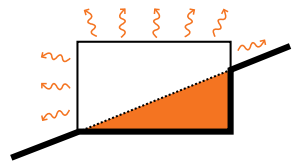
Stepped floors to minimize cut and fill



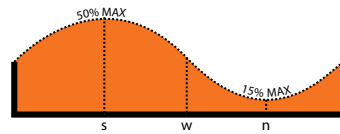
A combination of sloped and flat roof lines to vary massing



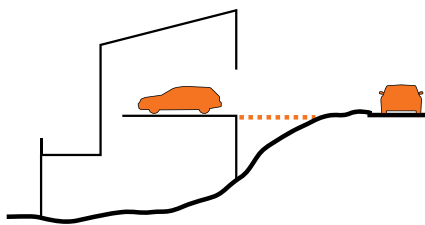
Minimize wall heights on downward facing slopes



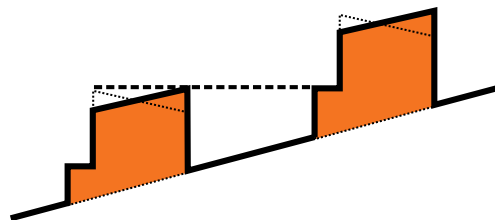
Compact building forms built into slope to reduce heat loss from building envelope



Optimized fenestration/wall ratio by orientation to maximize solar heat gain and reduce heat loss from building envelope



Driveways situated directly off of roads to minimize site impact



Locate structure to optimize views top of roof ridge not to be higher than deck level of structure on upward slope





E.

# PROCESS

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## E.1 DEVELOPMENT STANDARD DEFINITIONS

**Above Grade:** That portion of a story where more than 50% of the wall area measured from the finished floor to the finished floor level above is above Existing Grade.

**ANSI Building Area:** The area of a dwelling including the above grade and below grade livable, enclosed areas as calculated by ANSI Z65-2003. Livable area does not include garage, unfinished basements, decks, or on-grade terraces.

**Average Building Envelope Slope:** The average percent of the slope of the terrain of a given area is calculated as follows:  $(0.00229 \times l \times L) / A = S$ , where "S" is the average percent of slope, "l" is the contour interval in feet, "L" is the combined length of all contours within the given area in feet, and "A" is the percentage of the given area in acres. The Average Building Envelope Slope for each site is given in Appendix I, Special Building Requirements.

**Below Grade:** That portion of a story where more than 50% of the wall area measured from the finished floor to the finished floor of the level above is below Existing Grade.

**Building Envelope / Buildable Area:** The portion of a lot which is to be utilized as the building site. The Buildable Area cannot contain any easements.

**Building Height:** The vertical distance from the grade plane to the height of the highest roof surface.

**Common Area:** A Common Area is the area available for common use by all property owners (or) groups of owners and their invitees.

**District:** An area within Summit at Powder Mountain defined by a specific building type.

**Existing Grade:** The ground level adjoining the building at the exterior walls as measured from the survey of the unimproved lot. Existing Grade includes roadway grades adjacent to the lot.

**Grade:** The lowest point of elevation from the finished surface of the natural/existing ground as measured between the building or a structure and a line five feet from the building or structure.

**Homesite:** A lot or plot of land used for a dwelling.

**Land Use Code:** The Land Use Code of Weber County, Utah.

**Limited Common Area:** A Limited Common Area is a portion of the Common Area for the exclusive use of one of the owners and their invitees.

**Lot:** A parcel of land capable of being occupied by an allowed use, building or group of buildings (main or accessory), together with such yards, open spaces, parking spaces and other areas required by the Land Use Code. Except for group dwellings no more than one dwelling structure shall occupy any one lot.

**Lot Line:** A line dividing one lot from another, or from a street or any public place.

**Maximum Total Building Sq/Ft:** The area of a dwelling including the above grade and below grade livable, enclosed areas as calculated by ANSI Z65-2003. The Maximum Total Building Sq/Ft also include the area of garage associated with the dwelling whether it is attached by a roof or free standing. The area of the garage is calculated from the outside face of the exterior wall.

**Maximum Building Footprint:** The footprint is defined by the total area of the building measured to the exterior of the building walls including the garage, guest house and accessory structures, as projected to Existing Grade.

**Occupiable:** Portions of lofts, mezzanines, and sloped ceiling areas shall be those areas which have a minimum ceiling height of six feet four inches (6'-4") and shall include all adjacent areas with a minimum ceiling height of five feet (5'). Habitable or occupiable portions of lofts, mezzanines, and sloped ceiling areas, as dictated by design, shall be those areas which have a minimum ceiling height of seven feet (7') and includes all adjacent areas with a minimum ceiling height of five feet (5'). Habitable portions of lofts, mezzanines, and sloped ceiling areas shall also contain an area of at least 35 square feet (35sf) with a minimum of seven feet (7') ceiling height.

**Private Lot:** Any real property designated as a residential lot on a subdivision plat which is conveyed to an Owner by means of a deed, together with all improvements from time to time constructed thereon.

**Setback Line:** The required minimum distance between the Lot Line and Buildable Area.

**Significant Vegetation:** Vegetation that is important for its aesthetic value or its beneficial effect on the amenity of the locality in which it is situated, the maintenance of which is necessary to maintain the appearance of a place or a view.

**Story:** A portion of a building included between the upper surface of a floor and upper surface of a floor or roof above.

**Structure:** Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

**Trail System Easement:** An easement across lots and parcels excluding building envelopes for constructing and maintaining a trail system.

## **E.2 INFRASTRUCTURE AND UTILITIES**

### **Electricity**

Provider: Rocky Mountain Power  
Live power is stubbed to each Phase I lot.

### **Natural Gas**

Provider: TBD  
Space is reserved along roadways for future supply.

### **Water & Sewer**

Provider: Powder Mountain Sewer & Water  
Distribution lines to Phase I homesites is in place. Live water services and sewer laterals are stubbed to each Phase I lot.

### **Fiber**

Provider: TBD  
Conduits & pull boxes for future fiber are in place for Phase I lot

## **E.3 ARCHITECTURE REVIEW COMMITTEE**

### **E.3.1 ARC Responsibilities**

The Architectural Review Committee (ARC) has been created to review site work and building plans on behalf of the Powder Mountain Owners Association Inc. (the "Association") for their adherence to the Design Guidelines. The members of the ARC, and/or the experts who the Board of Directors of the Association may engage from time to time, either as members of the ARC or as professional consultants to the ARC, will have expertise in site planning and architectural design. (Please refer Appendix VII for Article 10 of the CC&R's for the Association for additional information on the ARC's responsibilities and procedures.)

1. The ARC is responsible for reviewing all development at Summit at Powder Mountain.

This includes, but may not be limited to, the following development activities:

- a. Any site work, grading, building construction, or other site modification anywhere within Summit at Powder Mountain, including all ski resort, open space, and trail areas.
- b. Any renovation, expansion or refinishing of the exterior of an existing structure.
- c. Any landscape or site modifications to a lot including areas outside of the development envelope where driveways or low impact issues are permitted, or to any other area within Summit at Powder Mountain.
- d. Any changes to the natural landscape, including the clearing of native vegetation and removal of standing trees, anywhere within Summit at Powder Mountain.

2. The specific purpose of ARC review is to ensure conformity with the Design Guidelines. The ARC will also assist in explaining and clarifying the Design Guidelines to applicants and their representatives and will communicate information in a constructive way throughout the review process. The ARC's objective is to encourage good stewardship of the land and sensitive architectural expression consistent with the ethos of the Summit community.

3. The ARC review process is not in lieu of but is in addition to the Weber or Cache County review process. Any application for a building or site modification permit within Summit at Powder Mountain must be reviewed by the ARC to determine that it complies with the Design Guidelines, but any such application must also be approved by Weber or Cache County. ARC approval is necessary before access to water service is granted to the owner by the Association. Proof of a water connection is a prerequisite to the acceptance and approval of a building permit application by Weber or Cache County.

### **E.3.2 ARC REVIEW PROCESS AND SUBMISSION REQUIREMENTS**

The ARC review process has been designed to encourage dialogue with homesite owners, their design team, and other affected parties early in the evolution of their plans so that physical factors and aesthetic qualities of the land can be fully understood and sensitively incorporated into the owner's land use concepts. The process is intended to be constructive, not adversarial, or unduly restrictive.

Personal participation by the owner in the review process, especially in the early stages, will result in significantly improved communication, often allowing for quicker application approval.

To be considered complete, an application for ARC review must include all the information requested on the application form in Appendix VI and listed at each step outlined below so that



the review process will be as effective and efficient as possible. Owners are encouraged to engage the services of a licensed architect familiar with design in the mountain setting for any development activity that involves structures. They also are encouraged to employ a licensed landscape architect for site design, or someone familiar with landscape design in a high alpine climate.

Owners who are starting with an undeveloped homesite are encouraged to begin their design process with a conceptual master plan for the entire site so that the proper relationships among all proposed and/or contemplated structures and site amenities can be anticipated, and the cumulative site impacts can be evaluated and minimized. A master plan evolves from a thorough understanding of the constraints and design opportunities unique to each homesite; it is intended to identify where the clustering of structures is desirable, where a separation between them is preferable, and where the access that serves all future facilities can be located to minimize the impact to the landscape. The absence of an effective master plan may affect the owner's subsequent abilities to add facilities.

The cost of the ARC's review including the services of any of the ARC's planning consultants shall be covered through a fee for service paid by the applicant. Fees are based on the type of project for which ARC approval is sought and must be paid in full before the review process may commence. The amount of the fee required is subject to periodic adjustment by the Association. Please refer to Section K-9.4 for a current schedule of application fees.

There are three steps in the ARC design review process.

- a. Pre-Planning Meeting
- b. Conceptual Design Review
- c. Final Plan Review

### **E.3.3 STEP ONE: PRE-PLANNING MEETING**

The ARC review process commences with a working session with the ARC's designated planning consultants, the homesite owner, and the owner's architect or design professional. The purpose of this meeting is to agree on basic parameters for development of the homesite that fully respond to the desires of the owner and the land use philosophy and operating policies of Summit at Powder Mountain and all applicable land use entitlements and ordinances to which is subject. It is vital that the homesite owner and the owner's architect or design professional attend this meeting in order to understand completely the goals of the design review process.

The primary focus of the working session will be an in-depth analysis of the owner's site, its physical constraints, and the particular visual and environmental sensitivities that must guide

its development. The ARC will review the Design Guidelines with participants, discuss how they apply to the project at hand, and explain the reasoning that determined the development envelope on the owner's homesite. It is very important that this meeting be scheduled after the owner has selected a design team so that all of those who will be involved in the planning of the site may attend. Also, it is important that the meeting take place before any conceptual plans are drawn for the owner. However, it is required that the owner prepare for the meeting by completing a certified site survey, by gathering images that illustrate the style of building contemplated and by making a preliminary list of the facilities and building elements to be constructed on the site.

The outcome of the working session will be a mutual understanding of the site constraints, the design opportunities unique to the site, the potential visual impacts to neighboring homesites and to the Ogden Valley, the possibility of environmental impacts (including removal of trees and other vegetation), and any other site-specific concerns that may require mitigation.

At the discretion of the ARC, the requirement for this meeting may be waived for applications that concern minor changes to existing structures or landscape.

#### E.3.3a Submission Requirements For The Pre-Planning Meeting

1. A certified site survey of the homesite showing platted property boundaries and, at least within the development and the driveway corridor, topography at two foot (2') contour intervals. The survey must indicate easements, creeks, riparian areas, designated wetlands, mature trees, tree groupings and groves within the area to be developed.
2. This certified site survey should also indicate existing and proposed man-made improvements, including utilities, hydrants, power transformers, water meters and valves, retaining walls, bridge and tunnel structures, abutments, and toe of slopes where roads run adjacent to the sites.

#### E.3.4 STEP TWO: CONCEPTUAL DESIGN REVIEW

Formal ARC review begins with the owner's submittal of conceptual site and building plans. Conceptual Design Review is intended to provide more detailed direction and guidance to the owner and the owner's design team by the specific identification of any site or development issues and concerns that, in the opinion of the ARC, must be resolved.

Conceptual drawings typically indicate overall design and site planning directions but are not intended to fully resolve all technical or design issues. They illustrate (1) the siting of conceptual building program elements; (2) the preliminary

resolution of building form and massing; (3) the owner's general thoughts about architectural character, style, and materials; (4) the visual and functional linkages; (5) the view relationships with neighboring sites; (6) grading required for driveway access and the siting of the building; and (7) the general extent of site disturbance.

#### E.3.4a Scheduling A Conceptual Design Review Meeting With The ARC

Upon request by the applicant, a Conceptual Design Review meeting of the ARC shall be scheduled with three weeks advance notice. A complete package of conceptual plans must be submitted to the ARC no later than one week prior to the scheduled meeting.

The owner and/or his/her design representative shall make an informal presentation at the meeting to outline the development program and design goals. Feedback from the ARC will be more substantive if the underlying rationale for the applicant's design decisions is well articulated. The ARC will evaluate the conceptual plans for conformity with the Design Guidelines and the concepts discussed during the pre-planning meeting.

Following the Conceptual Review Meeting, the ARC shall issue a written response to the applicant that records outstanding issues and concerns and summarizes the ARC member's comments. If unresolved issues appear to warrant them the ARC may recommend a follow-up meeting with the applicant before the ARC's written response and before the plans are submitted for final review (step three).

#### E.3.4b Submission Requirements For The Conceptual Design Review

1. Applicants for conceptual design review shall submit the following:

a. A conceptual site/grading plan indicating the proposed boundary of the development envelope, the driveway corridor, and the driveway alignment within it; the location of all planned improvements and structures, including outdoor activity areas and retaining walls; all utility lines and any related utility easements required by service providers; and the ski-in/ski-out locations (which, whenever possible, should follow the alignment of existing disturbed areas, e.g., a sewer lateral alignment). The plan shall also indicate the estimated limits of grading and site disturbance within the development envelope and preliminary finish grades and floor elevations at doorways and paved surfaces. Drainage should be clearly depicted through the indication of swales and proposed drainage structures. Format of presentation materials may be at the discretion of the designer, however, one 11 x 17 copy of the plans is required for ARC records.

- b. All submission requirements for the pre-planning meeting should be incorporated into the plan documents submitted for Conceptual Design Review.
- c. The conceptual site/grading plan shall include the proposed removal of vegetation for forest fire suppression purposes. Fire suppression issues should be discussed with the Weber County Fire Marshall prior to Conceptual Design Review. If it is the desire to implement the Fire District's recommendations, the recommendations must be in writing from the District and presented to the ARC at the time of Conceptual Plan Review. Removals of vegetation for fire suppression purposes must be considered as part of the Conceptual Plan Review since such removals may impact the visibility and siting of improvements.
- d. Conceptual floor plans, roof plans, sections, and elevations of all structures, including accessory buildings. Building plans and elevations shall be at a minimum scale of 1/8" = 1', or larger, provided the sheet size does not exceed 24" x 36".
- e. A preliminary landscape plan illustrating concepts for framing or screening important views to and from the structures. The plan should show all trees and other native vegetation to be removed, new plant massings and describe generally the types and quantities of plants (trees, shrubs, ground covers) to be added to the site.
- f. A description of desired exterior finishes, building and paving materials, and colors.
- g. A 3D SketchUp or Revit model of the building within the development envelope is required, as an effective means of evaluating conceptual massing and siting of the house.

In addition to all drawings and materials listed above, the applicant shall survey and stake the corners and ridgelines of the proposed structures, the centerline and edges of the proposed driveway, and the limits of site disturbance. Staking shall indicate the actual height of the proposed structures by means of story poles where required by the ARC and the most visual portion of the structure(s) highlighted with an orange marking disc for ease of recognition from off-site. Each stake shall be numbered. A staking plan superimposed on the site plan shall be submitted showing the location and number of each stake. Conceptual approval shall not be given to the applicant prior to the review of the staking by the ARC. The ARC shall conduct an on-site review of the staking in conjunction with the Conceptual Plan Review and prior to written approval of the Conceptual Plan.

### **E.3.5 STEP THREE: FINAL PLAN REVIEW**

Formal ARC review begins with the Owner's submittal of the final drawings set to be submitted to the County.



#### E.3.5a Scheduling The Final Plan Review Meeting With The ARC

Final plan review cannot occur prior to receipt of written approval from the ARC of the Conceptual Plan. Upon request by the applicant and with at least three (3) weeks advance notice, a Final Plan Review meeting of the ARC will be scheduled. A complete package of final documents must be submitted to the ARC no later than one week prior to the scheduled meeting.

It is strongly recommended that the owner's design team attend the Final Plan Review to present the plans. The ARC will review the construction documents including the final site plans and landscape plans for conformity with the Design Guidelines and determine that all outstanding issues discussed in previous review sessions have been resolved.

Within fourteen (14) days of the meeting, the ARC shall either approve, approve with conditions, or disapprove the final plan, or extend the approval date by issuing a request for further information. The notice of approval shall be in writing and will be sent to the applicant and to the Weber County Community Planning Division. If an application is denied, the applicant may resubmit revised documents at any time. Subsequent review may be subject to the payment of an additional fee.

#### E.3.5b Submission Requirements For Final Review

1. The final submission package shall respond to issues raised by the ARC in earlier phases of review and shall include the materials listed below:

a. Final site plan at a scale of 1" = 20', indicating layout and dimensions of the development envelope, all building and accessory elements, the driveway, all utilities, and all landscaped areas.

All utility or other easements must be surveyed and clearly indicated on the plan with bearings and distances, which dimensions must correspond to a legal description.

b. Final building floor plans, roof plans, sections, and elevations at a scale of 1/8" = 1'.

c. Final grading and drainage plan.

d. Conceptual landscape plan detailing all plantings by species, size and quantity. Native, low water plant species are strongly recommended (a list of approved species suited to the microclimates found on Powder Mountain is included in the Design Guidelines). A Final Landscape Plan (including an irrigation plan, water source and estimated water usage) shall be submitted by the applicant prior to the 4-Way Building Code Inspection and is subject to the review and approval of the ARC. Submittal of the Final Landscape Plan, and its review by the ARC, is deferred until this point to insure that the ultimate landscape improvements address and mitigate all areas disturbed in the construction process.

- e. Final material samples, specifications, product cut sheets, and color samples for all exterior finishes.
- f. Construction details, sections and elevations as needed to illustrate design intent and any accessory elements such as spas and other outdoor facilities.
- g. Exterior lighting plan, with cut sheets or details of all fixtures.
- h. Details of proposed entry monument, gates, fencing, or screened elements, if any.
- i. Development phasing plan, if appropriate.
- j. A Construction Mitigation Plan showing limits of disturbance fencing, silt control fencing, construction staging areas, topsoil storage areas, propose construction parking areas, construction entrance detail, tree protection, dust control, etc.
- k. An Erosion Control Plan which complies with Weber County requirements.
- l. An updated 3D model is required.

2. In addition to the above, the applicant may be required to provide staking of the site in addition to that required at Conceptual Plan Review if the ARC determines that there have been material changes to the proposed structures since Conceptual Design approval.

**E.3.6 ARC APPLICATION FEES**

Fees may be adjusted at any time at the discretion of the Association.

1. ARC application fees:

- \$3,000 for Nests & Condominiums
- \$4,000 for Houses
- \$6,500 for Mountain Houses

ARC fees are fixed and generally will not be exceeded except in very unusual circumstances where significantly greater amounts of ARC time are consumed by repeated unresponsive submittals and/or construction inconsistent with the Design Guidelines.

For projects that extend beyond the 18 months from ground breaking to Certificate of Occupancy, a \$300/month fee will be assessed beginning with the 19th month to cover these increased costs.

Minor amendments or additions to previously approved plans: \$500 deposit then charged hourly.

2. Hourly rates for ARC review:

- ARC Staff: \$75/hr

ARC Board Members: \$100/hr  
Construction Site Security Fee: \$200/mo

Accrues from the building permit issue date until the property passes its final ARC inspection (exclusive of landscaping).

3. Pre-Process Consultation Fee: \$500

Prospective site purchasers may obtain ARC input prior to the purchase of a homesite.



HOMESITE 33 BY BERTOLDI ARCHITECTS



HOMESITE 77 BY BERTOLDI ARCHITECTS

F.

# DISTRICT GUIDELINES



- 31 F.1 Mountain House (MH)
- 39 F.2 Village House (VH)
- 51 F.3 Village Townhouse (VT)
- 57 F.4 Village Nests (VN)
- 65 F.5 Ridge Nests (RN)





HOMESITE 39 ARCHITECTURE BY MARMOL RADZINER



HOMESITE 77 BY BERTOLDI ARCHITECTS



# MOUNTAIN HOUSE

## F.1 OVERVIEW

### F.1a Vision

The Mountain House District is a collection of distinctive houses set high along the open ridges of Summit at Powder Mountain. Each house has a unique location in the landscape and has views into the canyons as well as long, horizon views of the surrounding mountains and Salt Lake Basin. Ample space between the sites provides an opportunity to create a sense of retreat and intimacy, gathering the landscape around the dwelling while staging and reflecting upon the dramatic views. The Mountain House provides an opportunity to create dynamic spaces for social interaction, a key part of life in the Summit community. The open, spacious quality of the surrounding landscape and the proximity of trails promotes an intimate experience of nature as well as a ski-in, ski-out experience.

### F.1.2 PLANNING AND DESIGN

#### F.1.2a Designing with the Land

Given the open space around the individual houses it is important that designs respond to the flow of the surrounding landforms while maintaining the continuity and integrity of natural elements such as tree groupings, outcroppings, and streams. Building masses shall be broken up and distributed to reduce the scale and visual impact. The following Design Principles have been established for the Mountain House:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses and tall, unbroken wall surfaces
- Minimize site improvements such as driveways that create a significant disturbance to the natural landscape

F.1.2b Building Envelope/Buildable Area and Maximum Total Building Sq/Ft

Each Lot has a Building Envelope within the Lot Line that defines the location of the House on the site. This area has been carefully chosen to take advantage of the unique features of each site and to ensure for adequate space between individual houses. The Buildable Area for each lot is defined by the limits of the Building Envelope and is listed in Appendix I, Specific Building Requirements. The Maximum Building Footprint for the Mountain House is four thousand square feet (4,000sf). No Accessory Dwelling Units are permitted on the lot.

