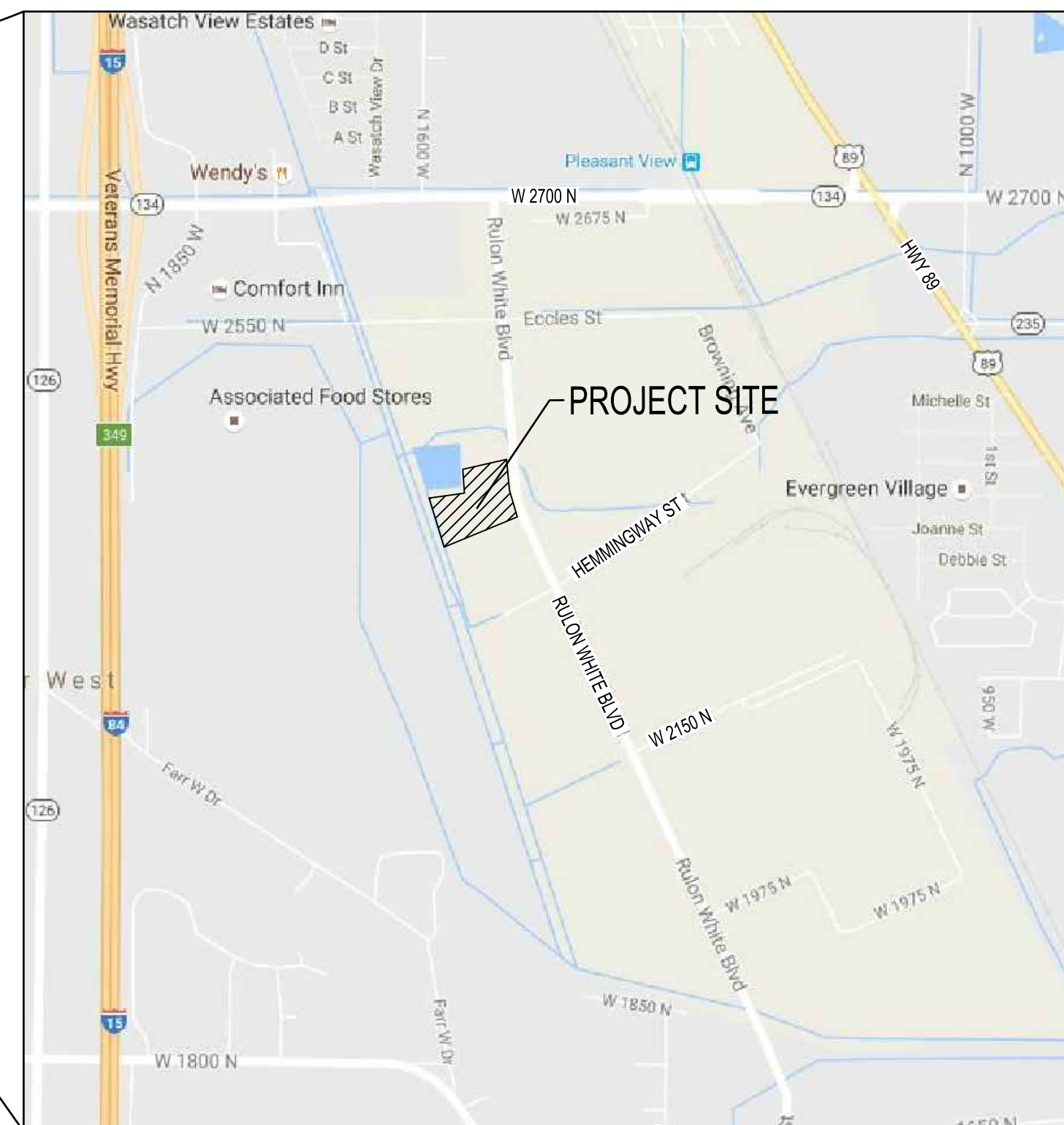
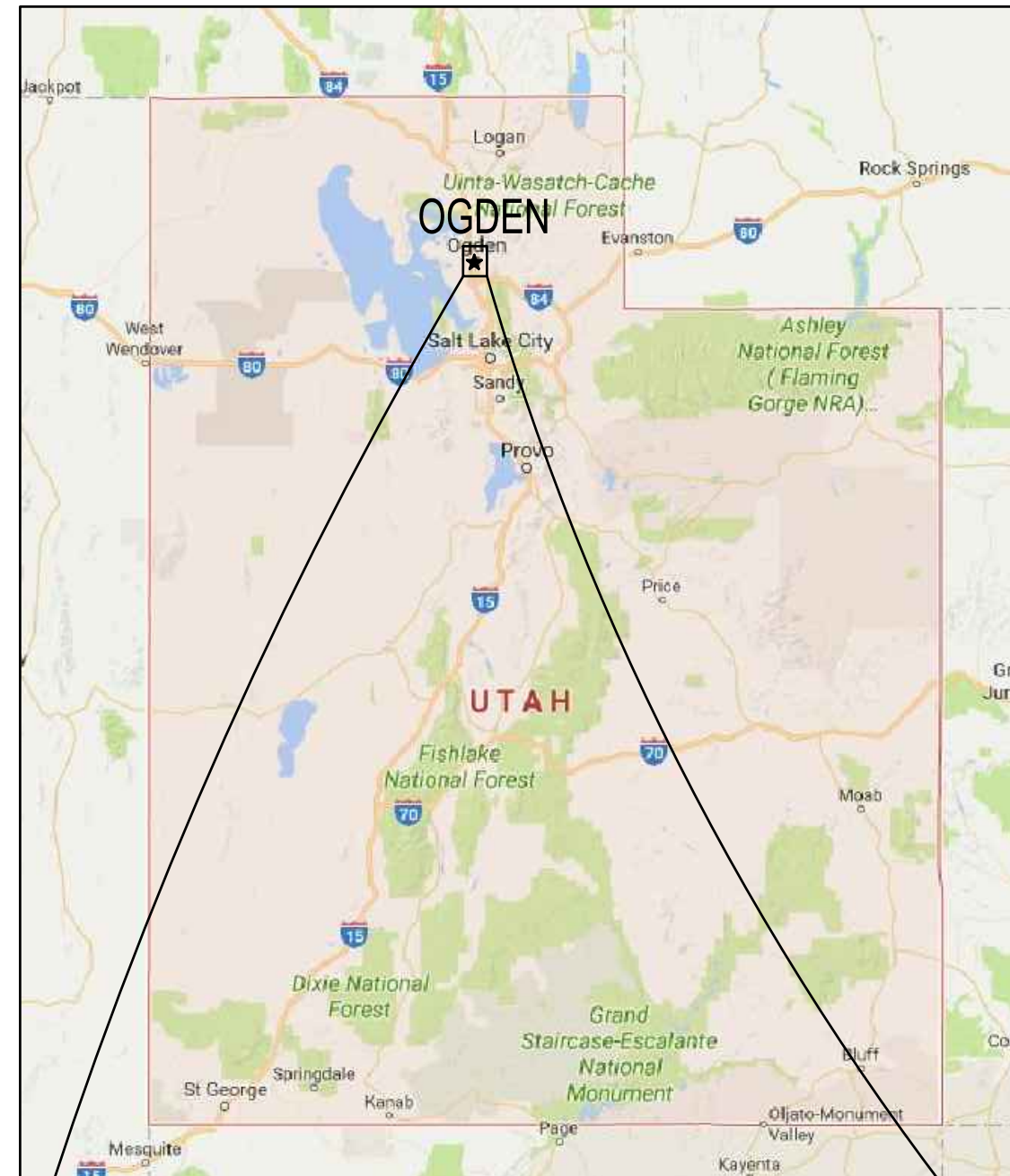


