

Weber County Stormwater Construction Activity Permit

Application submittals will be accepted by appointment only. (801) 399-8374. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted 8/29/2016	Fees (Office Use)	Receipt Number (Office Use)	Priority Site (Office Use) <input type="radio"/> Yes <input checked="" type="radio"/> No	Permit Number (Office Use) 2016-96
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Property Owner/Authorized Representative Contact Information

Name of Property Owner(s)/Authorized Representative(s)

LaVar R. Lowther

Phone

801-745-4712

Fax

Email Address

buttugly@relia.net

Mailing Address of Property Owner(s)/Authorized Representative(s)

5048 Snowflake Dr.
Eden, UT 84310

Project Information

Project Name

Lowther Home

Project Address

5048 Snowflake Dr.
Eden, UT 84310

Estimated Project Length (mo)

9 months

Previous Permit No. (if applicable)

Estimated Start Date

Sept 2016 ASAP

Actual Start Date

Submittal Checklist

☒ The application shall include a Storm Water Pollution Prevention Plan which meets the criteria set forth in Section 33-3-4 of the county ordinances.

The applicant shall file the application on or before the following dates:

Subdivision: The date that the applicant submits the preliminary subdivision development plat application.

Site Plan: The date that the applicant submits a site plan application or amended site plan.

Building Permit: The date that the applicant submits a building permit application if the applicant proposes to construct a building on an existing lot or parcel.

Land Use Permit: The date that the applicant submits a land use permit application.

Other: At least two (2) weeks before the developer intends to perform any type of work not listed above that would require a Storm Water Construction Activity Permit pursuant to this Chapter.

Failure to acquire a required Storm Water Construction Activity Permit is grounds for tabling a related subdivision application, site plan application, conditional use permit application, or building permit application. It is unlawful to commence work (move dirt) on a development site before obtaining a required Storm Water Construction Activity Permit.

Note: A pre-construction meeting is required before performing any on-site earth work, unless waived by the county engineer.

Applicant Narrative

Please explain your request.

Single family home

Authorization

By signing below the Owner / Representative authorizes the county to enter the property to perform inspections.

Owner or Authorized Representative Signature

Signature of Approval

Date

Date

Aug 29, 16

9-6-16

SITE PLAN
5048 SNOWFLAKE DRIVE
LOT #22
SNOWFLAKE SUBDIVISION PHASE 3
EDEN CITY, WEBER COUNTY, UTAH

SCALE: 1" = 20'-0"
Area = 55518 Sq. Ft. = 1.25 ACRE

PLEASE NOTE:

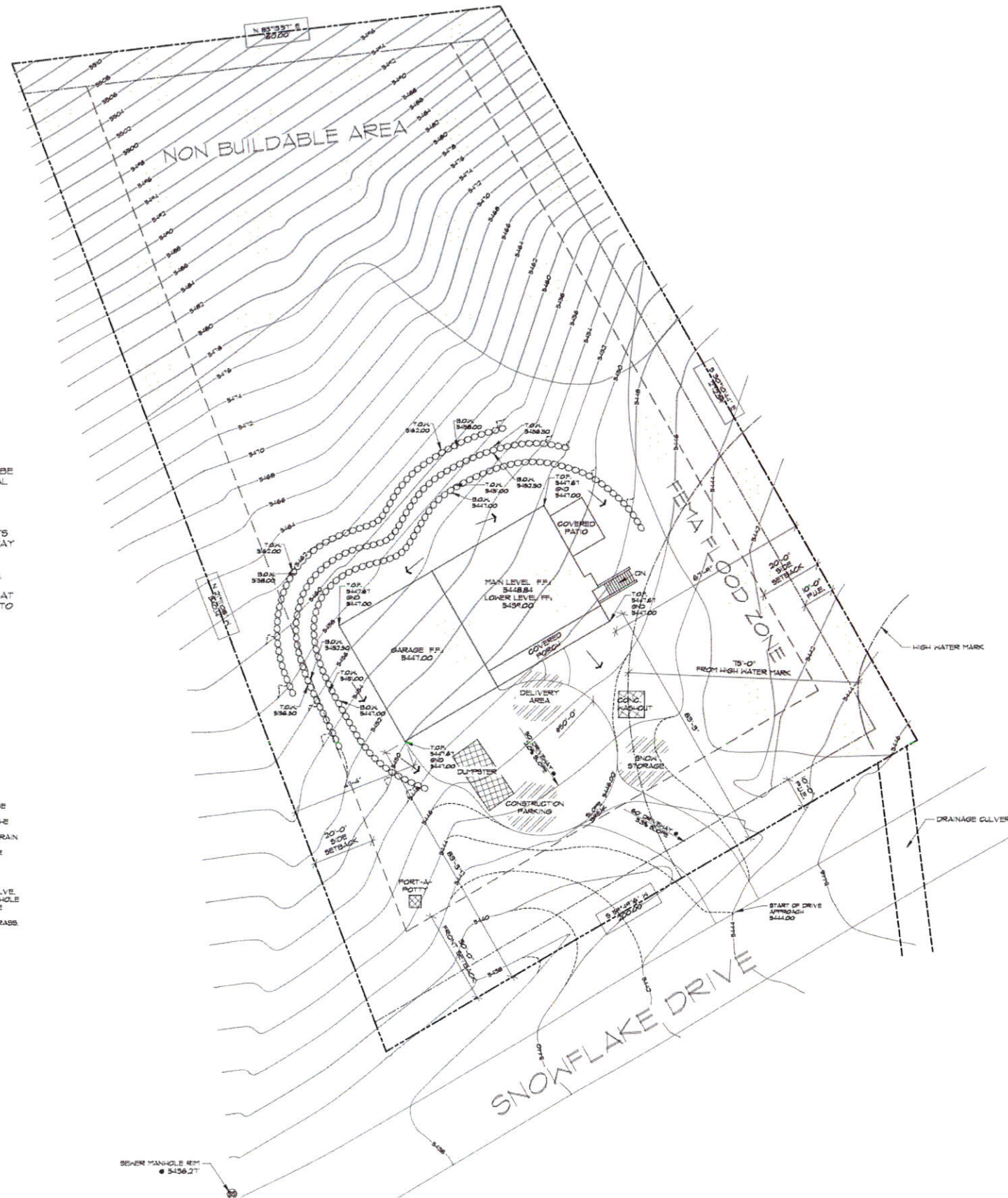
1. SITE PLAN IS SHOWN FOR INFORMATION ONLY. OWNER /CONTRACTOR SHALL HAVE RESPONSIBILITY TO DETERMINE GRADES AND FINAL PLACEMENT AND ELEVATIONS OF FOOTINGS/FOUNDATIONS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, NATIONAL AND LOCAL BUILDING CODES & ORDINANCES.
2. THIS SITE PLAN IS A REPRESENTATION OF CONCRETE FOUNDATIONAL BUILDING FOOTPRINT ONLY. ALL SETBACK INFORMATION SHOWN IS TO CONCRETE FOUNDATION WALLS ONLY. SITE PLAN DOES NOT INDICATE THE LOCATION OF ROOF OVERHANGS OR CANTILEVERS (WALL POPOUTS OR FLOOR OVERHANGS) OR OTHER ARCHITECTURAL ELEMENTS THAT MAY PENETRATE THE PROPERTY SETBACKS OR EASEMENTS. THE PLAN COUNTY, CITY OR OTHER JURISDICTION REVIEWER, CONTRACTOR AND OWNER SHALL REVIEW ALL PLAN SUBMITTAL DRAWINGS (FLOOR PLANS, ELEVATIONS, DETAILS, ETC.) IN CONJUNCTION WITH THE SITE PLAN TO IDENTIFY ANY PROPOSED WALL, CANTILEVERS OR OTHER FEATURES THAT MAY ENCRoACH INTO SETBACKS AND SHALL REPORT ANY CONCERNS TO THE DESIGNER PRIOR TO EXCAVATION AND/OR CONSTRUCTION.

LINETYPE LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- HOME FOOTPRINT
- PROPOSED CONT.
- 1' CONT. LINE
- 2' CONT. LINE
- > DIRECTIONAL DRAINAGE ARROWS

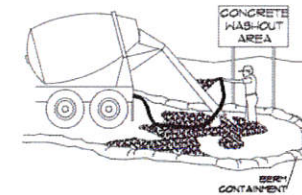
1. ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE.
2. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (3M).
3. STREET, CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.
4. STRAIN HATTLES (OR EQUIVALENT) TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION. BERTS OR SHALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.
5. ALL REAR DRAINAGE TO BE RETAINED ON THE PROPERTY.
6. FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.
8. LONG-TERM DRAINAGE CONTROL BY STANDARD RESIDENTIAL LANDSCAPING, INCLUDING GRASS, TREES AND BUSHES AND AN AUTOMATIC SPRINKLER SYSTEM.