**F.1.3 DEVELOPMENT STANDARDS**

F.1.3a Setbacks

- i. The Setback listed in Appendix I are coincident with the Building Envelope/Buildable Area designated for each lot.

F.1.3a.1 Additional Setback Criteria

- i. Roof overhangs may extend two feet (2') into all setbacks. Lintels, cornices and other integrated architectural features can extend one foot six inches (1'-6") into all Setbacks. Roof overhangs may extend two feet (2') out from the Building Envelope.
- ii. Retaining walls and other site improvements must be within the Buildable Area with the exception of driveways connecting to roads. Such improvements will be reviewed on an individual basis.

F.1.3b Building Height and Number of Stories

- i. Maximum Building Height is twenty-eight feet (28') with the exception of lots 34, 73,74 and 75 where the Maximum Building Height is thirty-five (35').
- ii. There is a five feet (5') exception on Maximum Building Height for an Elevator Penthouse, Chimneys, Mechanical Equipment Screens and Stair/Roof Access enclosures.

F.1.3c Parking

- i. Residential parking is required for each residence. Mountain House sites must provide permanent side-by-side parking for no more than and no less than two cars.

#### F.1.3d Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.

### F.1.4 ARCHITECTURAL CONSIDERATIONS

#### F.1.4a Roofs

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with a green roof or non-reflective, natural metals such as copper or zinc, large stone ballast or wood decking material (or any combination of the above).
- iii. Sloped Roofs to have a minimum slope of 2:12.
- iv. Roof-installed equipment and appurtenances are required to be screened with materials consistent with building.

#### F.1.4b Walls

- i. Continuous, unarticulated walls are strongly discouraged. Wall surfaces shall be broken up with stepped back or stepped forward terraces, volumetric cut-outs, projecting volumes or bays to reduce their presence in the surrounding landscape.
- ii. The maximum continuous height of a wall on the downward slope face is no more than two stories or twenty feet (20') whichever is less.

#### F.1.4c Decks

- i. Railings on balconies, decks, stairs, and porches shall be made of materials consistent with the building. Railing materials (with the exception of glass) shall be non-reflective.

#### F.1.4d Basements

- i. Basements are permitted.

#### F.1.4e Gutters, Downspouts and Snow Management

- i. Gutters and downspouts shall be visually minimized, and any exposed downspouts shall be located where they integrate

with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.

- ii. Snow shedding from roofs must be taken into consideration.
- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.
- iv. Plan driveways and parking areas with adequate space to pile snow for plowing.

#### F.1.4f Building Materials and Colors

- i. Approved wall materials include: dark stained wood recycled barn wood, rusted metal, grey metal (zinc), copper or painted metal, concrete foundation walls.
- ii. Sloped Roofs: rusted metal, grey metal (zinc), copper or painted metal.
- iii. Trim and Downspouts shall be copper, zinc, galvanized steel or painted metal.
- iv. Windows to be dark painted aluminum or steel, dark stained wood or metal clad wood.
- v. Materials to conform to the Utah Wildlife Urban Interface Code.
- vi. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- vii. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- viii. Bright or light trim colors which create strong contrast are not allowed.
- ix. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.
- x. A sample board including the proposed color palette will be submitted to the ARC for review.
- xi. The following guidelines apply:
  - a. Exterior wall colors are not to exceed an LRV (Light Reflective Value) of 32
  - b. Accent colors may not exceed an LRV of 42.

#### F.1.4g Site Lighting

- i. Conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Model Lighting Ordinance, 2011.

#### F.1.4h Hot Tubs

- i. Hot Tubs are permitted in the District.





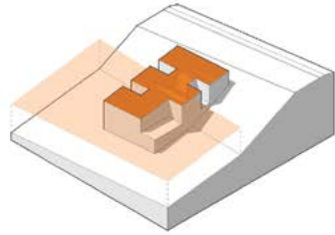
HOMESITE 39 ARCHITECTURE BY MARMOL RADZINER



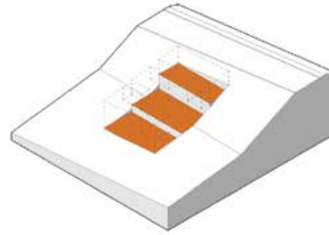
HOMESITE 27 BY BICUARDO ARCHITECTS



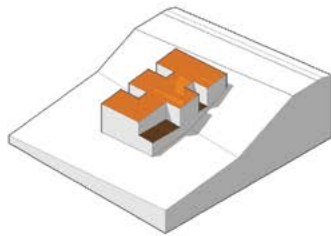
# MOUNTAIN HOUSE DISTRICT PRINCIPLES



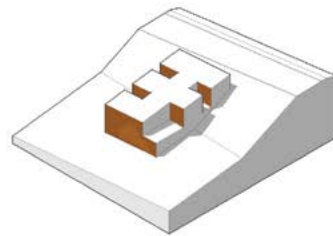
Building massing and roofs follow and align with the topography



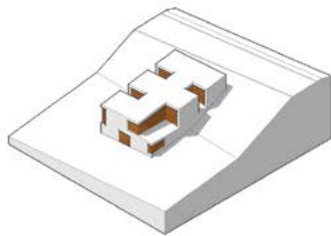
Stepped floors to minimize cut and fill



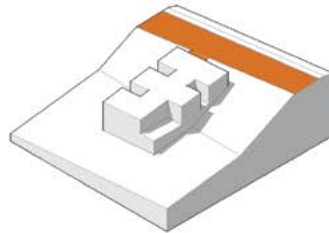
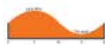
A combination of sloped and flat roof lines to vary massing



Minimize wall heights on downward facing slopes



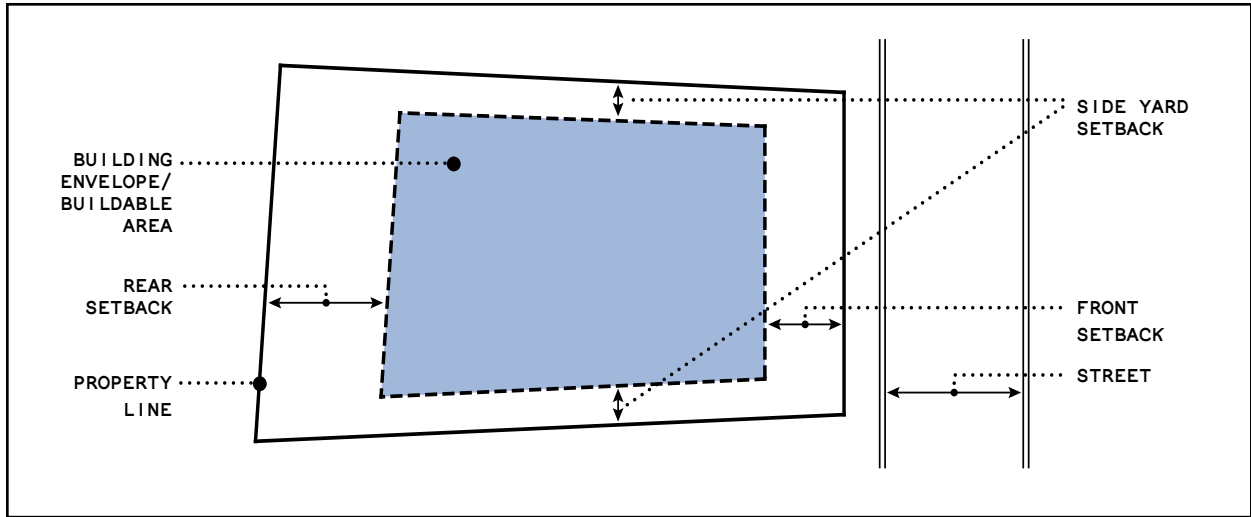
Optimized fenestration/wall ratio by orientation to maximize solar heat gain and reduce heat loss from building envelope



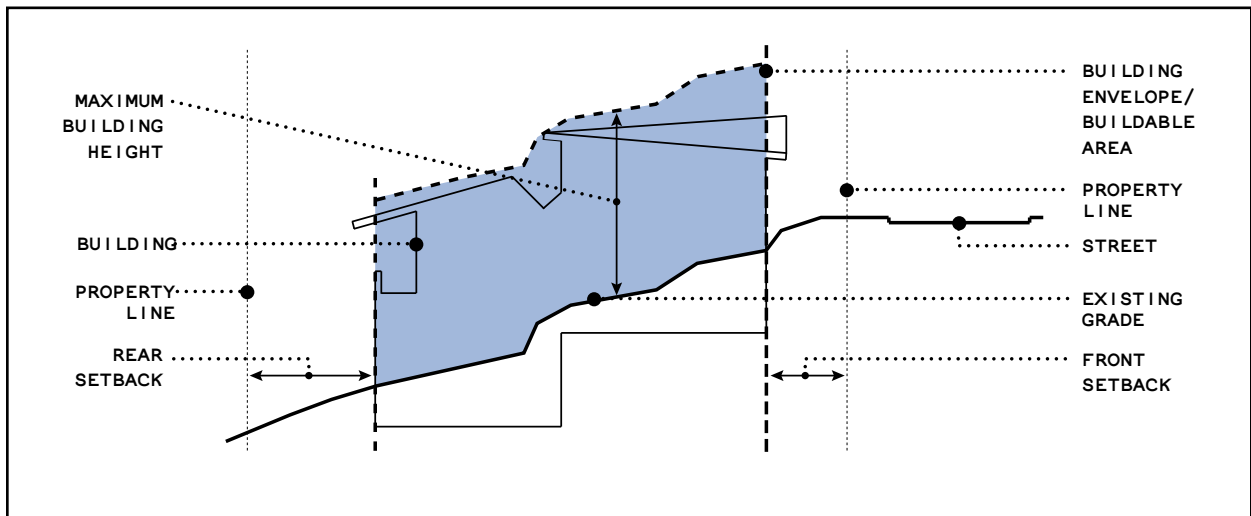
Driveways situated directly off of roads to minimize site impact



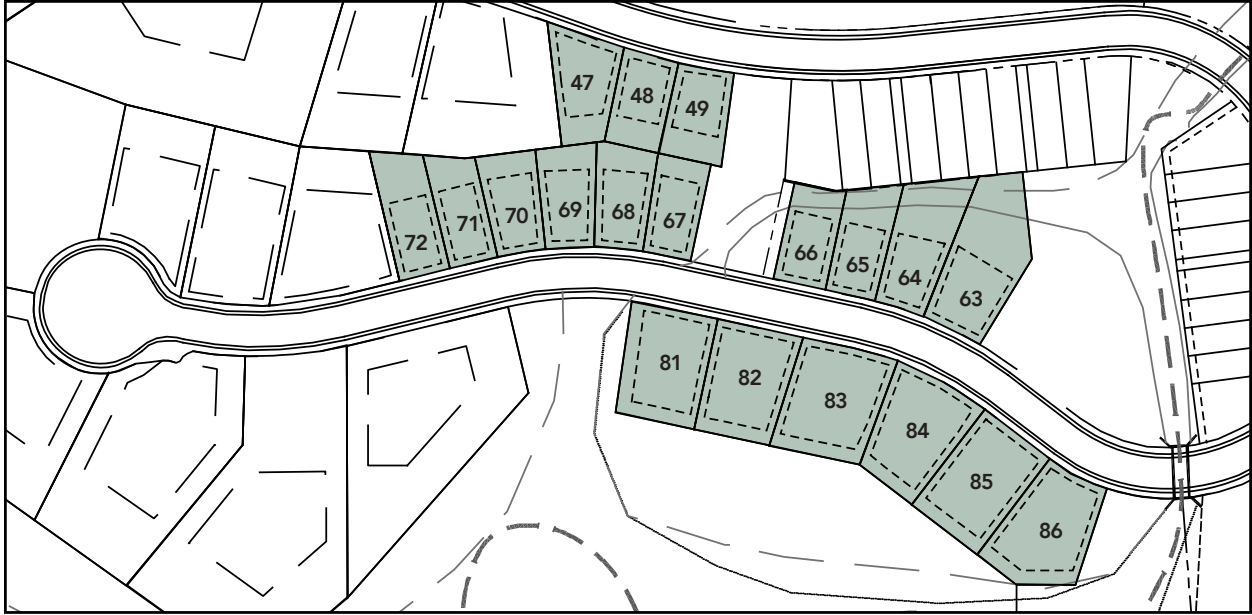
**SETBACK DIAGRAM F.1.3A MOUNTAIN HOUSE (MH)**



**HEIGHT DIAGRAM F.1.3B MOUNTAIN HOUSE (MH)**







# VILLAGE HOUSE

## F.2.1 OVERVIEW

### F.2.1a Vision

The Village House District is located in the transition between the Mountain House and Village Core, combining the generous space of the Mountain House with the pedestrian-oriented amenities of the Village. The Village House type is grouped in a closely spaced configuration to increase the density of the Village and promote street oriented activity. Views of nearby Lefty's ski run and unimpeded long views of the surrounding mountains and Salt Lake Basin are provided at the upper floor of each House. Decks and building entry porches provide an opportunity to create dynamic spaces for social interaction, an important part of life in the Summit community. Ski trails are woven through the District and allow for the ski-in, ski-out connections to Summit at Powder Mountain trail network.

## F.2.2 PLANNING AND DESIGN

### F.2.2a Designing with the Land

Given the smaller lot size, the massing of the Village House is vertically organized with major views and terraces oriented primarily to the south. Most of the Village lots have steeply sloped sites which encourages a stepped massing design, keeping the building height relatively low while allowing for views over the roofs of the houses below. Building Heights have been

established so that the roof height of a down slope dwelling is not higher than the main floor of the up-slop dwelling. Designs that enhance social interactions along the Village streets such as porches and decks are encouraged.

The following Design Principles have been established for the Village House:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses
- Minimize tall wall heights and unbroken surfaces, particularly on downward facing slopes
- The use of front porch and stoops along streets

#### F.2.2b Building Envelope/Buildable Area and Maximum Total Building Sq/Ft

Each Lot has a Building Envelope within the Lot Line that defines the location of the house on the site. This area has been carefully chosen to take advantage of the unique features of each site and to ensure for adequate space between individual houses. The Buildable Area for each lot is defined by the limits of the Building Envelope and is listed in Appendix I, Specific Building Requirements. The Maximum Total Building Sq/Ft varies with the individual Lots and are listed on Appendix I.

### F.2.3 DEVELOPMENT STANDARDS

#### F.2.3a Setbacks

- i. The Setback listed in Appendix I are coincident with the Building Envelope/Buildable Area designated for each Lot.

##### E.2.3a.1 Additional Setback Criteria

- i. Roof overhangs may extend two feet (2') into front and rear yard setback and 1' into side yard setbacks. Lintels, cornices and other integrated architectural features can extend 18" into all Setbacks.
- ii. Retaining walls and other site improvements must be within the Buildable Area with the exception of driveways connecting to roads. Such improvements will be reviewed on an individual basis.

#### F.2.3b Building Height and Number of Stories

- i. Maximum Building Height is twenty-eight feet (28') above existing grade measured from the centerline of the buildable area for all lots except lots 48,49,72,73 which have a Maximum Building Height of thirty five feet (35'). See Additional Building Height Criteria below for specific Building Height Criteria.

- ii. There is a five feet (5') exception on Maximum Building Height for an elevator penthouse, chimneys, mechanical equipment screens and stair/roof access enclosures. The specific location of these elements shall be reviewed to ensure that they do not interfere with the views from uphill units.
- iii. The dwelling cannot be more than three stories and no more than two stories above the grade plane.

F.2.3b.1 Additional Building Height Criteria

- i. For lots 85, 86 the Building Height is fifteen feet (15') above the top back of curb measured from the center of the lot or twenty-eight feet (28') above existing grade whichever is less, refer to height diagram F.2.3b.1i-iii.
- ii. For lots 81, 82, 83, 84, the Building Height is eleven feet (11') above the top back of curb measured from the center of the lot or twenty-eight feet (28') above existing grade whichever is less, refer to height diagram F.2.3b.1vi.
- iii. For lots 47, 48, 49, the Building Height is twenty-eight feet (28') above the top back of curb measured from the center of each lot or thirty five feet above existing grade, whichever is less, refer to height diagram F.2.3b.1i-iii.
- iv. For lot 63, 66, 69, 70, 71, 72, the Building Height is (F) feet above grade from the top back of curb measured from the center of the property line and (R) feet above grade from the center of rear building envelope/setback, refer to height diagram F.2.3b.1iv.

LOT	(F)	(R)
63	26'	27'
66	27'	27'
69	27'	28'
70	28'	28'
71	28'	28'
72	28'	27'

- v. For lot 65, 67, 68, the Building Height is (F) feet above grade from the top back of curb and (R) feet above grade from the center of rear building envelope/setback.

LOT	(F)	(R)
65	28'	26'
67	28'	24'
68	28'	25'

- vi. For lot 64, the Building Height is twenty-six (26') feet above grade from the edge of curb measured from the center of the property line center of the front setback and twenty-two (22') feet above grade from the center of the rear building envelope/



setback. The maximum height is twenty-eight (28') feet above grade at the southwest corner measured back ten feet (10') feet, refer to height diagram F.2.3b.1vii.

#### F.2.3c Parking

- i. Residential parking is required for each residence. Village House sites must provide parking for a minimum of one car and a maximum of two cars

#### F.2.3d Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.

### **F.2.4 ARCHITECTURAL CONSIDERATIONS**

#### E.2.4a Roofs

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with a green roof or non-reflective, natural metals such as copper or zinc, large stone ballast or wood decking material (or any combination of the above).
- iii. Sloped Roofs to have a minimum slope of 2:12.
- iv. Roof-installed equipment and appurtenances are required to be screened with materials consistent with building.

#### F.2.4b Walls

- i. Continuous, unarticulated walls are strongly discouraged. Wall surfaces shall be broken up with stepped back or stepped forward terraces, volumetric cut-outs, projecting volumes or bays to reduce their presence in the surrounding landscape.
- ii. The maximum continuous height of a wall on the downward slope face is no more than two stories or 20 feet whichever is less.

#### F.2.4c Decks

- i. Railings on balconies, decks, stairs, and porches shall be made of materials consistent with the building. Railing materials (with the exception of glass) shall be non-reflective.
- ii. Railings or parapets to conceal deck furnishings as viewed from the street or other units.

#### F.2.4d Basements

- i. Basements are permitted.

#### F.2.4e Gutters, Downspouts and Snow Management

- i. Gutters and downspouts shall be visually minimized. Any exposed downspouts shall be located where they integrate with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.
- ii. Snow shedding from roofs must be taken into consideration and coordinated with neighbors to avoid shedding onto neighboring property or structures.
- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.

#### F.2.4f Building Materials and Colors

- i. Approved wall materials include: dark stained wood recycled barn wood, rusted metal, grey metal (zinc), copper or painted metal, concrete foundation walls.
- ii. Sloped Roofs: rusted metal, grey metal (zinc), copper or painted metal.
- iii. Trim and Downspouts shall be copper, zinc, galvanized steel or painted metal.
- iv. Windows to be dark painted aluminum or steel, dark stained wood or metal clad wood.
- v. Materials to conform to the Utah Wildlife Urban Interface Code.
- vi. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- vii. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- viii. Bright or light trim colors which create strong contrast are not allowed.
- ix. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.

- x. A sample board including the proposed color palette will be submitted to the ARC for review.
- xi. The following guidelines apply:
  - a. Exterior wall colors are not to exceed an LRV (Light Reflective Value) of 32
  - b. Accent colors may not exceed an LRV of 42.

F.2.4g Site Lighting

- i. Conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Model Lighting Ordinance, 2011.

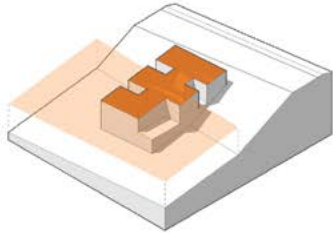
F.2.4h Hot Tubs

- i. Hot Tubs are permitted in the District. Tubs to be enclosed using materials consistent with the design of the dwelling.

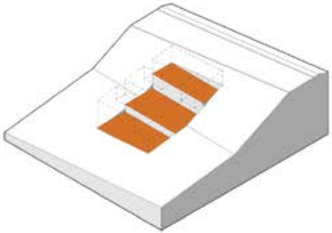
F.2.4g Front Porches

- i. Front Porches in the form of sheltered recesses facing the street at building entries are encouraged.