COMMERCIAL DEVELOPMENT

FOR

WinCo FOODS

ON-SITE CIVIL CONSTRUCTION DOCUMENTS OGDEN, UT



SITE LOCATION

2423 N. 1500 W
2423 RULON WHITE BOULEVARD,
OGDEN, UT 84404

PARCEL NUMBER(S)

19-182-0001

ZONING

MANUFACTURING (M-1)

SITE AREA

5.04 ACRES

OWNER / DEVELOPER

WINCO FOODS, LLC
650 NORTH ARMSTRONG PLACE
BOISE, IDAHO 83704
PH: (208) 672-2066

ENGINEER

SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WASHINGTON 98516
PH: (360) 352-1465
CONTACT: BRANDON JOHNSON, PE

ARCHITECT

CALLAWAY ARCHITECTURE
1207 HAMPSHIRE LANE, SUITE 105
RICHARDSON, TX 75080
PH: (214) 368-2525 EXT. 104
CONTACT: MARK DANIELS

SURVEYOR

DOMINION ENGINEERING ASSOCIATES, LLC
5684 SOUTH GREEN STREET
MURRAY, UTAH 84123
PH: (801) 713-3000

SHEET INDEX		
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	CV-01	COVER SHEET
2	GN-01	GENERAL NOTES
3	EX-01	ALTA/NSPS LAND TITLE SURVEY
4	EX-02	ALTA/NSPS LAND TITLE SURVEY
5	EX-03	ALTA/NSPS LAND TITLE SURVEY
6	EC-01	TEMPORARY EROSION CONTROL PLAN
7	EC-02	EROSION CONTROL DETAILS
8	EC-03	EROSION CONTROL DETAILS
9	DM-01	DEMOLITION PLAN
10	SP-01	SITE PLAN
11	HC-01	HORIZONTAL CONTROL AND PAVING PLAN
12	HC-02	PAVING AND SITE DETAILS
13	CG-01	OVERALL GRADING PLAN
14	CG-02	GRADING PLAN
15	MU-01	MASTER UTILITY PLAN
16	SD-01	STORM DRAINAGE PLAN
17	SD-02	STORM DRAINAGE PROFILES
18	SD-03	STORM DRAINAGE DETAILS
19	SD2.1	LANDSCAPE PLAN

GENERAL NOTES

- SEE EX-01 FOR UTILITY CONTACT INFORMATION.

NPDES PERMIT NOTE

A GENERAL PERMIT NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER DISCHARGE PERMIT IS REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL OBTAIN THE NPDES PERMIT PRIOR TO START OF CONSTRUCTION.

SWPPP NOTE

A SWPPP PLAN SHALL BE PREPARED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAIN ALL BMPs DURING AND AFTER PROJECT CONSTRUCTION.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

BENCHMARK:

WEBER COUNTY BM WC-115 M,
ELEVATION: 4265.07 (NAVD 88)

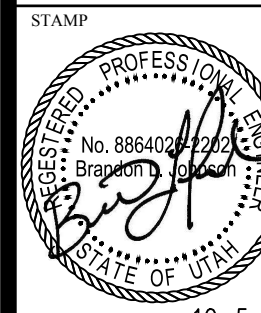
CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING BLUE STAKES OF UTAH 811 OR 1-800-662-4111 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

SCJ PROJECT NO.	1832.04
DRAWN	
CHECKED	B. JOHNSON
SUBMITTAL DATES	
OTB DATE	

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360.352.1465 F: 360.352.1609
SCJALLIANCE.COM



10-5-16

WINCO #80 CROSS DOCK
2423 N. RULON WHITE BLVD
OGDEN, UTAH

WinCo FOODS

SHEET TITLE
COVER SHEET

SHEET
CV-01

SCJ ALLIANCE - GENERAL CONSTRUCTION NOTES:

1. ALL WORK, WORKMANSHIP AND MATERIALS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE FOLLOWING MANUAL(S) AND DOCUMENT(S):

TERRACON GEOTECHNICAL ENGINEERING REPORT (JUNE 21, 2016)

WEBBER COUNTY, PUBLIC WORKS STANDARDS AND TECHNICAL SPECIFICATIONS,
<http://www.co.weber.ut.us/engineering/pdf/publicworksstandardsandspecifications.pdf>

UTAH DEPARTMENT OF TRANSPORTATION, 2012 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JANUARY 1, 2012)
<https://www.udot.utah.gov/main/ucowner.gf?n=7569028183854784>

UTAH DEPARTMENT OF TRANSPORTATION, 2012 STANDARD DRAWINGS FOR ROAD AND BRIDGE CONSTRUCTION (JANUARY 1, 2012),
<https://www.udot.utah.gov/main/ucowner.gf?n=5877625779880422>

2. ALL GOVERNMENTAL SAFETY REGULATIONS SHALL BE STRICTLY ADHERED TO INCLUDING OSHA.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DULY NOTIFY WEBER COUNTY IN ADVANCE OF THE COMMENCEMENT OF ANY AUTHORIZED WORK AND TO SCHEDULE REQUIRED INSPECTIONS. ANY REQUIRED INSPECTION TEST WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.

4. THE APPROVAL OF THESE PLANS BY WEBER COUNTY DOES NOT RELIEVE THE CONTRACTOR OR DEVELOPER OF THE RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF OTHER GOVERNING AGENCIES.

CAUTION - NOTICE TO CONTRACTOR

5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE PROJECT SURVEY AND OTHER RECORDS OF UTILITIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL UTAH 811 OR 1-800-662-4111 48 HOURS PRIOR TO PLANNED EXCAVATIONS.

6. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON COMPILED SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED WORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE.

7. EXISTING UTILITIES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATION, DIA, LENGTH, CONDITION, PIPE TYPE, SLOPE AND VERTICAL AND HORIZONTAL ALIGNMENT OF THE EXISTING ALIGNMENT OF THE PROPOSED POINTS OF CONNECTION PRIOR TO CONNECTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.

8. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS AND PERMITS.

9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THE APPROVED PLANS, SPECIFICATIONS, AND CONTRACT DOCUMENTS AT THE CONSTRUCTION SITE AT ALL TIMES.

10. CONSTRUCTION SIGNING AND TRAFFIC CONTROL SHALL BE PER THE CURRENT COPY OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

11. ALL VEHICLES AND EQUIPMENT SHALL BE KEPT WITHIN THE WORK AREAS ESTABLISHED FOR THAT WORK SHIFT UNLESS TRAVELING TO OR FROM THE SITE. UNDER NO CIRCUMSTANCES SHALL VEHICLES BE PARKED OR EQUIPMENT BE STORED OUTSIDE OF THESE AREAS.

12. OTHER CONSTRUCTION PROJECTS MAY OCCUR NEAR THE PROJECT SITE AND MAY BE IN PROGRESS CONCURRENT WITH THE PROJECT. THE CONTRACTOR SHALL COOPERATE AS NECESSARY AND NOT INTERFERE OR HINDER THE PROGRESS OR COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.

13. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY WEBER COUNTY AND THE PROJECT OWNER.

14. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE CONSTRUCTION" STATE OR BETTER.

15. DRIVEWAY ACCESS AND UTILITY SERVICE TO EXISTING HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.

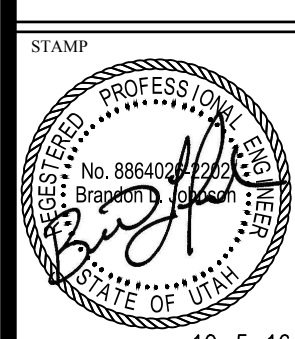
TYPICAL ABBREVIATIONS

&	AND	FDC	FIRE DEPARTMENT CONNECTION	S	SOUTH OR SLOPE
∠	ANGLE	FDN	FOUNDATION	SCHED	SCHEDULE
±	APPROXIMATELY	FF	FINISH FLOOR	SD, SDMH	STORM DRAIN, STORM DRAIN MANHOLE
@	AT	FG	FINISHED GRADE	SE	SOUTHEAST
⊕	CENTERLINE	FH	FIRE HYDRANT	SECT	SECTION(S)
°	DEGREE	FIN	FINISH(ED)	SHT	SHEET
=	EQUALS	FL	FIRE LINE/FLANGE	SP	SPRINKLER
'	FOOT	FT	FOOT/FEET	SQ	SQUARE
>	GREATER THAN			SQ FT	SQUARE FEET
"	INCH			SQ IN	SQUARE INCH
#	NUMBER	G	GAS	SS	SANITARY SEWER
%	PERCENT	GALV	GALVANIZED	SSMH	SANITARY SEWER MANHOLE
		GRND	GROUND	ST	STREET
		GV	GATE VALVE	STA	STATION
AC	ASPHALTIC CONCRETE			STD	STANDARD
ADD'L	ADDITIONAL			STRUCT	STRUCTURE(E, AL)
ADJT	ADJACENT	HH	HANDHOLE	SW	SOUTHWEST
AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL	SYS	SYSTEM
AP	ANGLE POINT	HT	HEIGHT		
APPROX	APPROXIMATE			T	TELEPHONE OR TELEPHONE VAULT
ARCH	ARCHITECT	IE	INVERT ELEVATION	TBD	TO BE DETERMINED
ATB	ASPHALT TREATED BASE COURSE	IN	INCH	TBM	TEMPORARY BENCH MARK
AVE	AVENUE			TC	TOP OF CURB ELEVATION
		JB, J-BOX	JUNCTION BOX	TELE	TELEPHONE
BCR	BEGIN CURB RETURN	JT	JOINT TRENCH	TEMP	TEMPORARY
BFV	BUTTERFLY VALVE	KV	KILOVOLTS	TOW	TOP OF WALL
BGS	BELOW GROUND SURFACE	KW	KILOWATT	TP, T/P	TOP OF PIPE
BLK	BLOCK(S)	KWH	KILOWATT HOURS	TYP	TYPICAL
BLDG	BUILDING			UDG	UNDERGROUND
BM	BENCHMARK	MAX	MAXIMUM	VAP	VERTICAL ANGLE POINT
BVC	BEGIN VERTICAL CURB	MFR	MANUFACTURER	VC	VERTICAL CURVE
		MH	MANHOLE	VERT	VERTICAL
		MIN	MINIMUM, MINUTE	VOL	VOLUME
		MISC	MISCELLANEOUS		
		MON	MONUMENT IN CASE		
C	CONDUIT			W	WEST, WIDTH, WIDE OR WATER
CB	CATCH BASIN	N	NORTH, NORTHING	W/	WITH
CF	CUBIC FEET	N/A	NOT APPLICABLE	W/O	WITHOUT
CIRC	CIRCUIT, CIRCULA(R, TION)	NE	NORTHEAST	WM	WATER MAIN
CIP	CAST-IN-PLACE	NEMA	NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
CIP MON	CAST-IN-PLACE MONUMENT			WV	WATER VALVE
CJ	CENTER JOINT	NIC	NOT IN CONTRACT	XFMR	TRANSFORMER
⊕	CENTER LINE	NO, No	NUMBER		
CL	CROWNLINE	NTS	NOT TO SCALE		
CLR	CLEAR	NW	NORTHWEST		
CO	CLEANOUT				
COMM	COMMUNICATION	OC, oc	ON CENTER		
COMPT	COMPACTED	OD	OUTSIDE DIAMETER		
CONC	CONCRETE	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION		
CONST	CONSTRUCT				
CONT	CONTINU(E, ED, OUS, ATION)				
COORD	COORDINATE				
CSBC	CRUSHED SURFACING BASE COURSE				
CSTC	CRUSHED SURFACING TOP COURSE				
CULV	CULVERT	P	POWER, POWER VAULT		
CU YD	CUBIC YARD	PC	POINT OF CURVATURE		
		PCC	POINT OF COMPOUND CURVE		
D/W	DRIVEWAY	PED	PEDESTAL		
DEF	DEFLECTION	PI	POINT OF INTERSECTION		
DEG	DEGREE	ℓ	PROPERTY LINE		
DEMO	DEMOLISH/DEMOLITION	POC	POINT OF CONNECTION		
DIA	DIAMETER	PP	POWER POLE		
DIM	DIMENSION(S)	PRC	POINT OF REVERSE CURVATURE		
DIP	DUCTILE IRON PIPE	PROP	PROPERTY		
DR	DRIVE	PSE	PUGET SOUND ENERGY		
DWG(S)	DRAWING(S)	PSI	POUNDS PER SQUARE INCH		
		PT	POINT OF TANGENCY		
E	EAST OR ELECTRICAL	PVC	POINT OF VERTICAL CURVE		
EA	EACH	PVI	POINT OF VERTICAL INTERSECTION		
EOR	END CURB RETURN	PVT	POINT OF VERTICAL TANGENT		
EHH	ELECTRICAL HANDHOLE	PVMT	PAVEMENT		
EL, ELEV	ELEVATION	PWR	POWER		
ELEC	ELECTRIC(AL)				
ENGR	ENGINEER	QTY	QUANTITY		
EOP	EDGE OF PAVEMENT				
EQ	EQUAL(LY)	R	RADIUS		
EQUIP	EQUIPMENT	RD	ROAD, ROADWAY		
ESMT	EASEMENT	REF	REFERENCE		
EVC	END VERTICAL CURVE	REINF	REINFORC(E, ED, ING, MENT)		
EX, EXIST	EXISTING	REQ'D	REQUIRED		
EXP	EXPANSION	REV	REVISION		
		RIM	STRUCTURE RIM ELEVATION		
		RT	RIGHT		
		R/W, ROW	RIGHT OF WAY		