NOTE:
THIS PLAN IS PROVIDED FOR SITE LAYOUT AND GRADING REFERENCE ONLY. THIS PLAN IS NOT A LEGAL BOUNDARY SURVEY. CONTRACTOR SHOULD VERIFY EXISTING GRADE, EASEMENT, LOT CORNER AND BOUNDARY LOCATIONS WITH EXISTING STAKES OR BY RETAINING A LICENSED LAND SURVEYOR. ACTUAL LOCATION, PLACEMENT, HEIGHT AND DESIGN FOR RETAINING WALLS, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS NOT INCLUDED WITH THIS PLAN. EXISTING CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY EXISTING CONDITIONS, SLOPES, ETC. BEFORE PROCEEDING WITH EXCAVATION & CONSTRUCTION.



SKEET INFORMATION

1. HOW MUCH AREA WILL BE DISTURBED? APPROX. 20K SQ. FT. OF THE LOT, JUST OVER 50% OF THE ENTIRE LOT AREA.
2. WHO WILL BE RESPONSIBLE FOR THE CONDITIONS OF THE SITE DURING CONSTRUCTION?
3. WHAT WILL BE DONE TO PREVENT THE NEIGHBORS FROM BEING AFFECTED BY THE PROPOSED CONSTRUCTION ACTIVITIES? THE SITE INCLUDING THE STREET, ETC. WILL BE CLEANED OF MUD AND DEBRIS DAILY.
4. WHAT WILL BE DONE WITH ALL EXCAVATED MATERIAL TEMPORARILY AND PERMANENTLY? ALL MATERIAL WILL BE USED ON SITE FOR LANDSCAPING AND SHAPING OF THE LAND AFFECTED.
5. WHERE IS THE CONCRETE WASH-OUT AND HOW WILL IT BE MAINTAINED? CONCRETE WASH-OUT AREA SHOWN ON SITE PLAN. SEE NOTES ABOVE.
6. WHERE ARE THE PORTA-JOINS LOCATED AND HOW ARE THEY INSTALLED? SEE SITE PLAN FOR LOCATION AND THEY ARE STAND ALONE UNITS AND WILL BE DELIVERED AND PICKED UP FOR SERVICE AND INSTALLATION.
7. HOW WILL THE CONSTRUCTION ENTRANCE BE BUILT AND WHERE WILL IT BE LOCATED? THE ENTRANCE WILL BE BUILT WHERE THE PROPOSED DRIVEWAY LOCATION IS SHOWN. IT WILL CONSIST OF GRAVEL ROAD BASE FROM THE RIGHT OF WAY AND BE AT LEAST 40 FEET LONG TO REDUCE MUD AND DEBRIS FROM TRACKING OUT TO THE RIGHT OF WAY.
8. WHAT WILL YOU DO WHEN MUD AND/OR DIRT GETS TRACKED ON THE ASPHALT? IT WILL BE SCRAPED AND SHEET DAILY.
9. IS THERE A DRAINAGE DITCH OR SHALE ON OR NEAR YOUR PROPERTY? IF SO HOW WILL IT BE PROTECTED? THERE IS A DRAINAGE EASEMENT ON THE PROPERTY. STAKED STRAIN HATTLES AND A BILT FENCE WILL BE INSTALLED ON THE CONSTRUCTION SIDE OF THE EASEMENT TO ENSURE DEBRIS WILL NOT ENTER OR AFFECT THE EASEMENT.
10. WHAT CURRENTLY HAPPENS TO THE RAIN/STORM WATER WHEN IT REACHES THIS PROJECT SITE? STORM-WATER REACHING THIS SITE IS ABSORBED INTO THE VEGETATION AND GROUND.
11. SHOW ALL EXISTING OCCUPATION ON THE PROPERTY. NO EXISTING OCCUPATION CURRENTLY EXISTS ON THE PROPERTY.



CONCRETE WASTE MANAGEMENT

NOTES:

1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
2. FOR WASH-OUT OF CONCRETE AND MORTAR PRODUCTS A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE. THIS DISCHARGE AREA MUST BE LINED WITH AN IMPERMEABLE BARRIER.
3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

MONUMENT BENCHMARK
5450.00

HEIGHT RESTRICTION CALC	
HIGHEST GRADE	5457.80
LOWEST GRADE	5447.00
PEAK HEIGHT	5472.34
DIFFERENCE #1	14.84
DIFFERENCE #2	25.34
TOTAL	39.98
DIVIDED BY 2	19.99
HEIGHT RESTRICTION FROM AVERAGE FINISHED GRADE	39'
ACTUAL HEIGHT FROM AVERAGE FINISHED GRADE	19.99