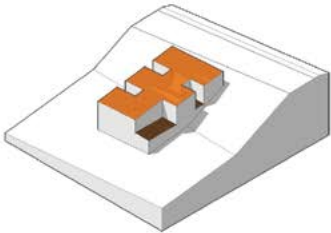
# VILLAGE HOUSE DESIGN PRINCIPLES



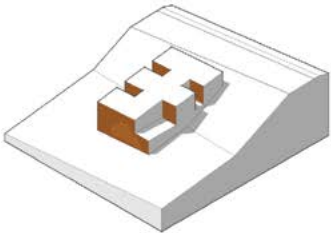
Building massing and roofs follow and align with the topography



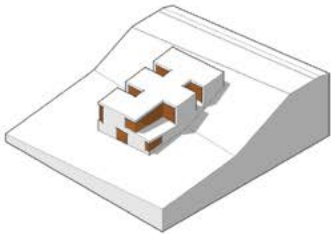
Stepped floors to minimize cut and fill



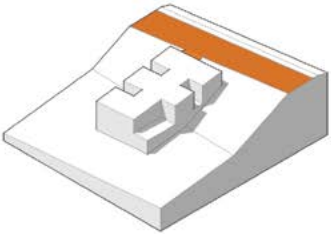
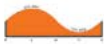
A combination of sloped and flat roof lines to vary massing



Minimize wall heights on downward facing slopes



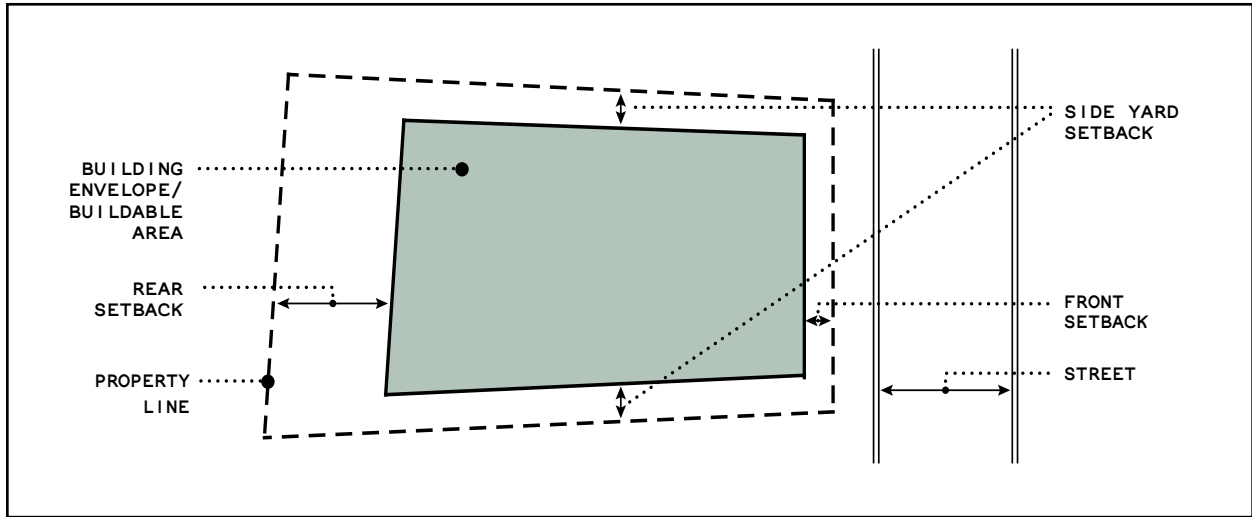
Optimized fenestration/wall ratio by orientation to maximize solar heat gain and reduce heat loss from building envelope



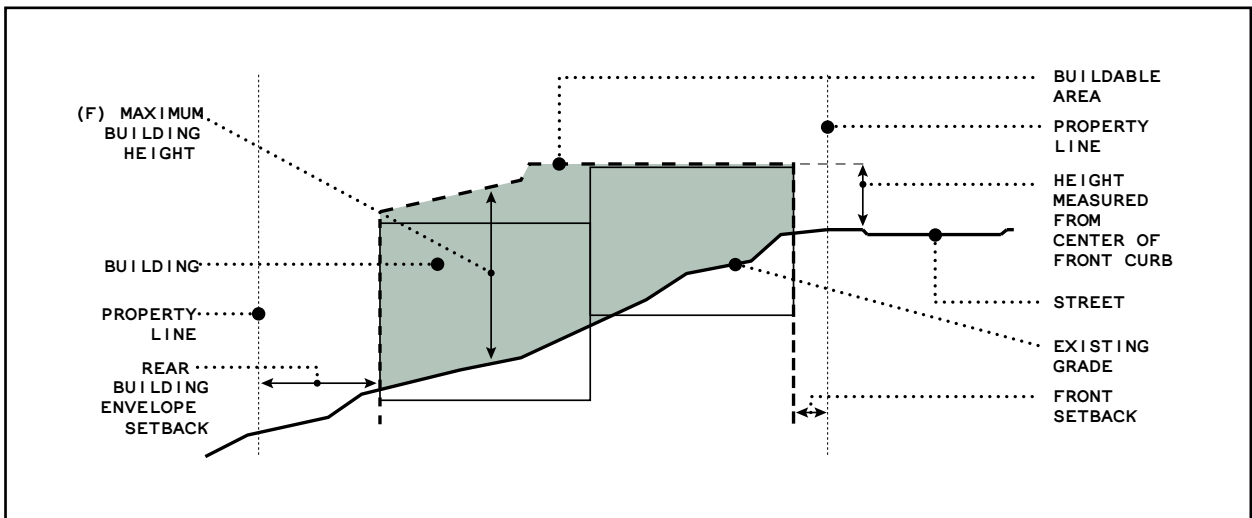
Driveways situated directly off of roads to minimize site impact



SETBACK DIAGRAM F.2.3A VILLAGE HOUSE (VH)

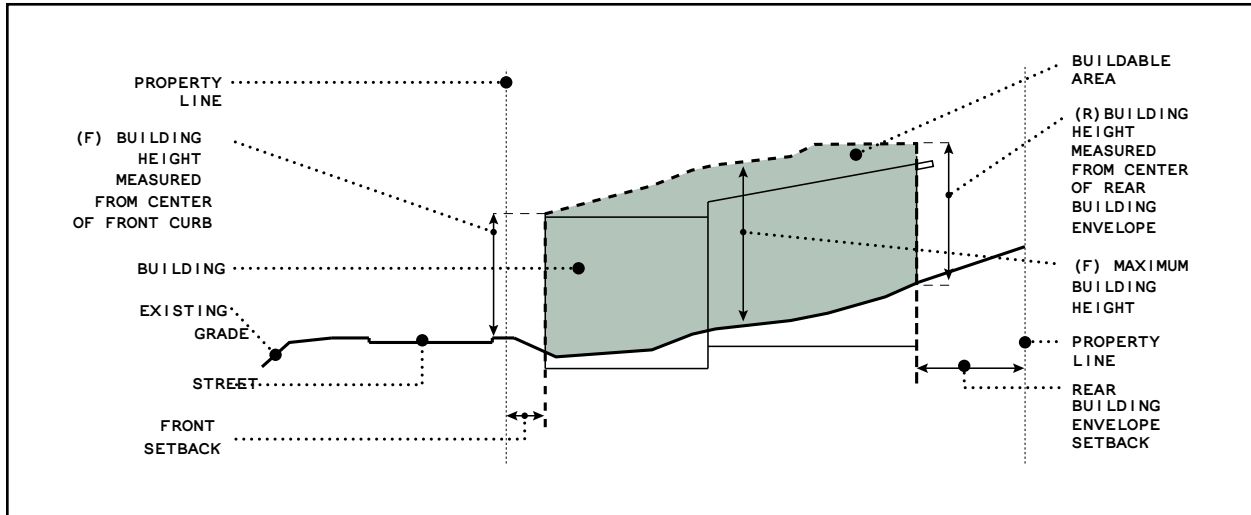


HEIGHT DIAGRAM F.2.3B1I-III (LOTS 81, 82, 83, 84, 85, 86)

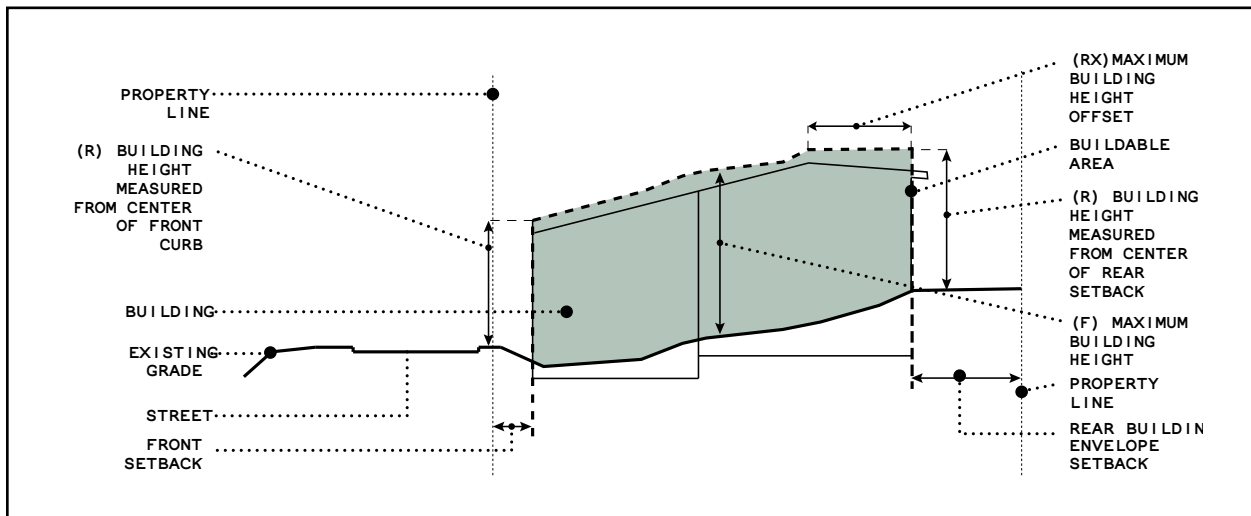




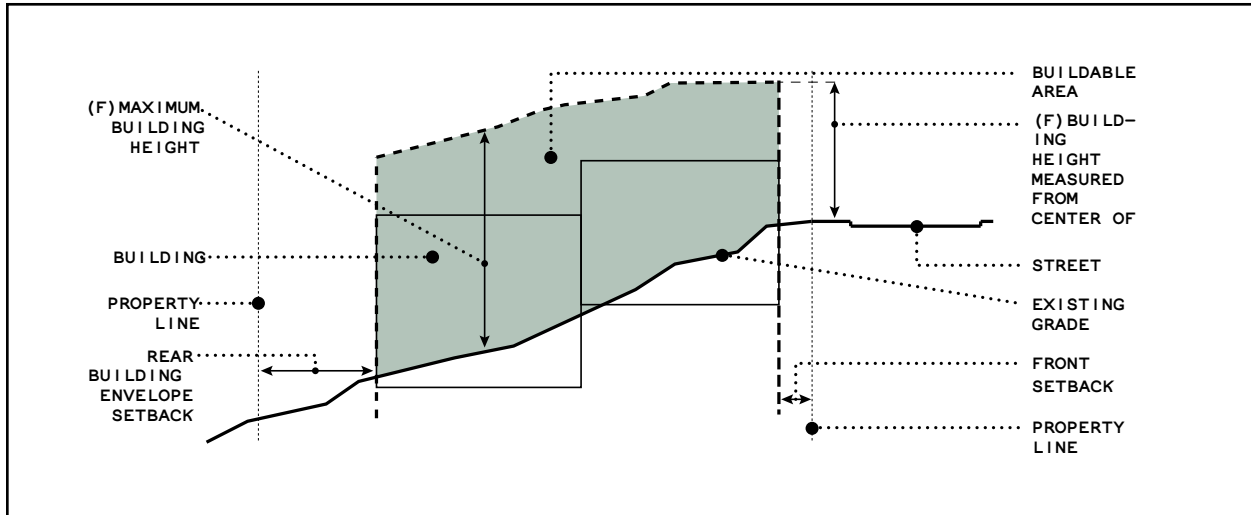
HEIGHT DIAGRAM F.2.3B.1IV (LOTS 63, 66, 69, 70, 71, 72)



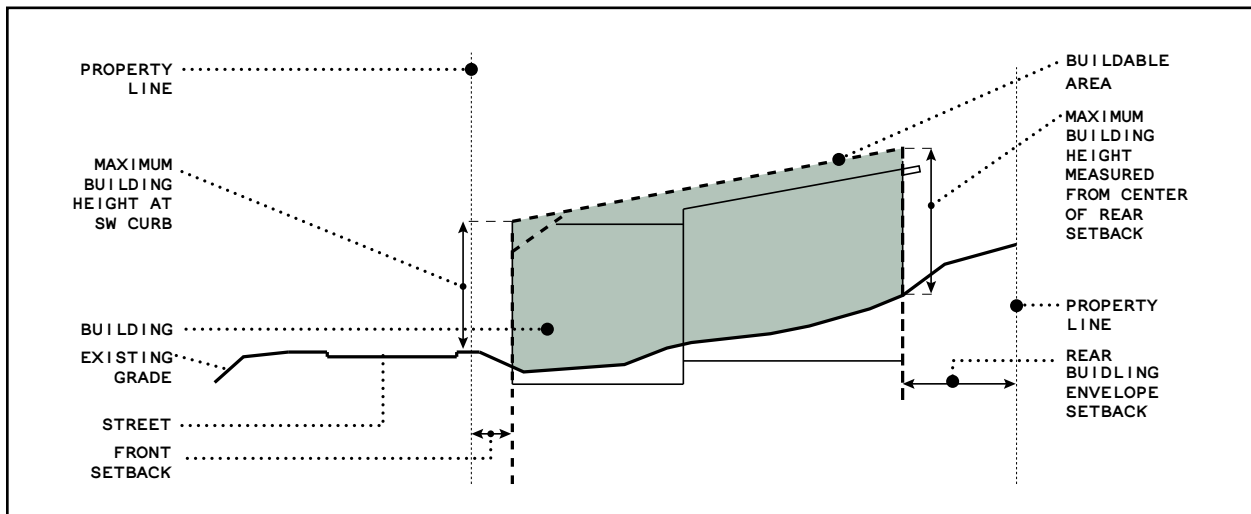
HEIGHT DIAGRAM F.2.3B.1V (LOTS 65, 67, 68)



HEIGHT DIAGRAM F.2.3B.1VI (LOTS 47, 48, 49)



HEIGHT DIAGRAM F.2.3B.1VII (LOT 64)





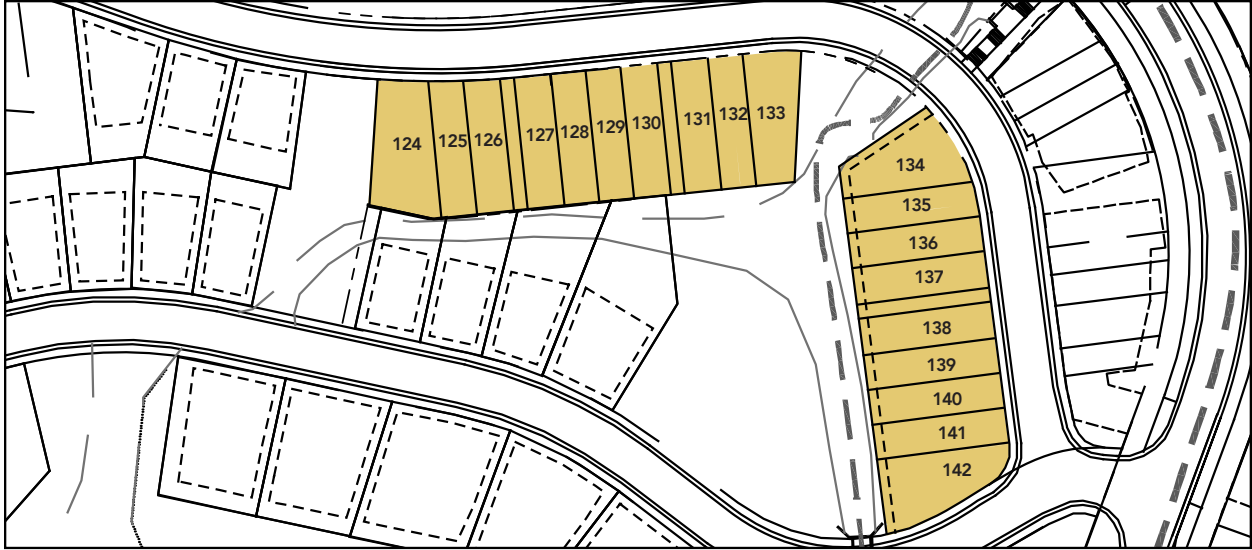




COPPER CREST WEST BY JVA WITH STUDIO MA



COPPER CREST EAST BY JVA WITH STUDIO MA



# VILLAGE TOWNHOUSE

## F.3.1 OVERVIEW

### F.3.1a Vision

The Townhouse District is located in the transition between the Village House District and Village Core. The townhouse type is characterized by a row of dwellings separated by common “party walls” to increase the density of the Village and promote street oriented activity.

Near views of nearby Lefty’s ski run and unimpeded long views of the surrounding mountains and Salt Lake Basin are provided at the upper terrace of each dwelling, providing an opportunity to create dynamic spaces for social interaction, an important part of life in the Summit community. Ski trails are woven through the District allow for the ski-in, ski-out connections to the Summit at Powder Mountain trail network.

## F.3.2 PLANNING AND DESIGN

### F.3.2a Designing with the Land

Given the smaller lot size, the massing of the Townhouse is vertically organized with major views and terraces oriented primarily to the to the south and west depending upon the lot. Most of the Village lots have steeply sloped sites which encourages a stepped massing design, keeping the building



height relatively low while allowing for views over the roofs of the houses below.

The following Design Principles have been established for the Village House:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses
- Minimize tall wall heights and unbroken surfaces, particularly on downward facing slopes

#### F.3.2b Lot, Buildable Area, and Maximum Total Building Sq/Ft

For the Townhouse District, the Buildable Area coincides with the Lot Line between two adjacent lots and the front and rear setbacks are defined by the Summit at Powder Mountain Plat drawing. The Maximum Total Building Sq/Ft is listed in Appendix I, Specific Building Requirements.

### **F.3.3 DEVELOPMENT STANDARDS**

#### F.3.3a Setbacks

- i. Setbacks are determined by the Buildable Area indicated on Summit at Powder Mountain Plat drawing and are also noted in Appendix I, Specific Building Requirements

##### F.3.3a.1 Additional Setback Criteria

- i. Roof eaves can project three feet (3') beyond the property line along the street.

#### F.3.3b Building Height and Number of Stories

- i. See Building Height Diagram F3.3b.
- ii. There is a five feet (5') exception on Maximum Building Height for Chimneys and other roof mounted mechanical equipment.
- iii. The building cannot be more than three stories and no more than two stories above the grade plane.

#### F.3.3c Parking

- i. Townhouse sites must provide parking for one car.

#### F.3.3d Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit

disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.

### **F.3.4 ARCHITECTURAL CONSIDERATIONS**

#### **F.3.4a Roofs**

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with a green roof or non-reflective, natural metals such as copper or zinc, large stone ballast or wood decking material (or any combination of the above).
- iii. Sloped Roofs to have a minimum slope of 2:12.
- iv. Roof-installed equipment and appurtenances are required to be screened with materials consistent with building.

#### **F.3.4b Walls**

- i. Continuous, unarticulated walls are strongly discouraged. Wall surfaces shall be broken up with stepped back or stepped forward terraces, volumetric cut-outs, projecting volumes or bays to reduce their presence in the surrounding landscape.
- ii. The maximum continuous height of a wall on the downward slope face is no more than two stories or twenty five feet (25') whichever is less.

#### **F.3.4c Decks**

- i. Railings on balconies, decks, stairs, and porches shall be made of materials consistent with the building. Railing materials (with the exception of glass) shall be non-reflective.
- ii. Railings or parapets to conceal deck furnishings as viewed from the street or other units.

#### **F.3.4d Basements**

- i. Basements are permitted.

#### **F.3.4e Gutters, Downspouts, and Snow Management**

- i. Gutters and downspouts shall be visually minimized, and any exposed downspouts shall be located where they integrate with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.
- ii. Snow shedding from roofs must be taken into consideration and coordinated with neighbors to avoid shedding onto neighboring property or structures.

- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.

#### F.3.4f Building Materials and Colors

- i. Approved wall materials include: dark stained wood recycled barn wood, rusted metal, grey metal (zinc), copper or painted metal, concrete foundation walls.
- ii. Sloped Roofs: rusted metal, grey metal (zinc), copper or painted metal.
- iii. Trim and Downspouts shall be copper, zinc, galvanized steel or painted metal.
- iv. Windows to be dark painted aluminum or steel, dark stained wood or metal clad wood.
- v. Materials to conform to the Utah Wildlife Urban Interface Code.
- vi. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- vii. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- viii. Bright or light trim colors which create strong contrast are not allowed.
- ix. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.
- x. A sample board including the proposed color palette will be submitted to the Architectural Review Committee for review.
- xi. The following guidelines apply:
  - a. Exterior wall colors are not to exceed an LRV (Light Reflective Value) of 32
  - b. Accent colors may not exceed an LRV of 42.

#### F.3.4g Site Lighting

- i. Conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Model Lighting Ordinance, 2011.

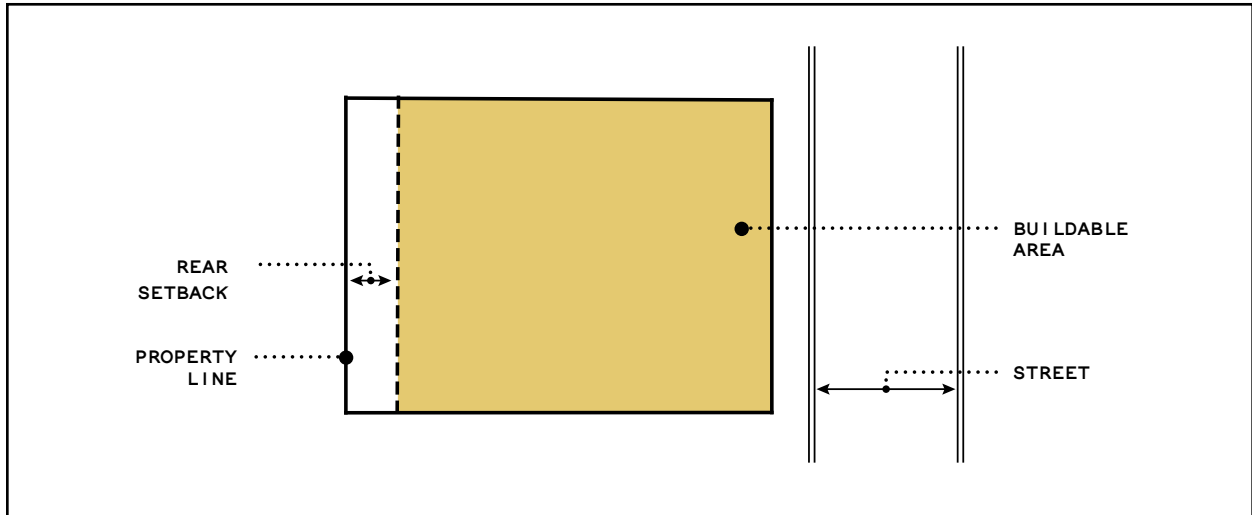
#### F.3.4h Hot Tubs

- i. Hot Tubs are permitted in the District. Tubs to be enclosed using materials consistent with the design of the dwelling.