REVISIONS

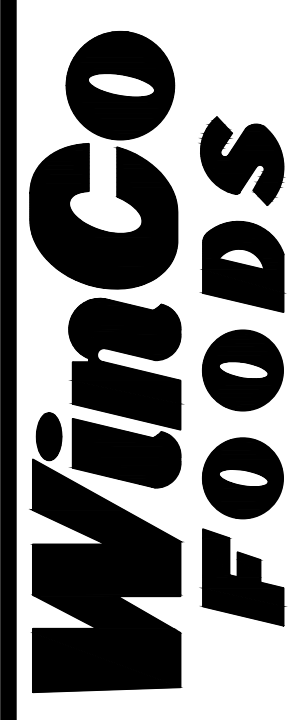
SCJ PROJECT NO. 1832.04
DRAWN
CHECKED B. JOHNSON
SUBMITTAL DATES
OTB DATE

SCJ ALLIANCE CONSULTING SERVICES
 8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516
 P: 360.952.1465 F: 360.952.1609
 SCJALLIANCE.COM



10-5-16

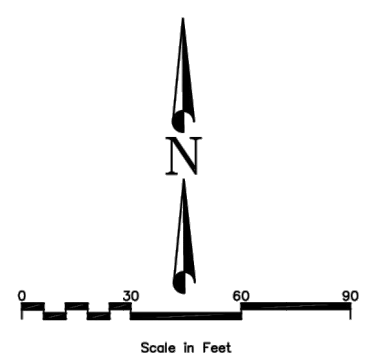
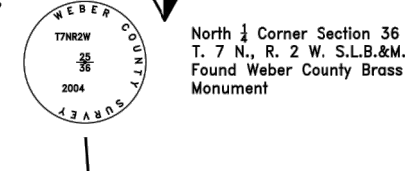
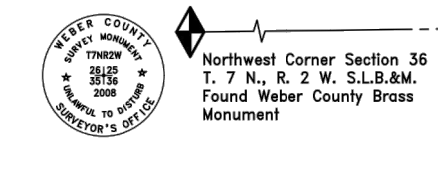
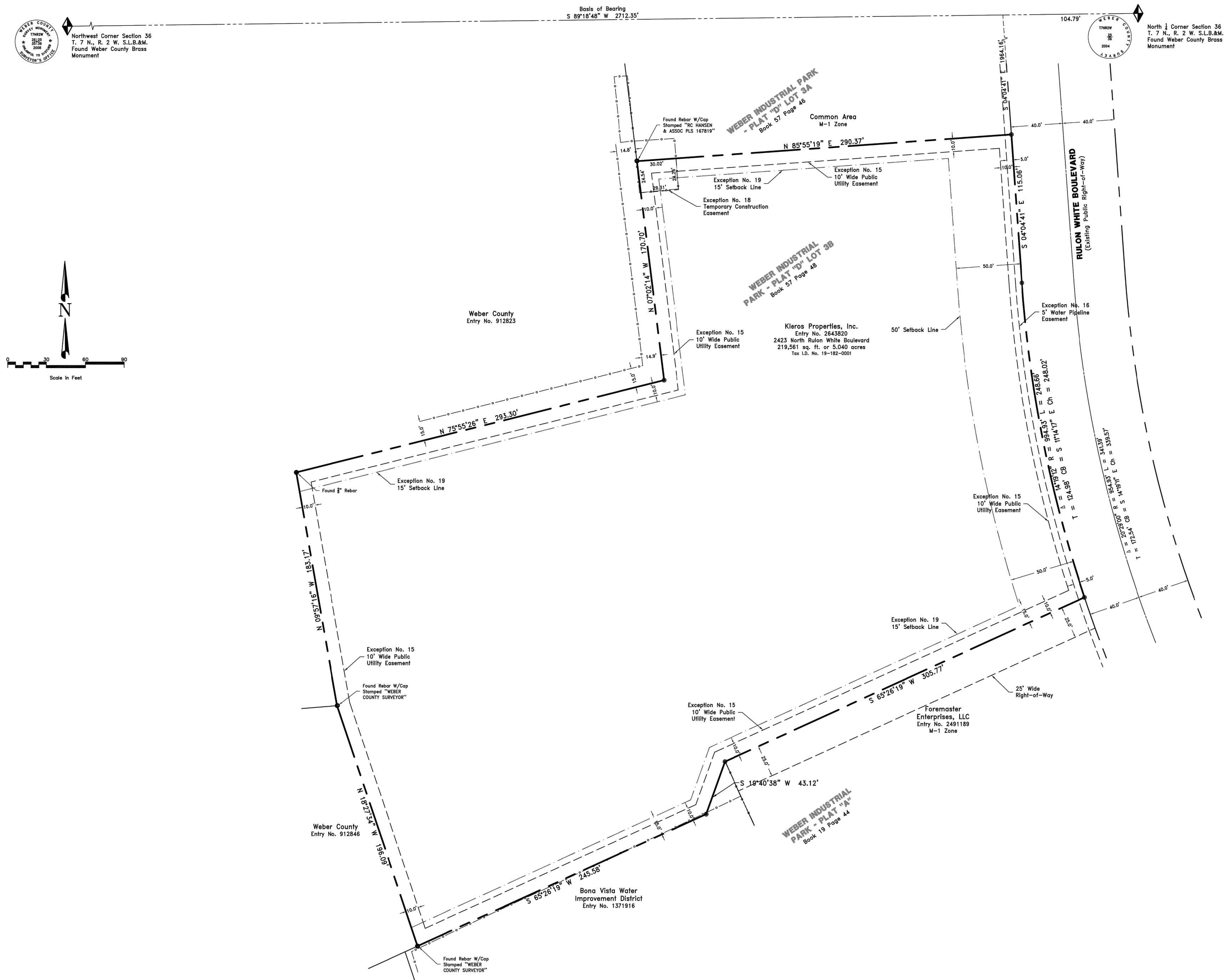
WINCO #80 CROSS DOCK
 2423 N. RULON WHITE BLVD
 OGDEN, UTAH



SHEET TITLE
 GENERAL NOTES

SHEET
 GN-01

ALTA/NSPS Land Title Survey
 For
 WinCo Foods, LLC
 Weber Industrial Park - Plat "D" Situated in a Portion of the North Half of Section 36,
 Township 7 North, Range 2 West, Salt Lake Base & Meridian
 Weber County, Utah
 2016



BOUNDARY DESCRIPTION:
 Lot 3B, Weber Industrial Park - Plat "D", according to the official plat thereof, as recorded in the office of the Weber County Recorder.

ZONING:
 The subject property is located in an M-1, Manufacturing Zone. M-1 Zones have the following bulk restrictions:

Minimum yard setbacks
 a. Front: 50 feet
 b. Side: none
 c. Rear: none

Main building height
 a. Minimum one story
 b. Maximum none

Lot coverage: Not over 80% of lot area by buildings.