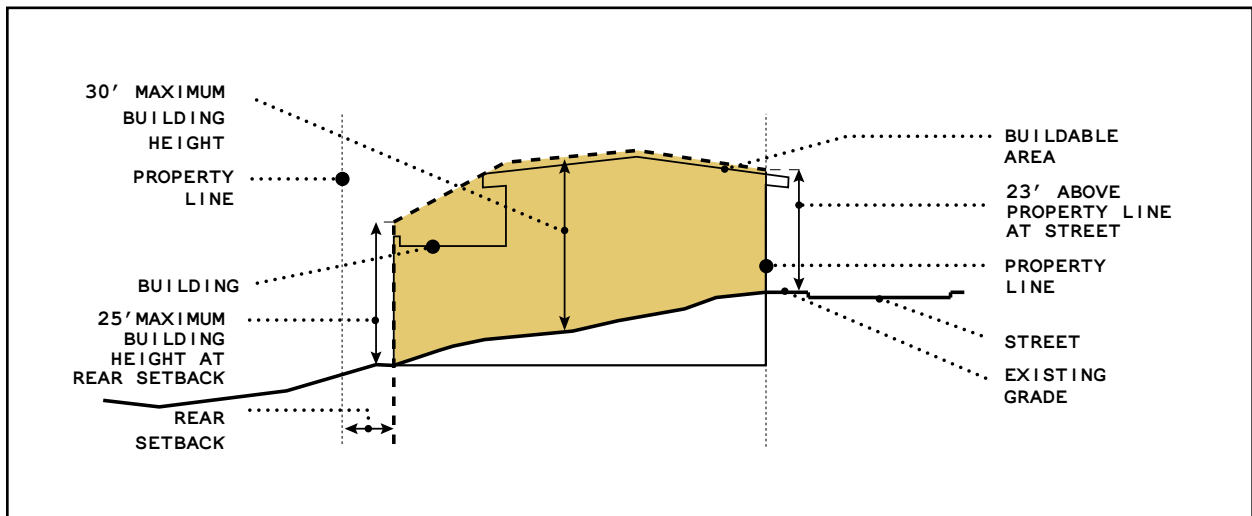
#### F.3.4g Front Porches

- i. Front porches in the form of sheltered recesses facing the street at building entries are encouraged.

### SETBACK DIAGRAM F.3.3B TOWNHOUSE (TH)



### HEIGHT DIAGRAM F.3.3B TOWNHOUSE (TH)









# VILLAGE NESTS

## F.4 OVERVIEW

### F.4a Vision

The Village Nest District is a grouping of efficiently designed structures located on a grassy slope east of the Village, bordered by an aspen grove. The District provides an opportunity of living close to nature while taking advantage of the amenities of the Village. As with other Districts, there is direct access to Summit at Powder Mountain ski trails. The site has long views of distant ridges to the southeast.

### F.4.2 PLANNING AND DESIGN

#### F.4.2a Form Based Planning

The planning for the Village Nest district is governed by the Summit at Powder Mountain site plan that determines the location, maximum plan dimensions and maximum height for each structure. The land adjacent to the Building Envelope/Buildable Area for each lot is a Limited Common Area and will be maintained by the Village Nests homeowners association. The intent is to maintain the surrounding landscape in its natural state with access limited to designated pathways. There are two types of Village Nest units; a larger two story unit along Daybreak Ridge Road that includes a garage and a two story unit without

a garage located away from the road and served by a network of stairs and paths. The building massing is specifically defined to provide a higher level of continuity within the development and allow for unimpeded views to the east from the main level of a unit.

The planning has been developed according to the following principles:

- Minimizing car access
- Maximize views
- Minimize site disturbance
- Designated pedestrian path network

#### F.4.2b Design Intent

The Design Intent is to encourage variety within a set building volume. Variation can occur in the following ways:

- Roof profiles
- Building Materials
- Composition and size of windows and decks

#### F.4.2c Building Envelope, Buildable Area, and Maximum Total Building Sq/Ft

- The Building Envelope for lots 1-8 and 15 is one thousand two hundred twenty four square feet (1,224sf) and includes area for the dwelling, an attached, single car garage and a projecting deck. The Buildable Area (Building Envelope minus the deck) is one thousand eighty square feet (1,080sf). The Maximum Total Building Sq/Ft is one thousand six hundred and seventy six (1,676sf) which includes the garage, the minimum size of which is two hundred seventy six square feet (276sf).
- The Building Envelope for lots 9-14 and 16-20 is seven hundred and twenty square feet (720sf) and includes area for the dwelling and a projecting deck. The Buildable Area (Buildable Envelope minus the deck) is five hundred and seventy six square feet (576sf). The Maximum Total Building Sq/Ft is one thousand one hundred and fifty two square feet (1,152).
- See diagrams F4.2ci, F4.3bi, F4.3cii and F4.3bii for specific information related to Building Envelope and Buildable Area, projecting decks and at-grade patios.

### F.4.3 DEVELOPMENT STANDARDS

#### F.4.3a Setbacks

- Not applicable

#### F.4.3b Building Height and Number of Stories

- i. See diagrams F4.32 and F.4.3 for specific information related to building heights.
- ii. Buildings are not to exceed two stories.
- iii. Lofts are permitted so long as they do not exceed 25% of the main floor area. Lofts are to be used for storage or utility functions only and are not considered habitable space. Windows and other articulations that create the impression of a third story are not permitted.

#### F.4.3c Parking

- i. Lots 1-8, 15, have one parking space (in an attached garage) per unit. Additional parking for the District is provided by three garages with three cars each (9 total) along Daybreak Ridge Road.

#### F.4.3d Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.

### **F.4.4 ARCHITECTURAL CONSIDERATIONS**

#### F.4.4a Roofs

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with a green roof or non-reflective, natural metals such as copper or zinc, large stone ballast or wood decking material (or any combination of the above).
- iii. Sloped roofs to have a minimum slope of 2:12.
- iv. Roof-installed equipment and appurtenances are to be kept at a minimum and are required to be screened with materials consistent with building.

#### F.4.4b Walls

- i. Given the small size of the Nests, it is assumed that the exterior walls will be relatively simple, articulated with windows, with minimal overhangs and recesses except over the projecting balcony.

#### F.4.4c Decks and Bay Windows

- i. Railings or parapets to conceal deck furnishings as viewed from the street or other units.

#### F.4.4d Basements

- i. Basements are permitted for storage purposes only.
- ii. No exterior access is permitted to basements.

#### F.4.4e Gutters, Downspouts, and Snow Management

- i. Gutters and downspouts shall be visually minimized, and any exposed downspouts shall be located where they integrate with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.
- ii. Snow shedding from roofs must be taken into consideration and coordinated with neighbors to avoid shedding onto neighboring property or structures.
- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.

#### F.4.4f Building Materials and Colors

- i. Approved wall materials include: dark stained wood recycled barn wood, rusted metal, grey metal (zinc), copper or painted metal, concrete foundation walls.
- ii. Sloped Roofs: rusted metal, grey metal (zinc), copper or painted metal.
- iii. Trim and Downspouts shall be copper, zinc, galvanized steel or painted metal.
- iv. Windows to be dark painted aluminum or steel, dark stained wood or metal clad wood.
- v. Materials to conform to the Utah Wildlife Urban Interface Code.
- vi. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- vii. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- viii. Bright or light trim colors which create strong contrast are not allowed.
- ix. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.
- x. A sample board including the proposed color palette will be submitted to the ARC for review.

- xi. The following guidelines apply:
  - a. Exterior wall colors are not to exceed an LRV (Light Reflective Value) of 32
  - b. Accent colors may not exceed an LRV of 42.

F.4.4g Site Lighting

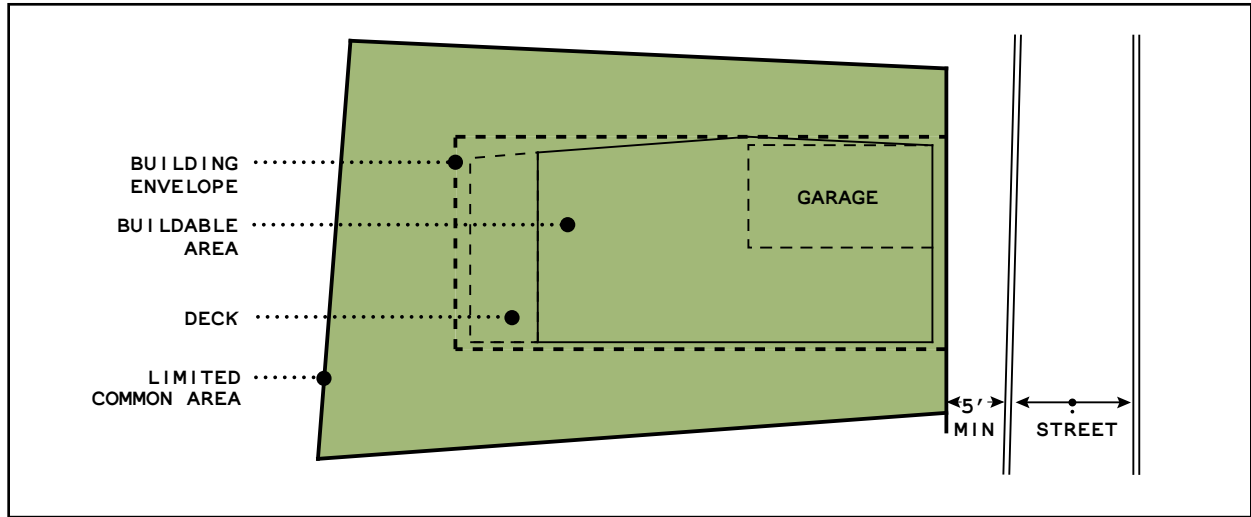
- i. Conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Model Lighting Ordinance, 2011.

F.4.4h Hot Tubs

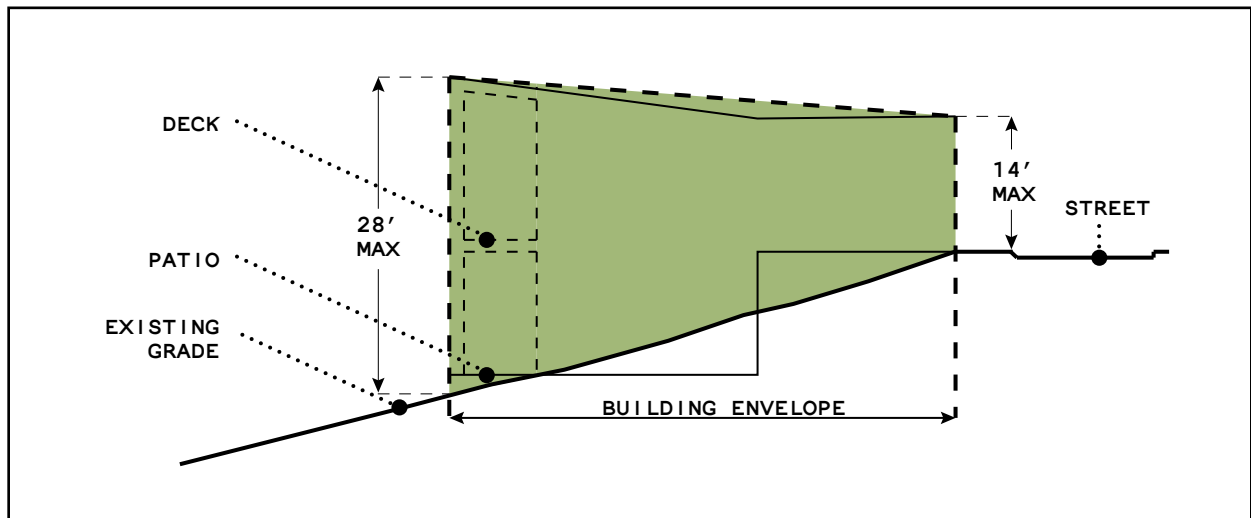
- i. Hot Tubs are not permitted in the District.



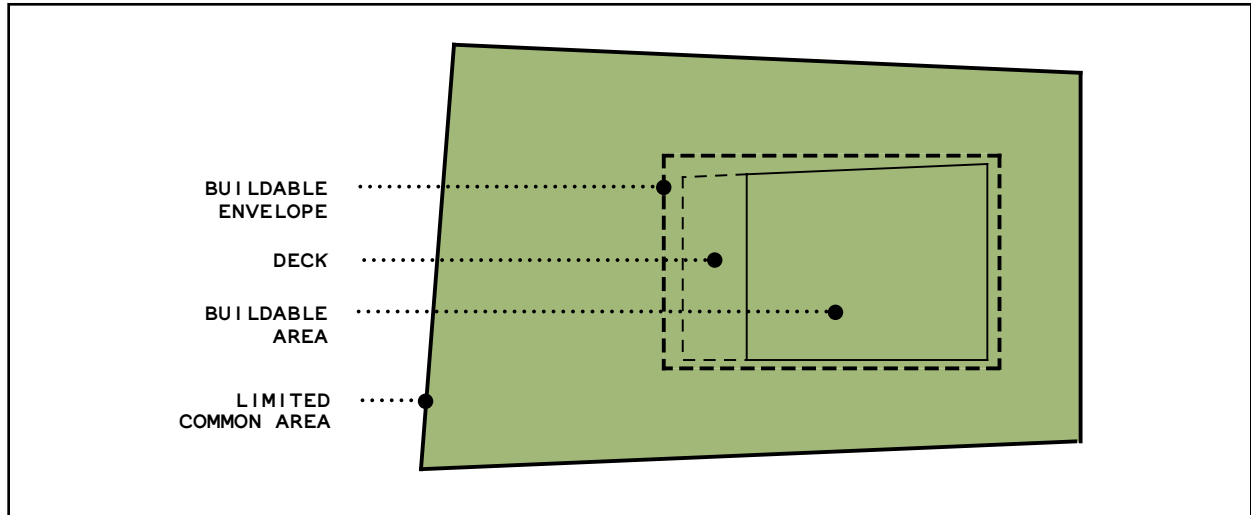
LOT DIAGRAM F.4.2CI (LOTS 1-8, 15) VILLAGE NEST (VN)



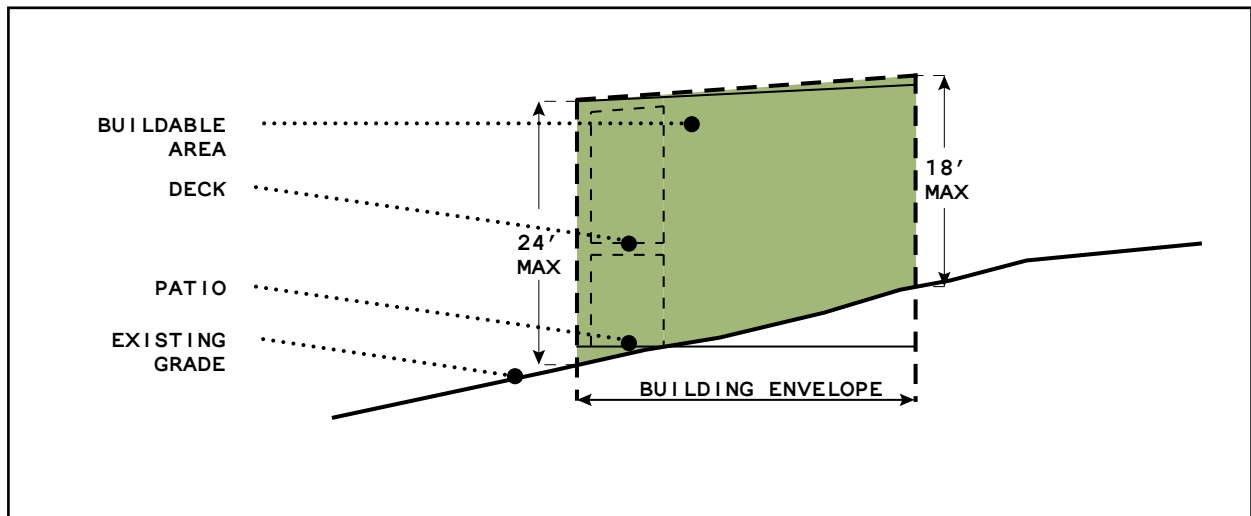
HEIGHT DIAGRAM F.4.3BI (LOTS 1-8, 15)



LOT DIAGRAM F.4.2CII (LOTS 9-14, 16-20)



HEIGHT DIAGRAM F.4.3BII (LOTS 9-14, 16-20)

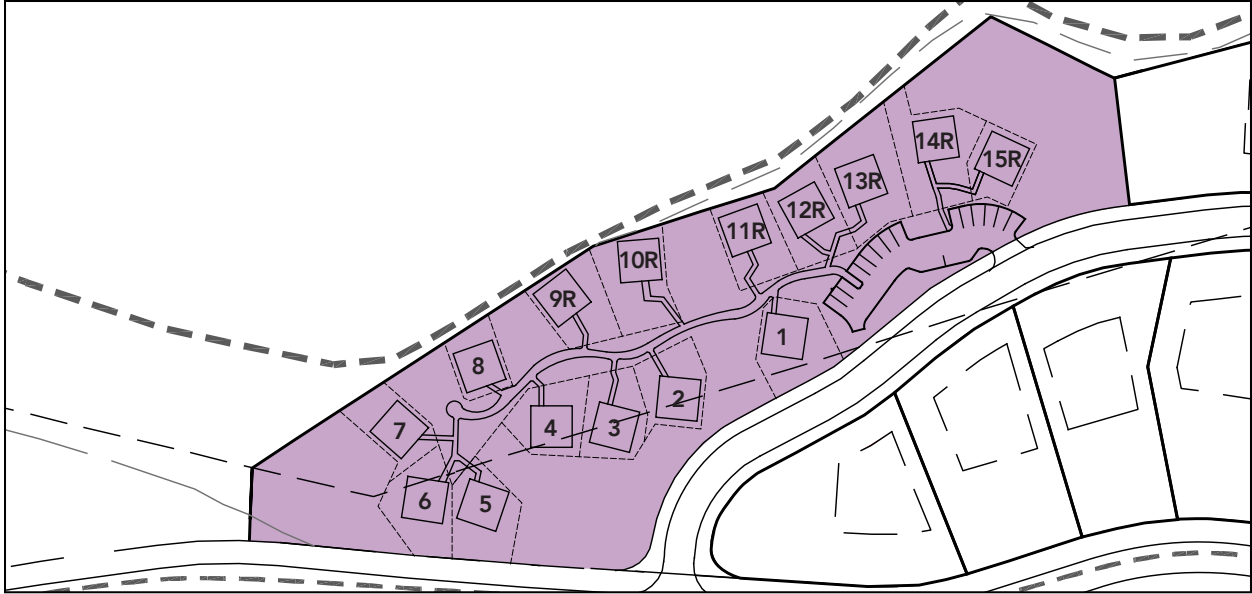




RIDGE NEST 13 BY LIFE EDITED



RIDGE NESTS BY BERTOLDI ARCHITECTS



# RIDGE NESTS

## F.5 OVERVIEW

### F.5a Vision

The Ridge Nest District is a grouping of efficiently designed structures located on a treed ridge with distant Salt Lake Basin views to the north and direct access to Hidden Lake ski trails. The Ridge Nest District is envisioned as a place for highly creative and experimental designs that expand the possibilities of building in a high mountain environment.

## F.5.2 PLANNING AND DESIGN

### F.5.2a Form Based Planning

The planning for the Ridge Nest District is governed by the Summit at Powder Mountain site plan that determines the location, maximum plan dimensions and maximum height for each structure. Parking is limited to designated parking areas remote from the units. The intent is to maintain the surrounding landscape in its natural state with access limited to designated pathways. The land adjacent to the Buildable Area is a Limited Common Area and will be maintained by the Ridge Nest homeowners association, Inc. There are two types of Ridge Nest units; a one story unit and a two story unit.

The planning has been developed according to the following principles:

- Minimizing car access
- Maximize views
- Minimize site disturbance
- Designated pedestrian path network

#### F.5.2b Design Intent

As previously noted, the Design Intent is to encourage experimentation and variety in the architecture of the District. Experimental approaches are encouraged in the following areas:

- Building Materials
- Energy and Sustainability
- Social Organization
- Building Form

#### F.5.2c Lot, Buildable Area, and Maximum Building Area

The Lot and Buildable area are coincident for the Ridge Nest District. Lot sizes and orientations have been established on the Summit at Powder Mountain Plat drawing. The Maximum Total Building Sq/Ft for lots 1-7 is one thousand eighty square feet (1,080sf). The Maximum Total Building Sq/Ft for lots 8-15 is one thousand five hundred eighty eight square feet (1,588sf).

### **F.6.3 DEVELOPMENT STANDARDS**

#### F.5.3a Setbacks

- i. Not applicable

#### F.5.3b Building Height

- i. Building Height not to exceed fourteen feet (14') above existing grade for lots 1-7 and twenty-eight feet (28') above existing grade for sites 8-15.

#### F.5.3c Parking

- i. One parking space for each dwelling is provided in nearby parking areas.

#### F.5.3d Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.



## **F.5.4 ARCHITECTURAL CONSIDERATIONS**

### **F.5.4a Roofs**

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with a green roof or non-reflective, natural metals such as copper or zinc, large stone ballast or wood decking material (or any combination of the above).
- iii. Roof-installed equipment and appurtenances are required to be screened with materials consistent with building.
- iv. Flat roofs are encouraged and snow guards or brakes are required on roofs with a slope over 2:12 to reduce avalanche potential.

### **F.5.4b Walls**

- i. Large, unarticulated wall surfaces are discouraged.

### **F.5.4c Decks and Bay Windows**

- i. Decks and bay windows can project beyond the Lot Line by thirty inches (30"). Deck and projecting bay window area shall be included in the ANSI Building Area.
- ii. Roof decks are permitted so long as not portion of the deck exceeds the Maximum Building Height. Stair Enclosures accessing the deck can protrude 8' beyond the Maximum Building Height.

### **F.5.4d Basements**

- i. Basements are permitted for storage purposes only.
- ii. No exterior access is permitted to basements.

### **F.5.4e Gutters, Downspouts, and Snow Management**

- i. Gutters and downspouts shall be visually minimized, and any exposed downspouts shall be located where they integrate with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.
- ii. Snow shedding from roofs must be taken into consideration and coordinated with neighbors to avoid shedding onto neighboring property or structures.
- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.

#### F.5.4f Building Materials and Colors

- i. There are no specific requirements for materials. The choice of materials must be consistent with the design as a whole and fit-in with the site, and shall not stand out and call undue attention to itself.
- ii. Materials to conform to the Utah Wildlife Urban Interface Code.
- iii. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- iv. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- v. Bright or light trim colors which create strong contrast are not allowed.
- vi. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.
- vii. A sample board including the proposed color palette will be submitted to the Architectural Review Committee for review.
- viii. The following guidelines apply:
  - a. Exterior wall colors are not to exceed an LRV (Light Reflective Value) of 32
  - b. Accent colors may not exceed an LRV of 42.

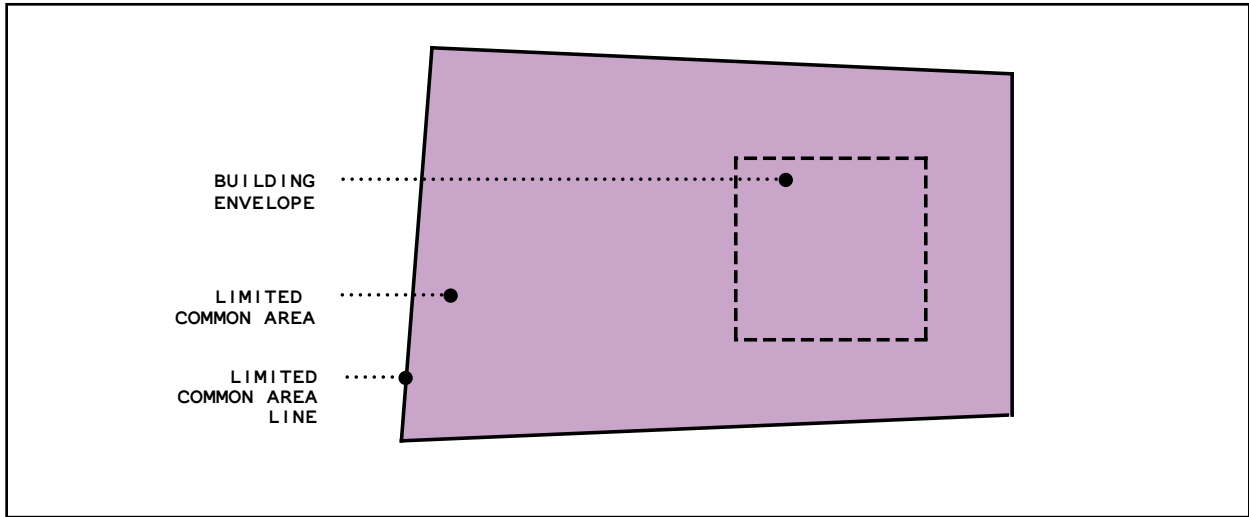
#### F.5.4g Site Lighting

- i. Conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Model Lighting Ordinance, 2011.

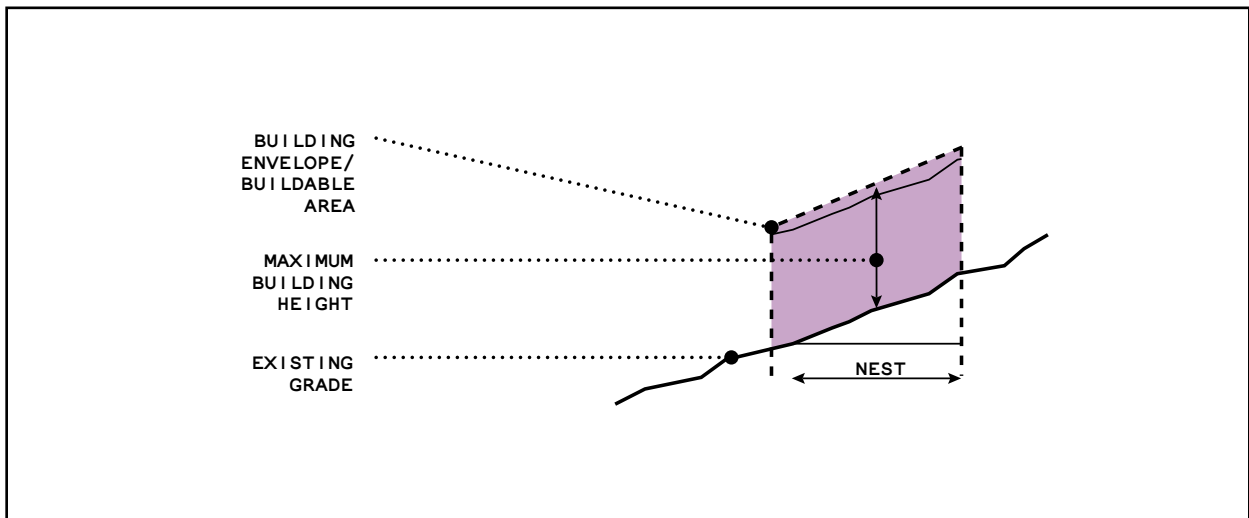
#### F.5.4h Hot Tubs

- i. Hot Tubs are not permitted in the Ridge Nests district.

**LOT DIAGRAM E.5.2C RIDGE NESTS (RN)**



**HEIGHT DIAGRAM E.5.3B RIDGE NESTS (RN)**







G.

# LANDSCAPE STANDARDS

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## G.1 GENERAL PLANTING GUIDELINES

In general, the planting design of each Lot is to match and enhance the existing site plant palette. All exterior planted trees, shrubs, and ground covers shall be at least 50 percent indigenous to the Wasatch Mountains area and selected to match the style of the Summit at Powder Mountain development. Indigenous plants are to be mixed with those traditionally used in western mountain communities that are sensitive to the water-conscious requirements of the western high deserts and thrive in mountainous winter conditions.

1. Swatches of a single type of plant material are to be planted in drifts or large groupings similar to the natural landscape patterns on the site. A list of proposed plants can be found in Appendix V. The following are inappropriate and not allowed:

- a. Use of invasive alien plants capable of spreading by seed, root growth, or runners
- b. Density of non-native plants and “suburban” plants
- c. Extensive mixing of plants from a variety of climates, habitats, forms, and colors

Appendix V lists approved plants. These lists are not comprehensive, and plants that are not on these lists may be used as approved by the ARC.

### G.1a Trees

Extra precautions are to be made to retain existing trees and vegetation. Summit at Powder Mountain’s Arborist or an assigned developer’s representative will meet with builders prior to land disturbance to review the staking of the footprint and flag trees to be preserved. Builders are encouraged to

preserve as many trees as possible. In addition, trees should be retained along shared property lines and between building areas. In areas where existing trees cannot be saved in sufficient quantity, native species from the approved list in "Appendix V" are to be planted in accordance with elevation, soil conditions, and light levels.

G.1b Shrubs

Shrubs used on Summit at Powder Mountain properties should be loosely dense, with emphasis on natural massings. All shrubs planted are to be from the attached approved list of species. Shrubs at the foundation of a structure may be grouped with architectural elements. Potted shrubs and garden plantings are to be used tastefully around the front and sides of key outdoor spaces.

G.1c Ground Cover

Extensive use of ground cover is encouraged as an effective way to visually and environmentally cover vast areas of soil. Native species that provide seasonal interest, food, and coverage are required.

G.1d Lawns, Short Grass & Turf

Lawns, short grass areas, and turf should be used as seldom as possible and must be limited in size due to the environmentally sensitive nature of Summit at Powder Mountain's high mountain plateau.

The ARC must review plans for lawns, short grass, and turf and their applied locations. Approval depends on the lot and its relationship to the street and public amenities.

All lawn, short grass and turf areas must adhere to irrigation requirements noted in Section F.5. Turf grass over 6 inches (6") in height is not permitted unless the turf is a naturally maintained meadow-grass turf variety installed for water-conservation planting, such as BioMeadow, from BioGrass.

HOMESITE TYPE	LOCATIONS ALLOWED	AMOUNT
Mountain House (MH)	Any Area	1,500 SF. Max.
Village House (VH)	Rear & Side Yard	Not Allowed
Village Townhouse (VT)	Rear Yard Only	Not Allowed
Nest (N)	None	N/A



G.1e Annual & High-Maintenance Flowering Ornamental Shrubs

Perennial flowers are encouraged on Summit at Powder Mountain properties while annuals and higher maintenance shrubs should be used minimally. Annuals and similar high-maintenance shrubs will not be replaced or maintained by the community landscape-maintenance company, and it will be the responsibility of the Owner to maintain and replace plants in accordance with general professional landscape practices.

**G.2 VEGETATION, PROTECTION, REMOVAL & THINKING**

Building improvements are to be designed around existing landscape features such as aspen groves, fir stands, and mountain shrub massings and should always aim to be located at the edges of natural landforms. The removal of vegetation on lots is permitted only for clearing of a driveway or home construction. The ARC may approve limited tree removal or thinning to open up selective views. Unauthorized removal or cutting of trees/shrubs by the Owner or consultant is not allowed and is subject to fines up to \$5,000, depending upon the size of the tree/shrubs.

**G.3 WILDFIRE SAFETY MEASURES**

The following safety standards have been implemented as preventive measures against wildfire:

1. All lots are to observe all safety measures as specified by the Weber County Development Code.
2. Potential fire fuel, such as dead limbs, leaves, needles, and other material, is to be removed from areas immediately surrounding built structures and gutters.
3. Maintenance of a thirty foot (30') safety zone in all directions around a home is encouraged.

Within this zone, the following fire-prevention actions are recommended:

- a. Regularly dispose of slash and debris materials resulting from thinning operations.
- b. Periodically mow dry grasses and vegetation.
- c. Stack firewood away from the home.
- d. Maintain an irrigated area.

**G.4 WILDLIFE**

Landscape plans must be sensitive to the use and protection of plants that may be desirable to foraging animals.

## **G.5 MAINTENANCES**

### Common Areas

The Association will maintain the common areas, which are defined on the Master Plan or individual site plan.

### Residences

1. Maintenance guidelines are as follows:

a. The Owner shall provide maintenance of his or her own property and landscape improvement.

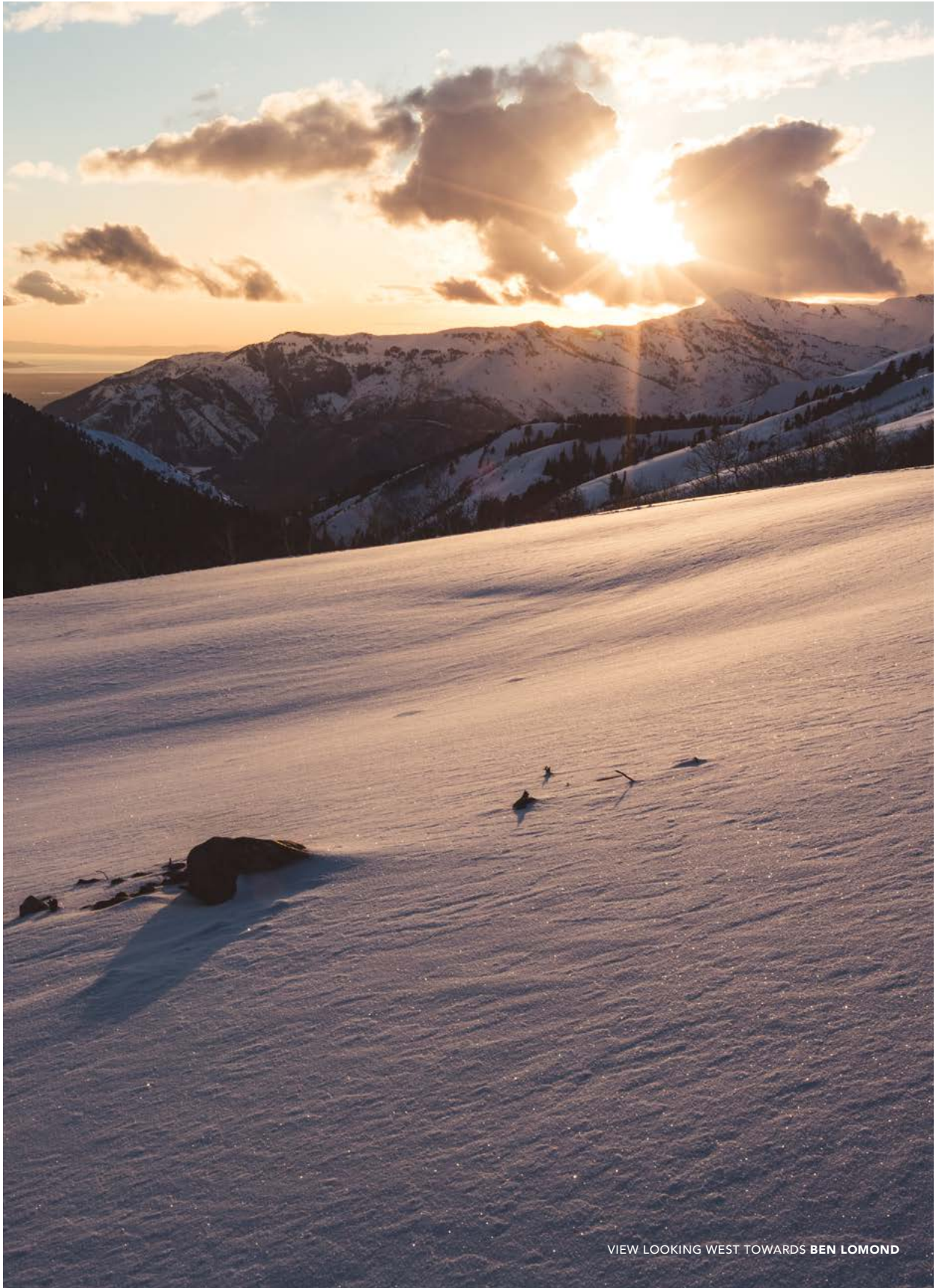
b. All plants must be kept from spreading to neighboring lots except where an agreement noting otherwise is reached between two neighbors or when the same such plant is already planted on the adjacent lot line.

c. Use of environmentally safe chemicals, herbicides, and pesticides is required, with only special exceptions as approved by Summit at Powder Mountain.

d. All irrigation in landscape beds should be designed to conserve water, which is important in Summit at Powder Mountain's high-altitude desert climate. Irrigation is to be "drip" irrigation, and Owners should maximize use of xeriscaping. If an Owner desires a pop-up or spray-head type of irrigation system for sod, it must be separated from the reuse system and connected to potable water, per the law. The cost to install and maintain this type of irrigation is to be paid by the Owner.







VIEW LOOKING WEST TOWARDS BEN LOMOND

# APPENDIX

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- 78 I. Specific Building Requirements
- 84 II. Green Building Standards Addendum
- 89 III. Applicable Building and Development Regulations
- 91 IV. Community Regulations
- 95 V. Acceptable Landscape
- 100 VI. Architectural Review Committee Overview
- 108 VII. ARC Submittal Checklist



# **Appendix I**

## **Specific Building Requirements**



**RANCH ESTATE, MOUNTAIN HOUSE**

HOMESITE	LOT SIZE	AVERAGE BUILDING ENVELOPE SLOPE	BUILDING ENVELOPE/ BUILDABLE AREA SQ/FT	MAX. TOTAL BLDG. SQ/FT*	MAX. HEIGHT ABOVE NATURAL GRADE***	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	DISTRICT**
5	2.44 Acres	27.00%	10,433	5,500	28'	NA	NA	NA	RE
6	2.13 Acres	26.30%	12,914	5,500	28'	NA	NA	NA	RE
7	1.66 Acres	19.50%	9,863	5,500	28'	NA	NA	NA	MH
8	3.16 Acres	22.80%	20,459	5,500	28'	NA	NA	NA	MH
117R	1.68 Acres	33.50%	15,332	5,500	28'	NA	NA	NA	CM
12	4.47 Acres	25.10%	12,997	5,500	28'	NA	NA	NA	MH
13	3.44 Acres	30.20%	14,739	5,500	28'	NA	NA	NA	MH
14	4.28 Acres	30.20%	15,625	5,500	28'	NA	NA	NA	MH
15	2.31 Acres	25.60%	12,104	5,500	28'	NA	NA	NA	MH
16	2.02 Acres	25.50%	12,763	5,500	28'	NA	NA	NA	MH
17	2.17 Acres	23.30%	11,589	5,500	28'	NA	NA	NA	MH
18	1.69 Acres	16.20%	11,041	5,500	25'	NA	NA	NA	MH
19	2.07 Acres	19.20%	12,199	5,500	25'	NA	NA	NA	MH
20	1.33 Acres	24.00%	17,556	5,500	25'	NA	NA	NA	MH
21	2.12 Acres	19.20%	23,285	5,500	25'	NA	NA	NA	MH
24	.53 Acres	17.90%	5,035	4,500	28'	NA	NA	NA	MH
25	.50 Acres	23.40%	5,914	4,500	28'	NA	NA	NA	MH
26	.51 Acres	32.00%	5,281	4,500	28'	NA	NA	NA	MH
27	.53 Acres	19.50%	5,435	4,500	28'	NA	NA	NA	MH
28	.60 Acres	20.50%	5,950	4,500	28'	NA	NA	NA	MH
29	.72 Acres	14.10%	6,523	4,500	28'	NA	NA	NA	MH
30	.71 Acres	14.80%	4,985	4,500	28'	NA	NA	NA	MH
31	.86 Acres	3.70%	6,083	4,500	28'	NA	NA	NA	MH
32	.80 Acres	12.20%	9,852	4,500	28'	NA	NA	NA	MH
33	.63 Acres	15.20%	6,200	4,500	28'	NA	NA	NA	MH
34	.53 Acres	28.50%	6,309	4,500	35'	NA	NA	NA	MH

\* The Maximum Total Building Sq/Ft is a building size restriction. Actual sizes will be dictated by site specific topography and the applicable Design Guidelines. The Maximum Total Building Sq/Ft is to be calculated as per ANSI Z765-2003 with the addition of the garage.

\*\* Districts: Mountain House (MH), Village House (VH), Village Townhouse (VT), Village Sliver Nest (VSN), Village Nest (VN), Ridge Nest (RN), Horizon Run (HR), Commercial (CM), Ranch Estate (RE)

\*\*\* Refer to applicable Design Guidelines sections for building height information

**MOUNTAIN HOUSE, VILLAGE HOUSE, VILLAGE TOWNHOUSES**

HOMESITE	LOT SIZE	AVERAGE BUILDING ENVELOPE SLOPE	BUILDING ENVELOPE/ BUILDABLE AREA SQ/FT	MAX. TOTAL BLDG. SQ/FT*	MAX. HEIGHT ABOVE NATURAL GRADE***	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	DISTRICT**
36	2.21 Acres	23.20%	9,066	5,500	25'	NA	NA	NA	MH
37	2.01 Acres	24.50%	8,567	5,500	25'	NA	NA	NA	MH
38	2.70 Acres	27.60%	9,592	5,500	28'	NA	NA	NA	MH
39	2.23 Acres	28.20%	9,600	5,500	28'	NA	NA	NA	MH
40	1.38 Acres	28.60%	9,404	5,500	28'	NA	NA	NA	MH
41	1.16 Acres	27.20%	9,304	5,500	28'	NA	NA	NA	MH
42	1.06 Acres	30.90%	12,174	5,500	28'	NA	NA	NA	MH
43	.75 Acres	26.60%	7,305	5,500	28'	NA	NA	NA	MH
45	.19 Acres	37.20%	3,991	5,500	28'	5'	5'	NA	MH
46	.23 Acres	37.70%	3,731	5,500	28'	5'	5'	NA	MH
47	3,258 Sq. Ft.	36.00%	1,781	5,500	***	5'	5'	NA	VH
48	2,624 Sq. Ft.	34.00%	1,221	4,200	***	5'	5'	NA	VH
49	2,801 Sq. Ft.	34.00%	1,303	4,200	***	5'	5'	NA	VH
124	2,652 Sq. Ft.	22.00%	1,864	3,8728	***	0'	5'	5'	VT
125	1,546 Sq. Ft.	22.00%	1,347	2,694	***	0'	0	5'	VT
126	1,591 Sq. Ft.	29.70%	1,382	2,764	***	0'	0	5'	VT
127	1,575 Sq. Ft.	29.70%	1,381	2,762	***	0'	0	5'	VT
128	1,500 Sq. Ft.	24.30%	1,300	2,600	***	0'	0	5'	VT
129	1,500 Sq. Ft.	19.50%	1,300	2,600	***	0'	0	5'	VT
130	1,575 Sq. Ft.	16.00%	1,365	2,730	***	0'	0	5'	VT
131	1,575 Sq. Ft.	11.60%	1,365	2,730	***	0'	0	5'	VT
132	1,500 Sq. Ft.	11.60%	1,300	2,600	***	0'	0	5'	VT
133	2,080 Sq. Ft.	11.60%	1,655	3,310	***	0'	5'	5'	VT
134	2,256 Sq. Ft.	17.80%	1,383	2,766	***	0'	5'	5'	VT
135	1,490 Sq. Ft.	15.10%	1,400	2,800	***	0'	5'	5'	VT
136	1,500 Sq. Ft.	22.90%	1,470	2,940	***	0'	0'	5'	VT
137	1,575 Sq. Ft.	23.00%	1,400	2,800	***	0'	0'	5'	VT

\* The Maximum Total Building Sq/Ft is a building size restriction. Actual sizes will be dictated by site specific topography and the applicable Design Guidelines. The Maximum Total Building Sq/Ft is to be calculated as per ANSI Z765-2003 with the addition of the garage.