The Protective Covenants recorded April 13, 1973 as Entry No. 591240 in Book 1021 at Page 675 of the Weber County records require the following restrictions:

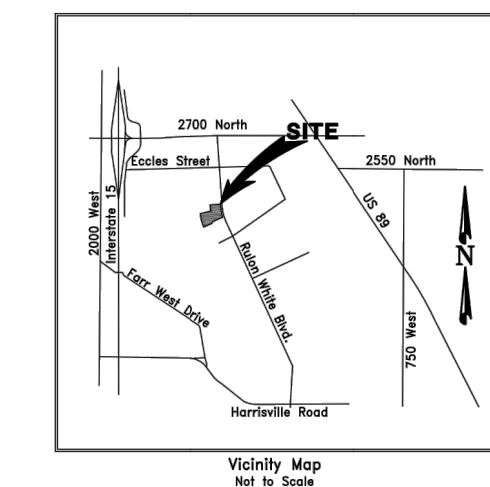
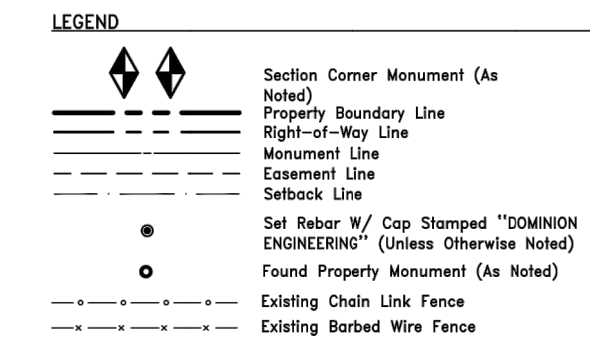
1. Front Yards. Buildings shall not be nearer than 50 feet to the street property line.
2. Side Yards. Buildings shall not be nearer than 15 feet from the side property line.
3. Rear Yards. No rear yard restrictions.
4. No building shall be closer than 40' to any other building on an adjacent site.
5. No more than 50% of the site area shall be covered by building.

At least one-half of the surface of the required setback area from the streets shall be maintained in lawns and landscaping.

Parking restrictions are as follows:

1. One parking space every vehicle used in conducting the business, plus one parking space for every 1.5 employees working on the highest shift plus sufficient visitor parking.
2. One square foot of parking area for each square foot of building area. If this requires more land area than required under item 1, then only that amount of area need be paved to meet the requirements of item 1.
3. Spaces for visitor parking may be provided in the front of buildings provided that the parking area is not closer than 20 feet to the street curb line, and that the area between the street and the parking area is attractively landscaped and the parking area is restricted for visitor parking only.

FLOOD ZONE:
 The subject property is located in a Zone Designation of X, areas determined to be outside of the 0.2% annual chance of flood by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 02006, with a date of identification of December 16, 2005, for Community No. 49927C, in Weber County, State of Utah, which is the current Flood Insurance Rate Map for the community in which the subject property is situated. (NAV098).



DRAWN	DOM	8/16	CHECKED	DOM	8/16
DESIGNED	DOM	8/16	PROJECT ENGINEER		
APPROVED	DOM	8/16	PROJECT MANAGER		

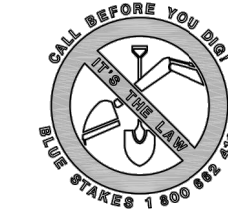
WINCO FOODS, LLC
WEBER COUNTY, UTAH



IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&M
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.	2644-01		
SHEET NO.	1 of 3		
FILE NAME:	Lot 3B ALTA		
SCALE:	1"=30'		
NO.	REVISIONS	BY	DATE

ALTA/NSPS Land Title Survey
For
WinCo Foods, LLC
 Weber Industrial Park - Plat "D" Situated in a Portion of the North Half of Section 36,
 Township 7 North, Range 2 West, Salt Lake Base & Meridian
 Weber County, Utah
 2016



UTILITIES CONTACT INFORMATION:

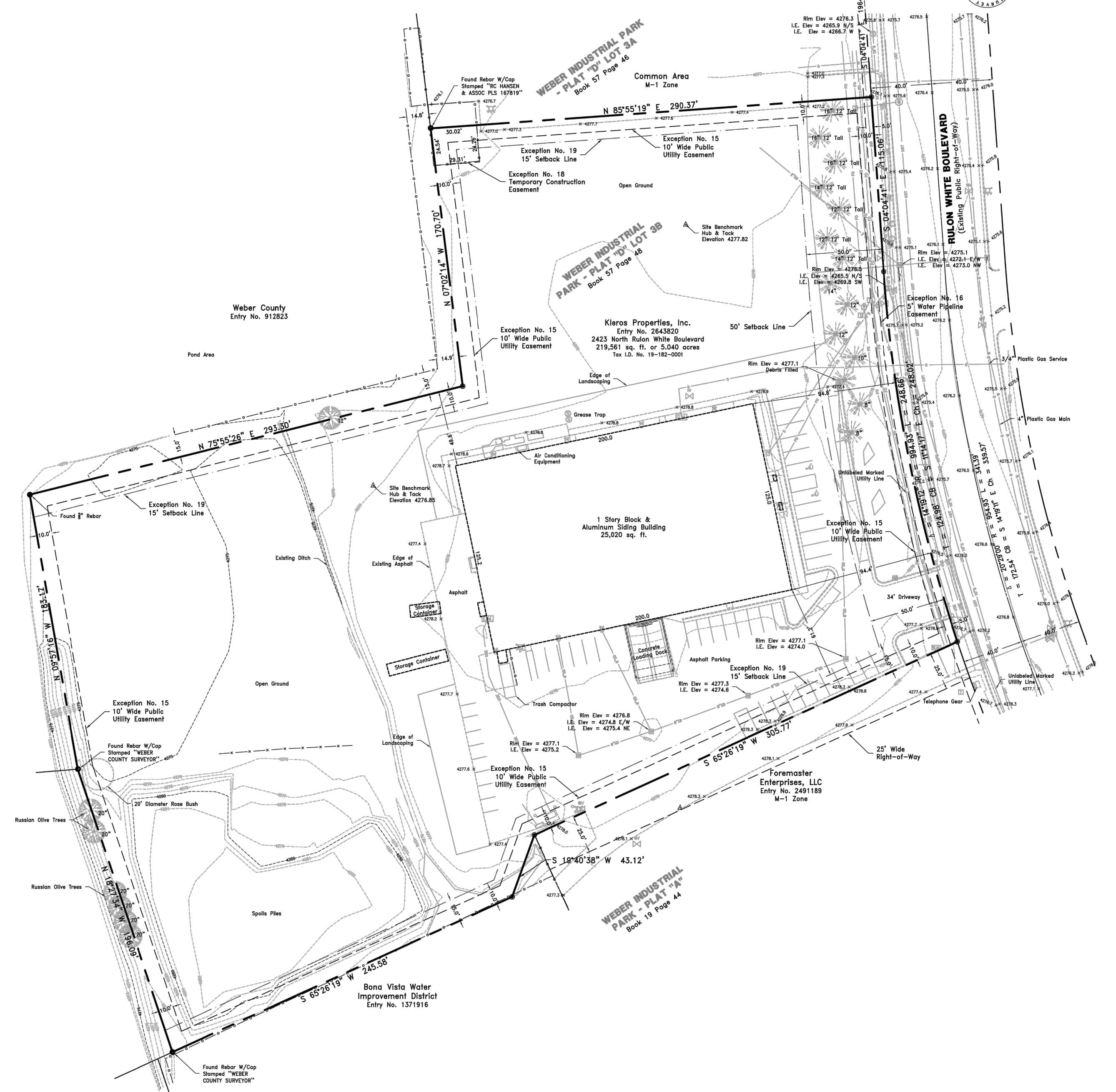
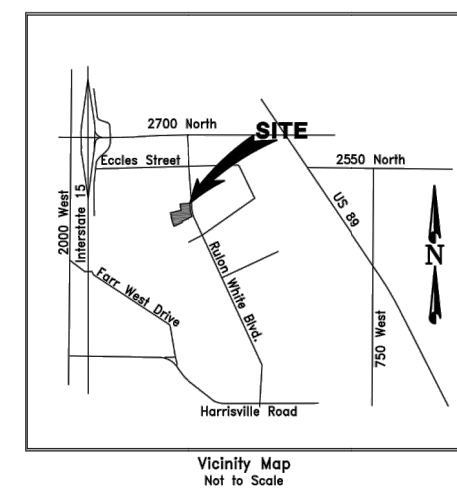
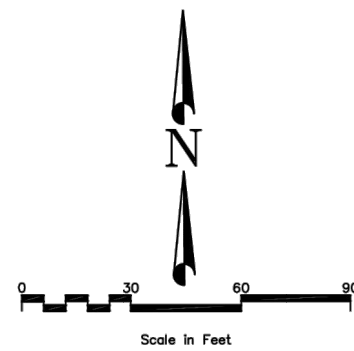
Sewer	Central Weber Sewer Improvement District 801-731-3011
Water	Bona Vista Water Improvement District Brendy Hansen 801-621-0474 ext. 206
	Weber Basin Water Conservancy District Sherris Moley 801-771-1677
Storm Drain	Weber County Stormwater Management 801-399-8374
Communications	Syringe Networks Andy Garcia agarcia@syringenetworks.net 801-482-9070
	Centurylink Ariane Denney ariane.denney@centurylink.com 801-974-8130
	Integra Telecom Shauna Jones shauna.jones@integrotelecom.com 801-708-8157
	Comcast Paul Cobble paulcobble@comcast.com 801-461-3041
Power	Rocky Mountain Power Joel Simmons joelsimmons@rmp.com 505-813-6993
Gas	Quasor Gas Co. SL Mapping Dept. John Skopiec@quasor.com 801-324-3765
Hole	UDOT Region 1 West Espelation jgg@utah.gov 801-620-1833
	Utah Environmental Response & Remediation Paul Zahn pzahn@utah.gov 801-536-4181
	Corbin T&E Elaine Blodie 1142 West 2320 South Suite A West Valley City, Utah 84119 801-266-3600

BENCHMARK:
 Weber County BM WC-115 M
 Elevation 4265.07 (NAVD 88)

Northwest Corner Section 36
 T. 7 N., R. 2 W. S.L.B.&M.
 Found Weber County Brass Monument

Basis of Bearing
 S 89°18'48" W 2712.35'

North 1/2 Corner Section 36
 T. 7 N., R. 2 W. S.L.B.&M.
 Found Weber County Brass Monument



LEGEND

- Section Corner Monument (As Noted)
- Property Boundary Line
- Right-of-Way Line
- Monument Line
- Easement Line
- Setback Line
- Set Rebar W/ Cop Stopped "DOMINION ENGINEERING" (Unless Otherwise Noted)
- Found Property Monument (As Noted)
- Edge of Existing Improvements (As Noted)
- Chain Link Fence
- Barbed Wire Fence
- Existing Water Line
- Existing Sewer Line
- Existing Storm Drain Line
- Existing Fiber Optic Line
- Existing Gas Line
- Existing Overhead Electric Line
- Existing Electric Meter, Box, Utility Pole, Guy
- Existing Water Man Hole, Valve, Fire Hydrant, Meter
- Existing Storm Drain Man Hole, Catch Basin, Roof Drain, Cleanout
- Existing Sewer Man Hole
- Existing Mail Box
- Existing Deciduous, Conifer Tree

P:\WINCO Lot 3B.dwg 2644A SURVEY.dwg Lot 3B ALTA.dwg

DRAWN DOM 8/16	CHECKED DOM 8/16
DESIGNED DOM 8/16	DATE
APPROVED DOM 8/16	DATE

WINCO FOODS, LLC
WEBER COUNTY, UTAH



IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&M
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.	2644-01
SHEET NO.	2 of 3
FILE NAME:	Lot 3B ALTA
SCALE:	1"=30'

EX-02

ALTA/NSPS Land Title Survey
For
WinCo Foods, LLC
 Weber Industrial Park – Plat "D" Situated in a Portion of the North Half of Section 36,
 Township 7 North, Range 2 West, Salt Lake Base & Meridian
 Weber County, Utah
 2016

SURVEYOR'S CERTIFICATE:

To: WinCo Foods, LLC, Kleros Properties, Inc., a Utah Corporation, Integrated Title Insurance Services, LLC and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 10(a), 11(b), 13, 14, 15, 17, 18, 19, 20(a) and 21 of Table A thereof. The field work was completed on May 18, 2016.

BOUNDARY DESCRIPTION
 Lot 3B, Weber Industrial Park – Plat "D" LOT 3B, according to the official plat thereof, as recorded in the office of the Weber County Recorder.

Date: June 10, 2016

Mark N Gregory
 P.L.S. No 334576



NARRATIVE:

The purpose of this survey is to retrace Weber Industrial Park – Plat "D" Lot 3B in order to perform an ALTA/NSPS Land Title Survey on said Lot 3B. The Weber County monuments found marking the Northwest and North Quarter Corners of Section 36, Township 7 North, Range 2 West, Salt Lake Base and Meridian are used to control the location of said property.

BASIS OF BEARING:

The basis of bearing for this survey is South 89°18'48" West along the north line of said Section 36.

SITE BENCHMARK:

Weber County BM WC-115 M, Elevation 4265.07 (NAVD 88)

SURVEYOR'S NOTES:

There are 44 regular and 2 disabled parking spaces located on the subject property. There is no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork for this survey.

There are no known proposed changes in street right of way lines.

No field delineation of wetlands conducted by a qualified specialist was provided by the client and no markers were observed in the process of conducting the fieldwork for this survey.

SCHEDULE B – EXCEPTIONS:

Integrated Title Insurance Services, LLC Order No. 67434 dated April 29, 2016.

Exception No. 11: Notice of Adoption of a Final Redevelopment Plan for the Weber County Industrial Park Project Area No. 3 dated December 23, 1996 recorded December 24, 1996 as Entry No. 1446771 in Book 1940 at Page 2130 of official records.
 Survey findings: The subject property is located within the boundary of the Redevelopment Plan cited in this exception and is subject to the terms contained therein.

Exception No. 12: A Resolution No. 27-2012 of the Board of County Commissioners of Weber County, Utah, confirming the tax to be levied for municipal services provided to the unincorporated area of Weber County recorded December 13, 2012 as Entry No. 2610456 of official records.
 Survey findings: The subject property is located within the unincorporated part of Weber County and is subject to the terms of the resolution cited in this exception.

Exception No. 13: An Ordinance 2013-8 of Weber County vacating a public utility easement on Lot 3B of Weber Industrial Park Plat "D" recorded April 11, 2013 as Entry No. 2629545 of official records.
 Survey findings: The ordinance cited in this exception vacated a public utility easement that was originally located across the central portion of the subject property.

Exception No. 14: Notice of Creation from the Northern Utah Environmental Resource Agency ("NUEERA"), dated October 28, 2014 recorded January 20, 2015 as Entry No. 2718461 of official records.
 Survey findings: The subject property is located within Weber County and is subject to the terms of the notice cited in this exception.