\*\* Districts: Mountain House (MH), Village House (VH), Village Townhouse (VT), Village Sliver Nest (VSN), Village Nest (VN), Ridge Nest (RN), Horizon Run (HR), Commercial (CM), Ranch Estate (RE)

\*\*\* Refer to applicable Design Guidelines sections for building height information

MOUNTAIN HOUSE, VILLAGE HOUSE, VILLAGE TOWNHOUSES									
HOMESITE	LOT SIZE	AVERAGE BUILDING ENVELOPE SLOPE	BUILDING ENVELOPE/ BUILDABLE AREA SQ/FT	MAX. TOTAL BLDG. SQ/FT*	MAX. HEIGHT ABOVE NATURAL GRADE***	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	DISTRICT**
138	1,575 Sq. Ft.	23.30%	1,470	2,940	***	0'	0'	5'	VT
139	1,500 Sq. Ft.	23.50%	1,400	2,800	***	0'	0'	5'	VT
140	1,500 Sq. Ft.	21.40%	1,400	2,800	***	0'	0'	5'	VT
141	1,500 Sq. Ft.	26.40%	1,400	2,800	***	0'	0'	5'	VT
142	2,299 Sq. Ft.	24.60%	2,002	4,000	***	0'	0'	5'	VT
63	4,427 Sq. Ft.	4.10%	1,441	4,500	***	5'	5'	NA	VH
64	5,148 Sq. Ft.	4.30%	2,046	2,500	***	5'	5'	NA	VH
65	2,960 Sq. Ft.	8.90%	1,295	2,500	***	5'	5'	NA	VH
66	3,145 Sq. Ft.	8.90%	1,566	2,500	***	5'	5'	NA	VH
67	2,575 Sq. Ft.	20.00%	1,324	2,500	***	5'	5'	NA	VH
68	2,835 Sq. Ft.	24.00%	1,410	2,500	***	5'	5'	NA	VH
69	2,804 Sq. Ft.	21.00%	1,410	2,500	***	5'	5'	NA	VH
70	2,773 Sq. Ft.	27.9%	1,410	3,205	***	5'	5'	NA	VH
71	2,716 Sq. Ft.	30.40%	1,258	2,500	***	5'	5'	NA	VH
72	3,233 Sq. Ft.	33.10%	1,327	2,500	***	5'	5'	NA	VH
73	7,372 Sq. Ft.	33.50%	4,556	4,500	35'	5'	5'	NA	MH
74	7,495 Sq. Ft.	25.3%	4,481	5,500	35'	5'	5'	NA	MH
75	6,808 Sq. Ft.	30.80%	3,742	4,500	35'	5'	5'	NA	MH
77	.52 Acres	29.20%	5,514	4,500	28'	5'	5'	NA	MH
78	.34 Acres	19.50%	6,617	4,500	28'	5'	5'	NA	MH
79	.49 Acres	13.90%	5,636	4,000	28'	5'	5'	NA	MH
80	.35 Acres	10.4%	4,450	5,500	***	5'	10'/5'	20'	VH
81	4,779 Sq. Ft.	15.4%	2,919	5,500	***	5'	5'	20'	VH
82	4,645 Sq. Ft.	18.6%	3,137	5,500	***	5'	5'	20'	VH
83	5,356 Sq. Ft.	24.1%	3,172	5,500	***	5'	5'	20'	VH
84	4,843 Sq. Ft.	28.4%	3,342	5,500	***	5'	5'	20'	VH
85	4,944 Sq. Ft.	34.3%	3,371	5,500	***	5'	5'	20'	VH
86	4,910 Sq. Ft.	33.3%	3,290	5,500	***	5'	5'	20'	VH

\* The Maximum Total Building Sq/Ft is a building size restriction. Actual sizes will be dictated by site specific topography and the applicable Design Guidelines. The Maximum Total Building Sq/Ft is to be calculated as per ANSI Z765-2003 with the addition of the garage.

\*\* Districts: Mountain House (MH), Village House (VH), Village Townhouse (VT), Village Sliver Nest (VSN), Village Nest (VN), Ridge Nest (RN), Horizon Run (HR), Commercial (CM), Ranch Estate (RE)

\*\*\* Refer to applicable Design Guidelines sections for building height information

VILLAGE NEST									
HOMESITE	LOT SIZE	AVERAGE BUILDING ENVELOPE SLOPE	BUILDING ENVELOPE/ BUILDABLE AREA SQ/FT	MAX. TOTAL BLDG. SQ/FT*	MAX. HEIGHT ABOVE NATURAL GRADE***	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	DISTRICT**
1	1,530 Sq. Ft.	17.9%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
2	1,530 Sq. Ft.	16.5%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
3	1,530 Sq. Ft.	14.8%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
4	1,530 Sq. Ft.	14.5%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
5	1,530 Sq. Ft.	14.8%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
6	1,530 Sq. Ft.	20.46%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
7	1,530 Sq. Ft.	45.8%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
8	1,530 Sq. Ft.	26.6%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
9	900 Sq. Ft.	25.6%	720/576	1,152	***	NA	NA	NA	VN
10	900 Sq. Ft.	20.2%	720/576	1,152	***	NA	NA	NA	VN
11	900 Sq. Ft.	23.4%	720/576	1,152	***	NA	NA	NA	VN
12	900 Sq. Ft.	21.1%	720/576	1,152	***	NA	NA	NA	VN
13	900 Sq. Ft.	17.4%	720/576	1,152	***	NA	NA	NA	VN
14	900 Sq. Ft.	17.4%	720/576	1,152	***	NA	NA	NA	VN
15	1,530 Sq. Ft.	31.6%	1,224/1,080	1,676/1,400 ****	***	5'	NA	NA	VN
16	900 Sq. Ft.	15.3%	720/576	1,152	***	NA	NA	NA	VN
17	900 Sq. Ft.	13.1%	720/576	1,152	***	NA	NA	NA	VN
18	900 Sq. Ft.	18.3%	720/576	1,152	***	NA	NA	NA	VN
19	900 Sq. Ft.	21.5%	720/576	1,152	***	NA	NA	NA	VN
20	900 Sq. Ft.	21.1%	720/576	1,152	***	NA	NA	NA	VN

\* The Maximum Total Building Sq/Ft is a building size restriction. Actual sizes will be dictated by site specific topography and the applicable Design Guidelines. The Maximum Total Building Sq/Ft is to be calculated as per ANSI Z765-2003 with the addition of the garage.

\*\* Districts: Mountain House (MH), Village House (VH), Village Townhouse (VT), Village Sliver Nest (VSN), Village Nest (VN), Ridge Nest (RN), Horizon Run (HR), Commercial (CM), Ranch Estate (RE)

\*\*\* Refer to applicable Design Guidelines sections for building height information

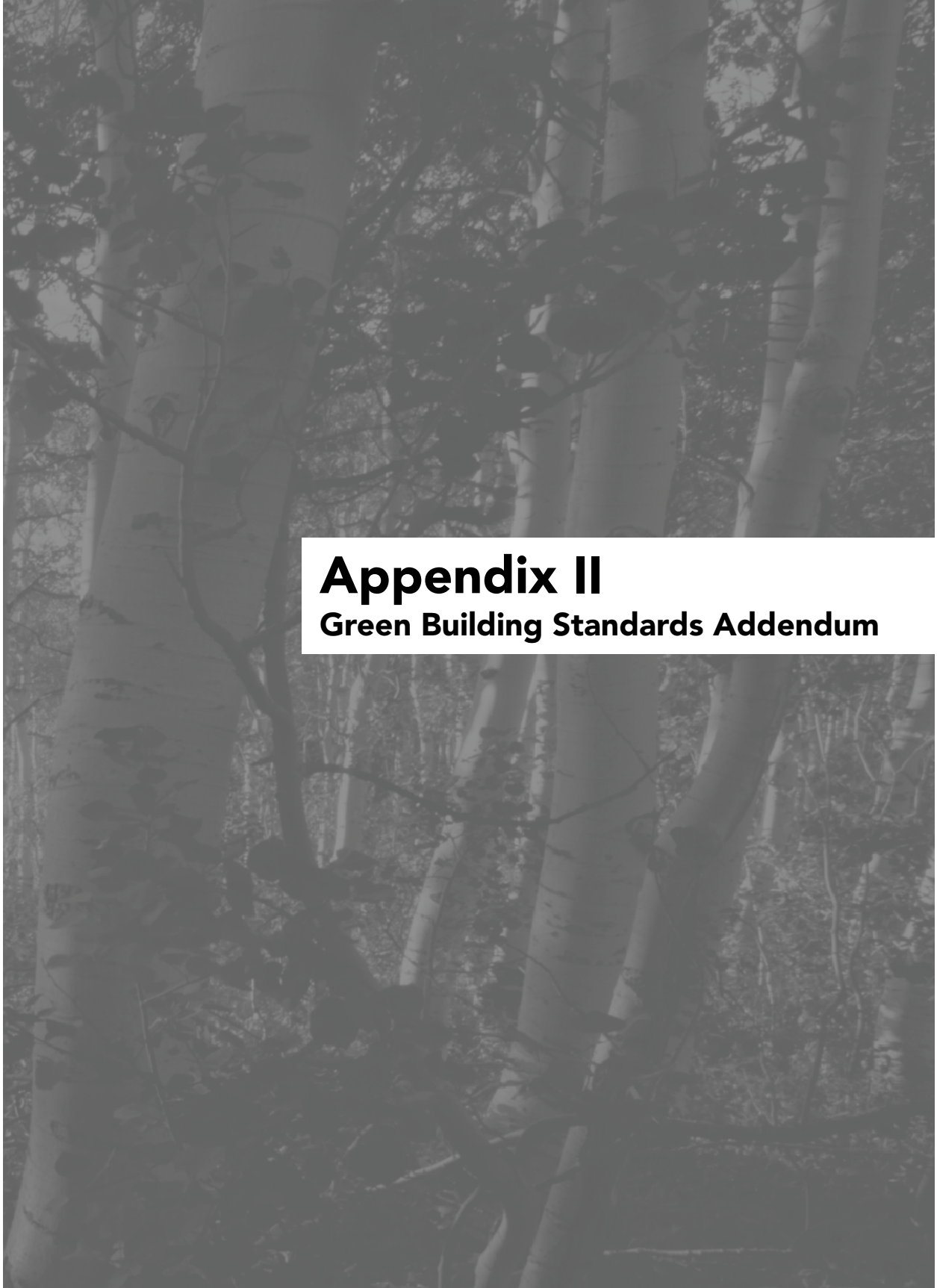
\*\*\*\* With garage/liveable

RIDGE NEST									
HOMESITE	LOT SIZE	AVERAGE BUILDING ENVELOPE SLOPE	BUILDING ENVELOPE/ BUILDABLE AREA SQ/FT	MAX. TOTAL BLDG. SQ/FT*	MAX. HEIGHT ABOVE NATURAL GRADE***	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	DISTRICT**
1	1,293		1,293	1,080	14'	NA	NA	NA	RN
2	1,293		1,293	1,080	14'	NA	NA	NA	RN
3	1,293		1,293	1,080	14'	NA	NA	NA	RN
4	1,293		1,293	1,080	14'	NA	NA	NA	RN
5	1,293		1,293	1,080	14'	NA	NA	NA	RN
6	1,293		1,293	1,080	14'	NA	NA	NA	RN
7	1,293		1,293	1,080	14'	NA	NA	NA	RN
8	1,293		1,293	1,588	28'	NA	NA	NA	RN
10	1,293		1,293	1,588	28'	NA	NA	NA	RN
11	1,293		1,293	1,588	28'	NA	NA	NA	RN
12	1,293		1,293	1,588	28'	NA	NA	NA	RN
13	1,293		1,293	1,588	28'	NA	NA	NA	RN
14	1,293		1,293	1,588	28'	NA	NA	NA	RN
15	1,293		1,293	1,588	28'	NA	NA	NA	RN

\* The Maximum Total Building Sq/Ft is a building size restriction. Actual sizes will be dictated by site specific topography and the applicable Design Guidelines. The Maximum Total Building Sq/Ft is to be calculated as per ANSI Z765-2003 with the addition of the garage.

\*\* Districts: Mountain House (MH), Village House (VH), Village Townhouse (VT), Village Sliver Nest (VSN), Village Nest (VN), Ridge Nest (RN), Horizon Run (HR), Commercial (CM), Ranch Estate (RE)

\*\*\* Refer to applicable Design Guidelines sections for building height information



# **Appendix II**

## **Green Building Standards Addendum**



## NATIONAL GREEN BUILDING STANDARD ADDENDUM

### ADDITIONAL MANDATORY UNITS

Compliance with the Silver standard of the 2012 (or current) ICC-700 National Green Building Standard for buildings is required. The ICC-700 National Green Building Standard establishes criteria for rating the environmental impact of design and construction practices on a point based system. Meeting the Silver standard requires a minimum of 349 points awarded as well as all mandatory practices. The standard does not supersede any laws, codes, or ordinances.

Summit at Powder Mountain requires additional mandatory practices from the Standard as listed below as well as a total of 85 additional point from the following chapters:

- Chapter 5: Lot Design, Preparation, & Development (15 points)
- Chapter 7: Energy Efficiency (20 points)
- Chapter 8: Water Efficiency (50 points)

### LOT DESIGN, PREPARATION AND DEVELOPMENT

#### 503.2 Slope Disturbance

Long-term erosion effects are reduced through the design and implementation of terracing, retaining walls, landscaping, or re-stabilization techniques.

#### 503.3 Soil Disturbance and Erosion

Limits of clearing and grading are demarcated on the Lot plan.

#### 503.4 Stormwater Management

1. Natural water and drainage features are preserved.
2. Facilities that minimize concentrated flows and simulate flows found in natural hydrology by the use of vegetative swales, french drains, wetlands, drywells, rain gardens or similar infiltration features.

#### 503.5 Landscape Plan

1. Where a lot is less than 50% turf, a plan is formulated to restore or enhance natural vegetation that is cleared during construction. Landscaping is phased to coincide with achievement of final grades to ensure denuded areas are quickly vegetated.
2. Plants with similar watering needs are grouped (hydrozoning) and shown on the Lot plan.

### 504.3 Soil disturbance and erosion implementation

1. Sediment and erosion controls are installed on the Lot and maintained in accordance with the stormwater pollution prevention plan.
2. Limits of clearing and grading are staked out on the Lot.

## RESOURCE EFFICIENCY

### 605.1 Construction waste management plan

A construction waste management plan is developed, posted at the jobsite, and implemented with a goal of recycling or salvaging a minimum of 50% (by weight) of construction waste.

### 606.1 Biobased Products

Two types of biobased materials are used, each for more than one percent of the project's projected building material cost.

### 607 Recycling

A built-in collection space in each kitchen and an aggregation/pick-up space in a garage, covered outdoor space, or other area for recycling containers is provided.

## ENERGY EFFICIENCY

### 701.1.1 Minimum Performance Path requirements

A building complying with Section 702 shall exceed the baseline minimum performance required by the ICC IECC by 40% and shall include a minimum of two practices from Section 704.2 Lighting. (LED lighting is required.)

### 701.1.2 Minimum Prescriptive Path requirements

A building complying with Section 708 shall obtain a minimum of 80 points from Section 703 and shall include a minimum of two practices for Section 704.2 Lighting. (LED lighting is required.)

## WATER EFFICIENCY

### 801.1 Indoor hot water usage

The maximum volume from the water heater to the termination of the fixture supply at furthest fixture is 64 ounces (0.5 gallons)

### 801.2 Water-conserving appliances

ENERGY STAR or equivalent water conserving appliances are installed. The following additional items are required by Summit at Powder Mountain:

- Install high efficiency dishwashers using no more than 6 gallons per cycle.
- Install high efficiency front loading washing machines with an energy star water factor (WF) of no more than 5.

### 801.3 Shower Heads

The total maximum combined flow rate of all shower heads controlled by a single valve at any point in time in a shower compartment is 1.6 to less than 2.5gpm. Maximum of two valves are installed per shower compartment. The flow rate is tested at 80psi in accordance with ASME A112.18.1. Shower heads are served by an automatic compensating valve that complies with ASSE 1016 or ASME A112.18.1 and specifically designed to provide thermal shock and scald protection at the flow rate of the shower head.

### 801.4 Lavatory Faucets

Water-efficiency lavatory faucets with maximum flow rate of 1.5 gpm tested at 60psi in accordance with ASME A112.18.1 are installed.

1. A bathroom (all faucets in a bathroom are in compliance)
2. All lavatory faucets in the dwelling unit and common areas

### 801.5 Water closets and urinals

A water closet is installed with an effective flush volume of 1.28 gallons or less when tested in accordance with ASME A112.19.2/CSA B45.1 or ASME A112.19.14 as applicable, and is accordance with EPA Water Sense Tank-Type Toilets.

### 801.6.2 Drip Irrigation is installed

Drip irrigation is installed for landscape beds.

### 801.6.4 Drip irrigation zones specifications show plant type by name and water use/need for each emitter

### 801.6.5 The irrigation system(s) is controlled by a smart controller or no irrigation is installed

The following additional items are not listed under this category but are required by Summit at Powder Mountain:

- Maximum irrigated landscape area 500 sf
- Maximum irrigation demand of 12 gallons per 100 sf of landscape per day
- No ornamental water features.
- All landscape areas with a minimum of 4" of mulch.

- Seasonal watering schedule for each zone posted at controlled
- No irrigation of roads right-of-way
- Separate control zones and valves are required for different
- Controllers shall be weather or soil moisture based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
- Weather based controllers without integral rain sensors or communications systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture based controllers are not required to have rain sensor input.



# **Appendix III**

## **Applicable Building and Development Regulations**

## LIST OF APPLICABLE BUILDING AND DEVELOPMENT CODES, STANDARDS AND REGULATIONS

- 2012 National Green Building Standard
- ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction
- Joint IOA-IES Model Lighting Ordinance
- Weber County Land Use Code
- International Building Code, 2009 Edition (IBC), including Appendix J, published by the International Code Council;
- International Mechanical Code, 2009 Edition (IMC), published by the International Code Council;
- International Plumbing Code, 2009 Edition (IPC), published by the International Code Council;
- International Existing Building Code, 2009 Edition (IEBC), published by the International Code Council;
- National Electric Code, 2008 Edition (NEC), published by the National Fire Protection Association;
- International Residential Code, 2009 Edition (IRC), published by the International Energy Conservation Code, 2009 Edition (IECC), published by the International Code Council;
- International Fuel Gas Code, 2009 Edition (IFGC), published by the International Code Council;
- Subject to Subsection 4-1-1.2, Appendix E of the 2009 Edition of the International Residential Code, issued by the International Code Council;
- Any amendments to the above mentioned codes as required by the Utah Code and the Utah Administrative Code





# **Appendix IV**

## **Community Regulations**

## **COMMUNITY REGULATIONS**

### **PERMITTED USE**

Each homesite shall be used exclusively for residential purposes, and no more than one family (including transient guests) shall occupy such private area; provided, however, that nothing in this paragraph shall be deemed to prevent uses of such private area for residential or works , the purpose which does not include employees, and does not advertise or offer any product or work for sale to the public upon or from such private area.

### **NOISE**

No noxious or offensive activity shall be carried on upon any private area, nor shall anything be done or placed in a private area which may be or become a nuisance, or cause unreasonable embarrassment, disturbance, or annoyance to other Owners in the enjoyment of their private areas, or in their enjoyment of Common Areas. In determining whether there has been a violation of this paragraph, Summit at Powder Mountain will recognize the premise that Owners, by virtue of their interest and participation in Summit at Powder Mountain, are entitled to the reasonable enjoyment of the natural benefits and surroundings of Summit at Powder Mountain. Without limiting any of the foregoing, no exterior speakers, horns, whistles, bells, or other sound devices, except security devices used exclusively to protect the security of the private area and improvements, shall be placed or used upon any private area.

The maximum allowable noise shall be sixty-five decibels measured from the property line. Specific noise prohibitions such as loading operations, construction work, domestic power equipment, garbage collection between the hours of 10 p.m. and 7 a.m.

### **SERVICE AREAS**

Fuel tanks, garbage and recycling containers, stored patio furniture, and similar service equipment shall not be visible from neighbors' properties, or from the road or trails. In addition, trash and recycling containers must be inaccessible to wildlife.

### **RECREATIONAL VEHICLES AND MOBILE HOMES**

No trailer of any kind, truck camper, or mobile homes shall be kept, placed or maintained upon any private area in such a manner that such trailer, truck camper or boat is visible from neighboring property; provided, however, that the provisions of this paragraph shall not apply to temporary construction shelters of facilities maintained during, and used exclusively in connection with, the construction of any work or improvement.