Exception No. 15: Easements, including those for installation and maintenance of utilities and drainage facilities, are reserved as shown on the recorded plat of said Subdivision. Notes and Restrictions as recited on the recorded plat. Subdivision Plat Change Affidavit for Weber Industrial Park – Plat "D" Lot 3B recorded March 04, 2003 as Entry No. 1918090 in Book 2327 at Page 1402 of official records.
 Survey findings: A 10 foot wide public utility easement exists along all of the boundary lines of the subject property and is shown hereon.

Exception No. 16: An easement over, across or through the land for transmitting and distributing water and incidental purposes, as granted to Weber Box Elder Conservation District by Instrument recorded February 10, 1988 as Entry No. 1037877 in Book 1534 at Page 238 of official records.
 Survey findings: A 5 foot wide easement exists along the east line of the subject property and is shown hereon.

Exception No. 17: Reserving a 20 foot right of way for ingress and egress to the pond area (which is to be disclosed at a later date) as disclosed by Special Warranty Deed recorded September 25, 1995 as Entry No. 1365309 in Book 1773 at Page 659 of official records.
 Survey findings: The location of the 20 foot wide right-of-way cited in this exception is not described and cannot be plotted.

Exception No. 18: Temporary Easement Agreement by and between B&R Development, L.L.C. and Gulo Properties, L.C. recorded October 27, 2003 as Entry No. 1986607 of official records.
 Survey findings: The temporary easement cited in this exception is located in the northwesterly portion of the subject property and is shown hereon. This easement may have expired.

Exception No. 19: Protective Covenants recorded April 13, 1973 as Entry No. 591240 in Book 1021 at Page 615. Amendment to said Covenants recorded December 13, 1978 as Entry No. 761418 in Book 1278 at Page 224. Amendment to said Covenants recorded April 05, 1979 as Entry No. 772357 in Book 1285 at Page 888. Amendment to said Covenants recorded January 11, 1984 as Entry No. 892248 in Book 1429 at Page 314. Covenant and Restriction to Run with the Land recorded September 26, 1995 as Entry No. 1365644 in Book 1773 at Page 1388 of official records. Any and all amendments and/or supplements thereto.
 Survey findings: The covenants cited in this exception create the following restrictions:

1. Front Yards. Buildings shall not be nearer than 50 feet to the street property line.
2. Side Yards. Buildings shall not be nearer than 15 feet from the side property line.
3. Rear Yards. No rear yard restrictions.
4. No building shall be closer than 40' to any other building on an adjacent site.
5. No more than 50% of the site area shall be covered by building.

At least one-half of the surface of the required setback area from the streets shall be maintained in lawns and landscaping.

Parking restrictions are as follows:

1. One parking space every vehicle used in conducting the business, plus one parking space for every 1.5 employees working on the highest shift plus sufficient visitor parking.
2. One square foot of parking area for each square foot of building area. If this requires more land area than required under item 1, then only that amount of area need a paved to meet the requirements of item 1.
3. Spaces for visitor parking may be provided in the front of buildings provided that the parking area is not closer than 20 feet to the street curb line, and that the area between the street and the parking area is attractively landscaped and the parking area is restricted for visitor parking only.

Exception No. 20: Deed of Trust and Assignment of Rents and Leases recorded July 02, 2013 as Entry No. 2643921.
 Survey findings: The subject property is subject to the terms of the Deed of Trust cited in this exception.

Exception No. 21: An unrecorded Lease executed by Kleros Properties, Inc., as Lessor, and Harmony Concepts, Inc., as Lessee, as disclosed by Subordination, Aftermarket and Estoppel Agreement recorded July 02, 2013 as Entry No. 2643922 of official records. Subordination, Aftermarket and Estoppel Agreement wherein Harmony Concepts, Inc. subordinates its leasehold interest in the land pursuant to a Lease, dated August 31, 2012, to that certain Deed of Trust shown herein as Exception No. 21.
 Survey findings: The subject property is subject to the terms of the Agreement cited in this exception.

Exception No. 22: Deed Of Trust With Assignment of Rents recorded July 02, 2013 as Entry No. 2643923.
 Survey findings: The subject property is subject to the terms of the Deed of Trust cited in this exception.

Exception No. 23: Trust Deed, Security Agreement, Assignment of Leases and Rents and Fixture Filing recorded October 30, 2015 as Entry No. 2763366.
 Survey findings: The subject property is subject to the terms of the Trust Deed cited in this exception.

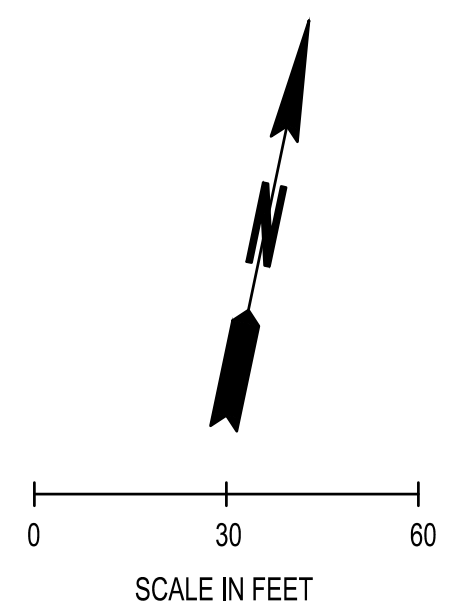
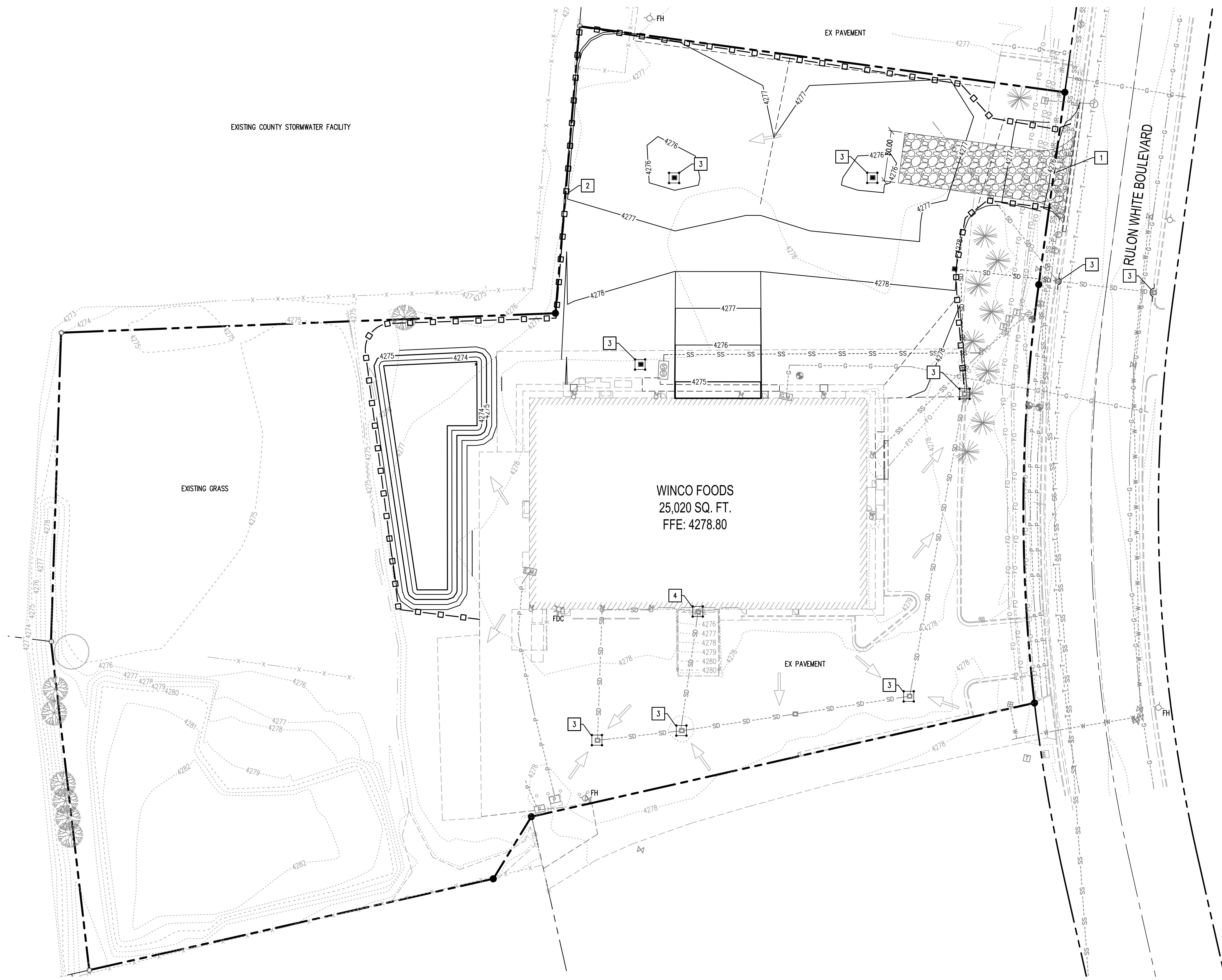
Exception No. 24: A Notice of Mechanic's Lien dated March 22, 2016 filed by All Clean, Inc., a Utah corporation, doing business as the Flood Co. in the Amount of \$1,030.82 recorded March 30, 2016 as Entry No. 2785649 of official records.
 Survey findings: The issues cited in this exception are not matters of survey.