## **ROOF APPURTENANCES**

All roof-installed equipment is required to be screened and must be submitted to the ARC for review and approval prior to approval. Screening must consist of an 80% visual restriction and made from materials consistent with the exterior of the building and the Design Guidelines.

## **POOLS AND SPAS**

Spas and pools are not allowed exterior of the structure. Any use of interior, balcony or roof terraces for spas should appear as extensions of the home and may require additional privacy measures. The design will be required to minimize noise transmission to neighboring properties, and if necessary, solid noise-absorbing covers may be required after equipment installation.

## **ACCESSORY STRUCTURES**

No accessory structures or buildings shall be constructed, placed or maintained upon any private area prior to the construction of the main structure of the residence; provided, however, that the provisions of this paragraph shall not apply to temporary construction shelters or facilities maintained during, and used exclusively in connection with, the construction of the main structure of the residence. No trailer or vehicle shall be constructed, reconstructed or repaired upon any private area in such manner that such construction, reconstruction or repair is visible from neighboring property.

## **FENCING**

Fencing and Accessory Structures are not permitted outside the Buildable Area of each Lot.

## **DOMESTIC ANIMALS**

No domestic animals or fowl other than a reasonable number of generally recognized house or yard pets shall be maintained on any private area.

## **MULTIPLE/COMBINED LOT BUILDING DEVELOPMENT**

All designs and footprints for combined lot development is subject to ARC approval.

## **FIRE AND FIRE PITS**

There shall be no exterior wood burning fires whatsoever. Natural gas fire pits are permitted if surrounded by non-combustible surface extending beyond the unit to a dimension equal to the height of the unit. Barbecue grills are permitted.

## **FUEL TANKS**

All fuel tanks, water tanks or towers, or similar storage facilities shall either be constructed as an integral part of the main structure of the residence or shall be installed or constructed underground as per the International Fire Code.

## **WATER WELL**

No water well or other independent water supply works or facility shall be constructed or maintained within any private area.

## **CHANGES TO EXISTING SITE DRAINAGE**

No change in the natural or existing drainage for surface waters are permitted outside of the defined Buildable Area for each Lot.

## **MAINTENANCE OF COMMON AREAS**

The association will maintain common areas, which are defined on the Master Plan or individual site plan.

## **TRASH ENCLOSURES AND COLLECTION**

All garbage and trash shall be placed and kept in covered containers. In no event shall such containers be maintained so as to be visible from neighboring property. The location of trash containers must be approved by the ARC. Trash and recycling containers must be inaccessible to wildlife. The collection and disposal of garbage and trash shall be in strict compliance with Summit at Powder Mountain rules.

## **SIGNS**

No signs, including but without limitation, commercial, political and similar signs, visible from neighboring property, shall be erected or maintained upon any private area, except such signs as may be required by legal proceedings, and residential identification signs of a combined total face area of three (3) square feet or less for each residence. Property number/ identification signs not exceeding one (1) square foot in area are permitted. Job identification signs are permitted during the time of construction of any residence or other improvement having a maximum face area of six (6) square feet per sign and of the type usually employed by contractors, subcontractors, and tradesmen. For sale and for rent signs for not more than one "for sale" or "for rent" sign having a maximum face area of three (3) square feet, provided that if at the time of any such desired use the Association is providing "for sale" and "for rent" signs for the use of Owners, the sign provided by the Association and no other shall be used.



# **Appendix V**

## **Acceptable Landscape**

## ACCEPTABLE LANDSCAPE

### ACCEPTABLE SHRUBS

Botanical Name - Common Name

Amelanchier alnifolia - Saskatoon Serviceberry  
Artemisia tridentata - Big Sage  
Atriplex canescens - Four Wing Saltbrush  
Caragana arborescens - Siberian Pea Shrub  
Cercocarpus ledifolius - Curleaf Mountain Mahogany  
Chrysothamnus nauseosus - Rubber Rabbitbrush  
Cornus alba - Variegated Dogwood  
Cornus sericea flaviramea - Yellowtwig Dogwood  
Cornus sericea - Redtwig & Alleman's Compact Dogwood  
Cornus sericea - Baileyi Dogwood  
Cotoneaster acutifolius' - Peking Cotoneaster  
Euonymus alatus 'compacta' - Burning Bush  
Fallugia paradoxa - Apache Plume  
Gutierrezia Sarothrae - Snakeweed  
Lonicera tatarica - Tatarian Honeysuckle  
Mahonia repens - Creeping Oregon Grape  
Paxistima myrsinites - Mountain Lover or Oregon Boxwood  
Physocarpus malvaceus – Ninebark  
Pinus mugo - Mugo Pine  
Pinus mugo - Big Tuna Mugo Pine  
Potentilla fruiticosa – Shrubby Cinquefoil  
Prunus besseyi - Western Sand Cherry  
Prunus tomentosa - Nanking Cherry  
Purshia tridentata - Antelope Bitterbrush  
Rhus glabra - Smooth Sumac  
Rhus trilobata - Three Leaf/Oakbrush Sumac  
Ribes alpinum - Alpine Currant  
Ribes aureum - Golden Currant  
Rosa Woodsii - Wood's Rose  
Salix spp. - Willow  
Sambucus canadensis - Adams Elderberry  
Sambucus canadensis aurea - Golden Elderberry  
Shepherdia argentia - Buffalo Berry  
Sorbaria sorbifolia - Ashleaf Spirea  
Spiraea sp - Spiraea Symphoricarpos occidentalis - Western Snowberry  
Syringa vulgaris - Lilac

### ACCEPTABLE TREES

Botanical Name - Common Name

Abies concolor - White Fir  
Abies lasiocarpa – Subalpine Fir  
Acer x freemanii - Autumn Blaze Maple  
Acer ginnala - Amur Maple  
Acer glabrum - Rocky Mountain Maple  
Acer platanoides - Norway Maple  
Acer truncatum - Norwegian Sunset Maple  
Acer truncatum - Crimson Sunset Maple



*Alnus incana* - Thinleaf Alder  
*Amelanchier x grandiflora* - Autumn Brilliance Serviceberry  
*Celtis reticulata* - Western Hackberry  
*Crataegus crus-galli 'Inermis'* - Thornless Cockspur Hawthorn  
*Crataegus crus-galli 'Inermis'* - Crusader Hawthorn  
*Juniperus scopulorum*-Rocky Mountain Juniper  
*Malus* spp. – Crabapple  
*Picea pungens* - Colorado Green Spruce  
*Pinus aristata* - Bristlecone Pine  
*Pinus contorta* - Lodgepole Pine  
*Pinus flexilis* - Limber Pine  
*Pinus mugo* - Tannenbaum Mugo Pine  
*Pinus nigra* - Austrian Pine  
*Pinus silvestris* - Scotch Pine  
*Populus x acuminata* - Lanceleaf Cottonwood  
*Populus angustifolia* – Narrowleaf Cottonwood  
*Populus tremuloides* - Quaking Aspen  
*Populus tremuloides 'Erecta'* - Swedish Aspen  
*Prunus padus* - Mayday Tree  
*Prunus virginiana* – Chokecherry  
*Pseudotsuga menziesii* - Douglas Fir  
*Pyrus calleryana* – Flowering Pear  
*Quercus gambelii* - Gambel Oak  
*Robinia pseudoacacia* - Black Locust  
*Tilia* sp. - Linden

### ACCEPTABLE PERENNIALS

Botanical Name - Common Name  
*Achillea millefolium* - Western Yarrow  
*Aconitum columbianum* - Monkshood  
*Agastache rupestris* - Hyssop  
*Alcea* sp. - Hollyhock  
*Alchemilla* spp. - Lady's Mantle  
*Allium acuminatum* - Tapertip or Wild Onion  
*Antennaria rosea* - Pussy Toes  
*Aquilegia caerulea* - Columbine  
*Arctostaphylos uva-ursi* - Kinnikinnick  
*Armeria maritima* - Sea Thrift or Sea Pink  
*Artemisia* spp. - Silermound  
*Aster* spp. - Aster Astilbe spp. – Astilbe  
*Balsamorhiza sagittata* - Arrowleaf Balsamroot  
*Calochortus nuttallii* - Segoe Lily  
*ampanula* spp. - Bellflower  
*Castilleja chromosa* - Indian Paintbrush  
*Centaurea dealbata* – Bachelor Button  
*Cerastium tomentosum* - Snow in Summer  
*Chrysanthemum* spp. - Daisy  
*Coreopsis* - Coreopsis  
*Delphinium* - Larkspur  
*Dianthus* - Dianthus  
*Dicentra spectabilis* - Bleeding Heart  
*Doronicum* spp. - Leopard's Bane

Erigeron spp. - Fleabane  
 Eriogonum umbellatum - Sulfer Flower  
 Fragaria spp. - Strawberry  
 Gaillardia spp. - Gaillardia  
 Geranium spp. - Geranium  
 Helianthus - Sunflower  
 Hemerocallis - Daylilly  
 Heuchera - Coral Bells  
 Hosta sp. - Hosta  
 Iris missouriensis - Western Blue Flag  
 Iris siberica - Siberian Iris  
 Lavendula spp. - Lavender  
 Liatris spp. - Gayfeather  
 Linum spp. - Flax  
 Lupinus spp. - Lupine  
 Lysimachia punctata - Loosestrife  
 Monarda didyma - Bee balm  
 Nepeta mussini - Catmint  
 Oenothera spp. - Evening Primrose  
 Papaver nudicaule - Iceland Poppy  
 Papaver orientale - Oriental Poppy  
 Penstemon spp. - Penstemon  
 Prunella - Prunella  
 Pulsatilla vulgaris - Pasque Flower  
 Rudbeckia spp. - Black-eyed Susan  
 Sagina subulata. - Irish Moss Salvia spp. - Sage  
 Sedum spp. - Sedum  
 Solidago sphacelata - Goldenrod  
 Sphaeralcea spp. - Globemallow  
 Tradescantia spp. - Spider Wart  
 Vicia americana - American Vetch  
 Viguirea multiflora ( Heliomeris multiflora) - Showy Goldeneye  
 Wyethia amplexicaulis - Mule's EarBulbs - As appropriate for Region

### **ACCEPTABLE GRASSES**

Botanical Name - Common Name  
 Achnatherum hymenoides - Indian Ricegrass  
 Aristada purpurea - Purple Threeawn  
 Bouteloua curtipendula - Side Oats  
 Grama Bromus marginatus - Mountain Brome  
 Elymus cineris - Great Basin Wild Rye  
 Elymus lanceolatus spp. - Streambank Wheatgrass  
 Festuca glauca - Blue Fescue  
 Festuca longifolia - Hard Fescue  
 Festuca ovina - Sheep Fescue  
 Festuca rubra - Red Fescue  
 Festuca rubra commutata - Chewing Fescue  
 Lolium spp. - Ryegrass  
 Miscanthus spp. - Maidengrass  
 Panicum spp. - Switchgrass  
 Pascopyrum smithii - Western Wheatgrass  
 Phalaris spp. - Ribbongrass

Pseudoroegneria spicata - Bluebunch Wheatgrass  
Poa alpina - Alpine Bluegrass  
Poa bulbosa - Bulbous Bluegrass  
Poa secunda - Sandberg Bluegrass  
Schizachyrium spp. - Little Bluestem  
Sitanion elymoides - Bottlebrush  
Squirreltail Stipa viridula - Needle Grass

Native Grass Seed Mix

20.0% Slender Wheatgrass (*Elymus trachycaulus* ssp. *trachycaulus*)  
26.25% Western Wheatgrass (*Pascopyrum smithii*)  
22.5% Bluebunch Wheatgrass (*Pseudoroegneria spicata* ssp. *spicata*)  
5.0% Sheep Fescue (*Festuca ovina*)  
3.75% Sandberg Bluegrass (*Poa sandbergii*)  
22.5% Indian Ricegrass (*Achnatherum hymenoides*)

Seeding Rate Broadcast

30 pls pounds per acre

Seeding shall be applied by broadcast and raked into the top 1/4" of the top layer of soil. Hydro-mulch shall be sprayed over the prepared seeded areas. Hydro-mulch shall consist of fertilizer at the rate of six pounds (6lbs) per one thousand square feet (1000sf) and "fiber mulch" at the rate of fourteen hundred pounds (1400lbs) per acre of area.

**ACCEPTABLE GROUND COVER**

Botanical Name - Common Name

*Aegopodium podagraria* - Bishop's Weed  
*Ajuga* spp. - Bugleweed  
*Arctostaphylos uva-ursi* - Kinnikinnick  
*Fragaria* sp. - Strawberry  
*Gallium odoratum* - Sweet Woodruff  
*Hypericum calycinum* - St. John's Wort  
*Juniperus horizontalis* - Wiltoni Juniper  
*Juniperus sabina* - Calgary Carpet & Buffalo  
*Lamium* spp. - Nettle  
*Lysimachia nummularia* - Creeping Jenny  
Phlox - *subulata* - Creeping Phlox  
*Potentilla verna nana* - Spring Cinquefoil  
*Saponaria* sp. - Soapwort  
*Thymus* spp. - Thyme  
*Veronica* spp. - Veronica  
*Vinca minor* - Vinca

**ACCEPTABLE VINES**

Botanical Name - Common Name

*Clematis* sp. - Clematis  
*Lonicera x brownii* 'Dropmore Scarlet' - Dropmore Scarlet Honeysuckle  
*Parthenocissus quinquefolia* - Virginia Creeper



# **Appendix VI**

## **Architectural Review Committee Overview**

## ARCHITECTURAL REVIEW COMMITTEE OVERVIEW

### E.3 ARCHITECTURE REVIEW COMMITTEE

#### E.3.1 ARC Responsibilities

The Architectural Review Committee (ARC) has been created to review sitework and building plans on behalf of the Summit at Powder Mountain Owners Association Inc. (the "Association") for their adherence to the Design Guidelines. The members of the ARC, and/or the experts who the Board of Directors of the Association may engage from time to time, either as members of the ARC or as professional consultants to the ARC, will have expertise in site planning and architectural design. (Please refer Appendix VII for Article 10 of the CC&R's for the association for additional information on the ARC's responsibilities and procedures.)

1. The ARC is responsible for reviewing all development at Summit at Powder Mountain.

This includes, but may not be limited to, the following development activities:

- a. Any sitework, grading, building construction, or other site modification anywhere within Summit at Powder Mountain, including all ski resort, open space, and trail areas.
- b. Any renovation, expansion or refinishing of the exterior of an existing structure.
- c. Any landscape or site modifications to a lot including areas outside of the development envelope where driveways or low impact issues are permitted, or to any other area within Summit at Powder Mountain.
- d. Any changes to the natural landscape, including the clearing of native vegetation and removal of standing trees, anywhere within Summit at Powder Mountain.

2. The specific purpose of ARC review is to ensure conformity with the Design Guidelines. The ARC will also assist in explaining and clarifying the Design Guidelines to applicants and their representatives and will communicate information in a constructive way throughout the review process. The ARC's objective is to encourage good stewardship of the land and sensitive architectural expression consistent with the ethos of the Summit community.

3. The ARC review process is not in lieu of but is in addition to the Weber or Cache County review process. Any application for a building or site modification permit within Summit at Powder Mountain must be reviewed by the ARC to determine that it complies with the Design Guidelines, but any such application must also be approved by Weber or Cache County. ARC approval is necessary before access to water service is granted to the owner by the Association. Proof of a water connection is a prerequisite to the acceptance and approval of a building permit application by Weber or Cache County.

### **E.3.2 ARC REVIEW PROCESS AND SUBMISSION REQUIREMENTS**

The ARC review process has been designed to encourage dialogue with homesite owners, their design team, and other affected parties early in the evolution of their plans so that physical factors and aesthetic qualities of the land can be fully understood and sensitively incorporated into the owner's land use concepts. The process is intended to be constructive, not adversarial, or unduly restrictive.

Personal participation by the owner in the review process, especially in the early stages, will result in significantly improved communication, often allowing for quicker application approval.

To be considered complete, an application for ARC review must include all the information requested on the application form in Appendix VI and listed at each step outlined below so that the review process will be as effective and efficient as possible. Owners are encouraged to engage the services of a licensed architect familiar with design in the mountain setting for any development activity that involves structures. They also are encouraged to employ a licensed landscape architect for site design, or someone familiar with landscape design in a high alpine climate.

Owners who are starting with an undeveloped homesite are encouraged to begin their design process with a conceptual master plan for the entire site so that the proper relationships among all proposed and/or contemplated structures and site amenities can be anticipated, and the cumulative site impacts can be evaluated and minimized. A master plan evolves from a thorough understanding of the constraints and design opportunities unique to each homesite; it is intended to identify where the clustering of structures is desirable, where a separation between them is preferable, and where the access that serves all future facilities can be located to minimize the impact to the landscape. The absence of an effective master plan may affect the owner's subsequent abilities to add facilities.

The cost of the ARC's review including the services of any of the ARC's planning consultants shall be covered through a fee for service paid by the applicant. Fees are based on the type of project for which ARC approval is sought and must be paid in full before the review process may commence. The amount of the fee required is subject to periodic adjustment by the Association. Please refer to Section K-9.4 for a current schedule of application fees.

There are three steps in the ARC design review process.

- a. Pre-Planning Meeting
- b. Conceptual Design Review
- c. Final Plan Review

### **E.3.3 STEP ONE: PRE-PLANNING MEETING**

The ARC review process commences with a working session with the ARC's designated planning consultants, the homesite owner,



and the owner's architect or design professional. The purpose of this meeting is to agree on basic parameters for development of the homesite that fully respond to the desires of the owner and the land use philosophy and operating policies of Summit at Powder Mountain and all applicable land use entitlements and ordinances to which is subject. It is vital that the homesite owner and the owner's architect or design professional attend this meeting in order to understand completely the goals of the design review process.

The primary focus of the working session will be an in-depth analysis of the owner's site, its physical constraints, and the particular visual and environmental sensitivities that must guide its development. The ARC will review the Design Guidelines with participants, discuss how they apply to the project at hand, and explain the reasoning that determined the development envelope on the owner's homesite. It is very important that this meeting be scheduled after the owner has selected a design team so that all of those who will be involved in the planning of the site may attend. Also, it is important that the meeting take place before any conceptual plans are drawn for the owner. However, it is required that the owner prepare for the meeting by completing a certified site survey, by gathering images that illustrate the style of building contemplated and by making a preliminary list of the facilities and building elements to be constructed on the site.

The outcome of the working session will be a mutual understanding of the site constraints, the design opportunities unique to the site, the potential visual impacts to neighboring homesites and to the Ogden Valley, the possibility of environmental impacts (including removal of trees and other vegetation), and any other site-specific concerns that may require mitigation.

At the discretion of the ARC, the requirement for this meeting may be waived for applications that concern minor changes to existing structures or landscape.

#### E.3.3a Submission Requirements For The Pre-Planning Meeting

1. A certified site survey of the homesite showing platted property boundaries and, at least within the development and the driveway corridor, topography at two foot (2') contour intervals. The survey must indicate easements, creeks, riparian areas, designated wetlands, mature trees, tree groupings and groves within the area to be developed.

2. This certified site survey should also indicate existing and proposed man-made improvements, including utilities, hydrants, power transformers, water meters and valves, retaining walls, bridge and tunnel structures, abutments, and toe of slopes where roads run adjacent to the sites.

#### E.3.4 STEP TWO: CONCEPTUAL DESIGN REVIEW

Formal ARC review begins with the owner's submittal of conceptual site and building plans. Conceptual Design Review is intended to provide more detailed direction and guidance to the owner and the owner's design team by the specific identification of any site or

development issues and concerns that, in the opinion of the ARC, must be resolved.

Conceptual drawings typically indicate overall design and site planning directions but are not intended to fully resolve all technical or design issues. They illustrate (1) the siting of conceptual building program elements; (2) the preliminary resolution of building form and massing; (3) the owner's general thoughts about architectural character, style, and materials; (4) the visual and functional linkages; (5) the view relationships with neighboring sites; (6) grading required for driveway access and the siting of the building; and (7) the general extent of site disturbance.

#### E.3.4a Scheduling A Conceptual Design Review Meeting With The ARC

Upon request by the applicant, a Conceptual Design Review meeting of the ARC shall be scheduled with three weeks advance notice. A complete package of conceptual plans must be submitted to the ARC no later than one week prior to the scheduled meeting.

The owner and/or his/her design representative shall make an informal presentation at the meeting to outline the development program and design goals. Feedback from the ARC will be more substantive if the underlying rationale for the applicant's design decisions is well articulated. The ARC will evaluate the conceptual plans for conformity with the Design Guidelines and the concepts discussed during the pre-planning meeting.

Following the Conceptual Review Meeting, the ARC shall issue a written response to the applicant that records outstanding issues and concerns and summarizes the ARC member's comments. If unresolved issues appear to warrant them the ARC may recommend a follow-up meeting with the applicant before the ARC's written response and before the plans are submitted for final review (step three).

#### E.3.4b Submission Requirements For The Conceptual Design Review

1. Applicants for conceptual design review shall submit the following:

a. A conceptual site/grading plan indicating the proposed boundary of the development envelope, the driveway corridor, and the driveway alignment within it; the location of all planned improvements and structures, including outdoor activity areas and retaining walls; all utility lines and any related utility easements required by service providers; and the ski-in/ski-out locations (which, whenever possible, should follow the alignment of existing disturbed areas, e.g., a sewer lateral alignment). The plan shall also indicate the estimated limits of grading and site disturbance within the development envelope and preliminary finish grades and floor elevations at doorways and paved surfaces. Drainage should be clearly depicted through the indication of swales and proposed drainage structures. Format of presentation materials may be at the discretion of the designer, however, one 11 x 17 copy of the plans is required for ARC records.

- b. All submission requirements for the pre-planning meeting should be incorporated into the plan documents submitted for Conceptual Design Review.
- c. The conceptual site/grading plan shall include the proposed removal of vegetation for forest fire suppression purposes. Fire suppression issues should be discussed with the Weber County Fire Marshall prior to Conceptual Design Review. If it is the desire to implement the Fire District's recommendations, the recommendations must be in writing from the District and presented to the ARC at the time of Conceptual Plan Review. Removals of vegetation for fire suppression purposes must be considered as part of the Conceptual Plan Review since such removals may impact the visibility and siting of improvements.
- d. Conceptual floor plans, roof plans, sections, and elevations of all structures, including accessory buildings. Building plans and elevations shall be at a minimum scale of 1/8" = 1', or larger, provided the sheet size does not exceed 24" x 36".
- e. A preliminary landscape plan illustrating concepts for framing or screening important views to and from the structures. The plan should show all trees and other native vegetation to be removed, new plant massings and describe generally the types and quantities of plants (trees, shrubs, ground covers) to be added to the site.
- f. A description of desired exterior finishes, building and paving materials, and colors.
- g. A 3D SketchUp or Revit model of the building within the development envelope is required, as an effective means of evaluating conceptual massing and siting of the house.

In addition to all drawings and materials listed above, the applicant shall survey and stake the corners and ridgelines of the proposed structures, the centerline and edges of the proposed driveway, and the limits of site disturbance. Staking shall indicate the actual height of the proposed structures by means of story poles where required by the ARC and the most visual portion of the structure(s) highlighted with an orange marking disc for ease of recognition from off-site. Each stake shall be numbered. A staking plan superimposed on the site plan shall be submitted showing the location and number of each stake. Conceptual approval shall not be given to the applicant prior to the review of the staking by the ARC. The ARC shall conduct an on-site review of the staking in conjunction with the Conceptual Plan Review and prior to written approval of the Conceptual Plan.

### **E.3.5 STEP THREE: FINAL PLAN REVIEW**

Formal ARC review begins with the Owner's submittal of the final drawings set to be submitted to the County.

#### **E.3.5a Scheduling The Final Plan Review Meeting With The ARC**

Final plan review cannot occur prior to receipt of written approval from the ARC of the Conceptual Plan. Upon request by the applicant and with at least three (3) weeks advance notice, a Final Plan Review

meeting of the ARC will be scheduled. A complete package of final documents must be submitted to the ARC no later than one week prior to the scheduled meeting.

It is strongly recommended that the owner's design team attend the Final Plan Review to present the plans. The ARC will review the construction documents including the final site plans and landscape plans for conformity with the Design Guidelines and determine that all outstanding issues discussed in previous review sessions have been resolved.

Within fourteen (14) days of the meeting, the ARC shall either approve, approve with conditions, or disapprove the final plan, or extend the approval date by issuing a request for further information. The notice of approval shall be in writing and will be sent to the applicant and to the Weber County Community Planning Division. If an application is denied, the applicant may resubmit revised documents at any time. Subsequent review may be subject to the payment of an additional fee.

#### E.3.5b Submission Requirements For Final Review

1. The final submission package shall respond to issues raised by the ARC in earlier phases of review and shall include the materials listed below:

a. Final site plan at a scale of 1" = 20', indicating layout and dimensions of the development envelope, all building and accessory elements, the driveway, all utilities, and all landscaped areas.

All utility or other easements must be surveyed and clearly indicated on the plan with bearings and distances, which dimensions must correspond to a legal description.

b. Final building floor plans, roof plans, sections, and elevations at a scale of 1/8" = 1'.

c. Final grading and drainage plan.

d. Conceptual landscape plan detailing all plantings by species, size and quantity. Native, low water plant species are strongly recommended (a list of approved species suited to the microclimates found on Powder Mountain is included in the Design Guidelines). A Final Landscape Plan (including an irrigation plan, water source and estimated water usage) shall be submitted by the applicant prior to the 4-Way Building Code Inspection and is subject to the review and approval of the ARC. Submittal of the Final Landscape Plan, and its review by the ARC, is deferred until this point to insure that the ultimate landscape improvements address and mitigate all areas disturbed in the construction process.

e. Final material samples, specifications, product cut sheets, and color samples for all exterior finishes.

f. Construction details, sections and elevations as needed to illustrate design intent and any accessory elements such as spas and other outdoor facilities.

g. Exterior lighting plan, with cut sheets or details of all fixtures.

- h. Details of proposed entry monument, gates, fencing, or screened elements, if any.
- i. Development phasing plan, if appropriate.
- j. A Construction Mitigation Plan showing limits of disturbance fencing, silt control fencing, construction staging areas, topsoil storage areas, propose construction parking areas, construction entrance detail, tree protection, dust control, etc.
- k. An Erosion Control Plan which complies with Weber County requirements.
- l. An updated 3D model is required.

2. In addition to the above, the applicant may be required to provide staking of the site in addition to that required at Conceptual Plan Review if the ARC determines that there have been material changes to the proposed structures since Conceptual Design approval.

**E.3.6 ARC APPLICATION FEES**

Fees may be adjusted at any time at the discretion of the Association.

1. ARC application fees:

- \$3,000 for Nests & Condominiums
- \$4,000 for Houses
- \$6,500 for Mountain Houses

ARC fees are fixed and generally will not be exceeded except in very unusual circumstances where significantly greater amounts of ARC time are consumed by repeated unresponsive submittals and/or construction inconsistent with the Design Guidelines.

For projects that extend beyond the 18 months from ground breaking to Certificate of Occupancy, a \$300/month fee will be assessed beginning with the 19th month to cover these increased costs.

Minor amendments or additions to previously approved plans: \$500 deposit then charged hourly.

2. Hourly rates for ARC review:

- ARC Staff: \$75/hr
- ARC Board Members: \$100/hr
- Construction Site Security Fee: \$200/mo

Accrues from the building permit issue date until the property passes its final ARC inspection (exclusive of landscaping).

3. Pre-Process Consultation Fee: \$500

Prospective site purchasers may obtain ARC input prior to the purchase of a homesite.



# **Appendix VII**

## **ARC Submittal Checklist**



**ARC SUBMITTAL CHECKLIST**

**RESIDENTIAL APPLICATION FORM**

**Summit at Powder Mountain  
Architectural Review Committee (ARC)**

Homesite Number \_\_\_\_\_

Application Date \_\_\_\_\_

Application Fee \_\_\_\_\_

*Check the appropriate box(es) for this application.*

TYPE OF REVIEW	PRE-PLANNING MEETING	CONCEPTUAL DESIGN REVIEW	FINAL PLAN REVIEW
New Single-Family Residence			
New Accessory Structure • Guest House • Barn • Other (Specify)			
Structure Renovation	N/A		
Site / Landscape Modification	N/A		
Miscellaneous (Specify)			

**A. General Submittal Information**

1. An application will be deemed complete and accepted only after all information requested below and on the Checklist for Plan Evaluation is provided to the Architectural Review Committee (ARC).
2. All plans must conform to the provisions of the Master Declaration of Covenants, Conditions, Easements and Restrictions for Powder Mountain (the "CC&R's") and the Design Guidelines (the "Guidelines").
3. The appropriate fee must accompany the application (see Design Guidelines, Section K-9.4).
4. Please contact an ARC representative with any questions about the application.

*As the owner of the above-referenced homesite, I hereby authorize this application and I acknowledge that I have read and will comply with all of the provisions contained in the CC&R's and the Guidelines including the Construction Management Standards of Summit at Powder Mountain.*

Owner's Signature: \_\_\_\_\_

Printed Name of Signatory: \_\_\_\_\_

Date: \_\_\_\_\_

**SECTION I: CONTACT INFORMATION**

**A. Name of Owner(s):** \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Telephone: (\_\_\_\_) \_\_\_\_\_  
Fax: (\_\_\_\_) \_\_\_\_\_

**B. Name of Applicant:** \_\_\_\_\_  
Relationship to Owner(s): \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Telephone: (\_\_\_\_) \_\_\_\_\_  
Fax: (\_\_\_\_) \_\_\_\_\_  
Firm: \_\_\_\_\_

**C. Name of Architect:** \_\_\_\_\_  
Firm: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Telephone: (\_\_\_\_) \_\_\_\_\_  
Fax: (\_\_\_\_) \_\_\_\_\_

**SECTION II: PROJECT DATA**

A. Lot Acreage: \_\_\_\_\_

B. Development Envelope Acreage: \_\_\_\_\_

C. Proposed Floor Area: \_\_\_\_\_ sq. ft.  
Primary Unit: \_\_\_\_\_ sq. ft.  
Secondary Unit: \_\_\_\_\_ sq. ft. (*not to exceed 2,500 sq. ft.*)  
Accessory Unit: \_\_\_\_\_ sq. ft.  
Accessory Unit: \_\_\_\_\_ sq. ft.  
Garages: \_\_\_\_\_ sq. ft.  
Undeveloped: \_\_\_\_\_ sq. ft.  
Total: \_\_\_\_\_ sq. ft.

D. Number of Bedrooms, all units: \_\_\_\_\_

E. Number of Covered Parking Spaces: \_\_\_\_\_  
Number of Uncovered Parking Spaces: \_\_\_\_\_  
Total Parking: \_\_\_\_\_

F. Number of Kitchens: \_\_\_\_\_  
Number of Bathrooms: \_\_\_\_\_  
Number of Fireplaces: (a) Gas: \_\_\_\_\_  
(b) Wood Burning: \_\_\_\_\_

G. Maximum Slope of Driveway: \_\_\_\_\_ % (First 20 ft. of driveway is \_\_\_\_\_ % slope)  
(Last 20 ft. of driveway is \_\_\_\_\_ % slope)

H. Proposed Building Height: \_\_\_\_\_ ft.  
(*Submit drawing of building height calculations drawn over building elevations.*)

I. List of Materials

<i>Building</i>	<i>Type of Material</i>	<i>Specifications, Product Color</i>
Roof (Pitch is _____ )	_____	_____
Other Wall Materials	_____	_____
Utility Meters (locate on plans)	_____	_____
Fascia	_____	_____
Soffits	_____	_____
Windows	_____	_____
Window Trim	_____	_____
Exterior Doors	_____	_____
Garage Doors	_____	_____
Door Trim	_____	_____
Hand or Deck Rails	_____	_____
Flues, Caps	_____	_____
Flashings	_____	_____
Chimney Enclosures	_____	_____
Trash Enclosures (locate on plans)	_____	_____
Greenhouses	_____	_____
Exterior Lighting Fixtures (attach cut sheets)	_____	_____
Gutters	_____	_____

**SECTION III: STRUCTURE RENOVATION**

A. Describe structure(s) and proposed renovations:

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B. Plan Requirements:

1. Submit photographs or previously approved plans.
2. Submit two (2) full-size sets and five (5) 11x17" reduction sets of plans as appropriate.

**SECTION IV: SITE / LANDSCAPE MODIFICATION**

A. Describe Proposed Site / Landscape Modifications

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B. Plan Requirements:

1. Submit photographs or previously approved plans.
2. Submit two (2) full-size sets and five (5) 11x17" reduction sets of plans as appropriate.

**SECTION V: MISCELLANEOUS REVIEW**

A. Describe review requested:

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B. Contact ARC representatives for plan requirements.

## SECTION VI: CHECKLIST FOR PLAN EVALUATION

### A. Necessary Information On All Drawings

- Homesite number (Lot & Address), date, and scale
- North Arrow

### B. Necessary Information On Site Plans

- Existing and proposed contours at two foot (2') intervals
- All property lines
- Proposed limits of the development envelope and the driveway corridor
- Driveway grades
- Existing mature trees to be retained and to be removed
- Wetlands, creeks and drainages, if any
- Existing and proposed utilities, including septic field and utility easements
- Limits of site disturbance
- Footprints of all proposed structures and other site improvements
- Exterior lighting locations
- Calculation of total impervious site coverage
- Proposed finish grades and ground floor elevations
- Building heights above existing grade

### C. Necessary Information On Building Plans

- Proposed finish floor elevations on each level
- Roof ridge heights above existing grade (in section)
- Building dimensions for all structures
- Floor area calculations for the primary structure, guest house, and out-buildings

### D. Checklist of Submission Requirements for Pre-Planning Meeting

- Completed application form
- Fee \$ \_\_\_\_\_ (see Design Guidelines, Section K-9.4)
- Certified site survey and Developer's site analysis diagram

### E. Checklist of Submission Requirements for Conceptual Design Review

- Plan drawings: one (1) set of 24x36 or 30x42 prints and five (5) sets of 11x17' reductions for each of the following:
  - Conceptual site/grading plan
  - Conceptual building floor plans
  - Conceptual roof plan
  - Conceptual building sections and elevations
  - Conceptual landscape plan
  - Description of preliminary choices of finishes, materials, and colors
  - Massing model (optional)

F. Checklist of Submission Requirements for Final Plan Review

- Updated application form
- Compliance deposits
- Plan drawings: one (1) set of 24x36 or 30x42 prints and five (5) sets of 11x17" reductions for each of the following:
  - Final site plan
  - Final grading and drainage plan
  - Preliminary landscape plan
  - Final building floor plans
  - Final roof plan
  - Final building sections and elevations
  - Construction details as necessary to illustrate design intent for buildings, site features and accessory elements, including entry monuments and gates
  - Exterior lighting plan
  - Development phasing plan, if applicable
  - Construction staging plan
  - Temporary erosion control and tree protection plan
  - Final material samples, specifications, product cut sheets, and color samples
  - Revised massing model (optional)
- Subsequent to final approval, the applicant shall provide three (3) complete sets of plans, one of which shall be 24x36, and one (1) additional site plan.

G. Checklist for Evaluating Site Plan

*Visibility & Setbacks*

- All site improvements contained within the development envelope
- Minimal visibility of primary structures from a distance
- No intrusion of structures into neighbors' primary view corridors
- 100-foot setback from natural streams

*Driveways*

- Alignment minimizes cuts and fills and disturbance of natural vegetation
- Safe point of access from road
- Driveway width (maximum 12 ft)
- Driveway gradient

*Parking*

- Maximum two (2) parking spaces per garage
- No excessively large paved areas



### *Grading & Drainage*

- Grading blends into natural terrain and reflects natural landforms
- No development on slopes steeper than 40%
- Grading and Conservation Plan required for development on slopes over 15%
- No grading outside the development envelope and the driveway corridor
- No cut and fill slopes steeper than 2:1 (3:1 recommended for fill slopes)
- No cut or fill slopes with vertical exposure greater than 6 ft.
- Cut and fill qualities balance
- Screening berms natural in form
- Minimal disturbance to natural drainages
- Drainage swales integrated into natural landforms
- Drainage resolved on-site; no concentrated drainage onto neighboring properties
- Bridges and culverts indicated where necessary

### *Retaining Walls*

- Walls over four ft. (4') in height certified by a civil or structural engineer
- No walls over eight ft. (8') in height
- Walls attached to building foundations preferred
- Stone or other facing materials compatible with architecture of the house

### *Utilities & Waste Disposal*

- All utility lines underground
- Utilities within the driveway corridor, or alternate alignment to be approved
- Utility easements indicated on site plan
- Transformers and other above-ground utility boxes in screened location
- Satellite dishes screened and non-reflective black
- Septic system design certified by civil engineer (if applicable)
- Specific location of septic system approved by Weber / Cache County Health Department (if applicable)
- Septic leach field located in low-visibility area within the development envelope (if applicable)
- Trash receptacles screened, enclosed, and animal proof

### *Planting*

- All disturbed areas adequately revegetated with native plants
- Transition from structured to natural landscape well detailed
- No non-native plant species outside the development envelope
- Species appropriate for microclimate conditions
- Planting design compatible with patterns in natural vegetation
- Minimum conifer size six ft. (6'), with 50% over eight ft. (8') in height
- Minimum caliper size of deciduous trees 1 inches, with 50% over 2 inches
- Thinning of vegetation outside the development envelope only with approval
- Removal of existing trees only with approval
- Lawn area minimized and contained within the immediate area of the residence

### *Water*

- Water connection approved by ARC
- Water meter required
- Drip or spray irrigation systems only; soil moisture monitoring device required
- Dams well integrated into natural terrain
- Water source for all uses identified and total annual consumption estimated
- Well permit application filed (if well water proposed as the source)

### *Exterior Lighting*

- No direct light sources visible from off-site vantage points
- No site lighting outside the development envelope and the driveway corridor
- No floodlights or "moonlighting"

### *Fencing, Signage, & Gates*

- Materials to match the architecture of the residence or an approved rail fence design
- No fences along the driveway
- Design for address signage compatible with Summit at Powder Mountain standards
- Address monuments no larger than two feet (2') in any dimension
- Entry gates set back from road and four feet (4') wider than driveway
- Gates operable in owners' absence for emergency and snowplowing

### *Pets*

- Horses permitted only with ARC approval
- Barns located more than sixty feet (60') from any dwelling
- Weber / Cache County Low Impact Permit required for barns and corrals
- Dog runs and animal pens enclosed and covered
- Trash area completely enclosed

## H. Checklist for Evaluating Building Design

### *Architectural Vocabulary*

- Building compounds unified by consistent architectural elements and materials

### *Building Form, Height, & Massing*

- Building siting and massing responsive to natural topography
- Maximum building height is defined by the Design Guidelines
- Structures not visually prominent from adjoining homesteads

### *Roofs*

- No large, unbroken expanses of roof area
- No long, uninterrupted ridgelines
- Non-reflective roof materials
- Colors that blend with those of the natural landscape
- Wooden shingles permitted only if approved by Fire Marshal
- Entries, pedestrian areas and parking areas protected from snow shedding

### *Walls & Windows*

- Wall planes stepped and layered to avoid large, uninterrupted facade
- Detailing of windows and doors to give relief to the facade
- Natural building materials (stone, wood, logs, shingles)
- Stucco use limited; only in combination with other materials
- Colors to blend with those of the natural landscape
- No untreated aluminum or metal window frames; no mirrored glass
- Foundation walls of durable materials, preferable stone or timbers
- Overhead decks well supported; no exposed posts

### *Energy Conservation, Fireplaces, Chimneys, & Vents*

- Energy conservation measures incorporated into building plans
- Number and type of fireplaces indicated on plans
- Fireplaces in compliance with County standards
- Chimneys of inflammable material, preferably stone or masonry
- Non-reflective flues and vents
- Approved spark arresters or screens on chimney outlets
- Vents concealed and protected from damage by snow creep and snow shedding

### *Fire Protection & Wildlife Management*

- Roof materials rated U.L. Class A or approved by PCFSD
- Main water lines six inches (6") minimum diameter
- Water service lines to individual residences 1<sup>1/2</sup> inches minimum diameter
- Fire sprinkler system required in all structures
- Plans and water mains approved by Fire Marshal: certificate of compliance obtained
- Fire hydrants no more than 200 ft. from any dwelling
- Minimum fire flow 1,000 gallons per minute for a duration of two (2) hours at a residual pressure 20 psi
- Fuel breaks within 90 to 100 ft. of structures

## SECTION VII: CONSTRUCTION ADMINISTRATION CHECKLIST

- Construction staging and material storage areas identified on site plan
- Temporary erosion control measures specified on site plan
- Topsoil storage area identified on site plan
- Trees to be retained and tree protection fencing identified on site plan

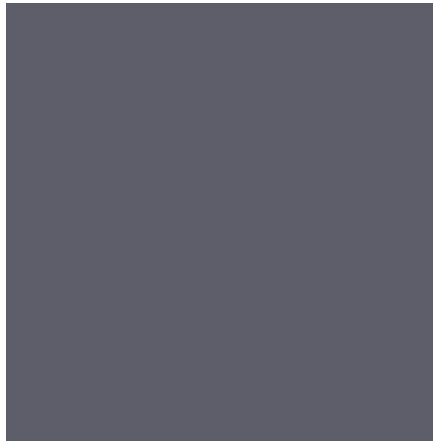
## SECTION VIII: PLAN SUBMITTAL CHECKLIST FOR WEBER / CACHE COUNTY

- Obtain a Land Use Permit from the Weber County Planning Division (Weber County Planning Division 2380 Washington Blvd., Suite 240 Ogden, UT 84401 801-399-8791). This is handled internally with the Building Inspection Department with the Planning Department. It takes place after the plans are submitted for Plan Review.
- Documentation from Powder Mountain Sewer District stating that the owner has authorization to connect to the approved wastewater disposal system. This must be submitted as part of the Plan Review submission.
- Documentation from Powder Mountain Sewer District that all fees have been paid. This must be submitted as part of the Plan Review submission.
- Documentation from the Water District that the owner has authorization to connect to the approved water system. This must be submitted as part of the Plan Review submission.
- Receipt for payment of Weber Fire District Impact Fee, 2023 West 1300 North Ogden, Utah 84404 (801) 782-3580.
- Approval of fire protection system if required. Fire sprinkler system required if the building area exceeds 5,000 square feet, including basement. Need to verify if sprinklers are required for specific project types and phases.
- Completed Weber County permit application including the signatures of the general contractor and the owner or owner's representative, and the names, state contractor's license numbers and the local business license numbers of the general, electrical, plumbing, and HVAC contractors. The General Contractor and subcontractor information can be left blank at the Plan Review level if they have not been selected at time of submission, but will need to be provided prior to pulling the building permit.

Provide two complete and identical hard copy sets of the plans along with a full set in PDF version including:

- Site plan
- Footing/ Foundation plan.
- Floor Plans
- Elevation drawings
- Section/ Details
- RESCHECK (Showing compliance with the IECC). As of today, Weber County is under the 2006 IECC. They will be going to the 2012 code July 1.
- Engineer or Architect seal and calculations.
- Summit at Powder Mountain Architectural Review Committee approval letter.

*Plan review fee is 35% of the Building Permit Fee and is collected at that time of the permit being pulled. Range of permit fee at this time is approximately \$4200 to \$6500 depending on the size of the home. The BFE fee includes impact fees.*



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