Exception No. 25: The rights of any tenants, lessees, their creditors, and other parties claiming by, through, or under said tenants, pursuant to any leases, rental agreements, occupancy agreements, and/or assignments thereof.
 Survey findings: The issues cited in this exception are not matters of survey.

P:\WINCO Lot3B.dwg; Datum: 2644; SURVEY.dwg; Lot 3B ALTA.dwg

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">DRAWN</td> <td style="font-size: 8px;">DOM 6/16</td> <td style="font-size: 8px;">CHECKED</td> <td style="font-size: 8px;">DOM 8/16</td> </tr> <tr> <td style="font-size: 8px;">DESIGNED</td> <td style="font-size: 8px;">DOM 6/16</td> <td style="font-size: 8px;">DATE</td> <td style="font-size: 8px;">PROJECT ENGINEER</td> </tr> <tr> <td style="font-size: 8px;">APPROVED</td> <td style="font-size: 8px;">DOM 6/16</td> <td style="font-size: 8px;">DATE</td> <td style="font-size: 8px;">PROJECT MANAGER</td> </tr> </table>	DRAWN	DOM 6/16	CHECKED	DOM 8/16	DESIGNED	DOM 6/16	DATE	PROJECT ENGINEER	APPROVED	DOM 6/16	DATE	PROJECT MANAGER	<p>WINCO FOODS, LLC</p> <hr/> <p>WEBER COUNTY, UTAH</p>	<p>Dominion Engineering Associates, L.C. 2684 South Green Street Murray, Utah 84123 801-713-3000</p>	<p>IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&M</p> <hr/> <p>ALTA/NSPS LAND TITLE SURVEY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">PROJECT NO.</td> <td style="font-size: 8px;">2644-01</td> </tr> <tr> <td style="font-size: 8px;">SHEET NO.</td> <td style="font-size: 8px;">3 of 3</td> </tr> <tr> <td style="font-size: 8px;">FILE NAME:</td> <td style="font-size: 8px;">Lot 3B ALTA</td> </tr> <tr> <td style="font-size: 8px;">SCALE:</td> <td style="font-size: 8px;">N/A</td> </tr> </table>	PROJECT NO.	2644-01	SHEET NO.	3 of 3	FILE NAME:	Lot 3B ALTA	SCALE:	N/A
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SHEET NO.	3 of 3																							
FILE NAME:	Lot 3B ALTA																							
SCALE:	N/A																							

SEC. 36, T. 7 N., R. 2 W.



LEGEND

- — — — — PROPERTY LINE
- - - - - EXISTING MAJOR CONTOUR
- · · · · EXISTING MINOR CONTOUR
- - - - - PROPOSED MAJOR CONTOUR
- · · · · PROPOSED MINOR CONTOUR
- ← — — — — EXISTING DRAINAGE PATTERN
- — — — — SILT FENCE PER SHEET EC-03, CLEARING AND GRUBBING LIMIT
- INLET PROTECTION DEVICE PER SHEET EC-03

EROSION CONTROL NOTES:

1. STABILIZED CONSTRUCTION ENTRANCE (100 LF) PER WEBER COUNTY BMP: SCE, SEE SHEET EC-02
2. SILT FENCE PER PER BMP-SF: SEE SHEET EC-03
3. INLET PROTECTION PER BMP, SEE SHEET EC-03

GENERAL NOTES:

1. BMP'S SHOWN ON THIS PLAN ARE THE MINIMUM BMP'S REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SITE IS COMPLIANT AT ALL TIMES AND INSTALL ADDITIONAL BMP'S AS NECESSARY.
2. CONTRACTOR SHALL SECURE ALL STORAGE AREAS.
3. CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL MEASURES REQUIRED FOR STORAGE AND STOCKPILE AREAS.
4. ALL MATERIAL STORED ON SITE SHALL HAVE PROPER ENCLOSURES AND/OR COVERINGS.
5. CONTRACTOR SHALL PROVIDE DESIGNATED, PAINT AND WASTE DISPOSAL LOCATION AS NECESSARY.
6. CONTRACTOR SHALL PROVIDE CONCRETE WASTE MANAGEMENT PER BMP SEE SHEET EC-02.
7. SEE LANDSCAPE PLANS FOR SEEDING AND PLANTINGS
8. CONTRACTOR SHALL INSTALL SILT FENCE, CONSTRUCTION ENTRANCE AND INLET PROTECTION IN EXISTING INLETS PRIOR TO COMMENCING ANY SITE DISTURBING ACTIVITIES.
9. CONTRACTOR SHALL PROVIDE EROSION CONTROL BLANKET MEASURES FOR ALL SLOPES DURING AND AFTER CONSTRUCTION PER THE TABLE BELOW (SEE EC-02):

SLOPE		
0-4:1	(0%-25%)	TENSAR ROLLMAX S150BN
4:1-2:1	(25%-50%)	TENSAR ROLLMAX SC150BN
2:1-1:1	(50-100%)	TENSAR ROLLMAX C125BN
10. CONTRACTOR SHALL PROVIDE DUST CONTROL PER BMP, SEE EC-02.
11. PRESERVATION OF EXISTING VEGETATION PER BMP, SEE EC-02.
12. CONTRACTOR SHALL PROVIDE SPILL CLEAN-UP PER BMP, SEE EC-02.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

BENCHMARK:

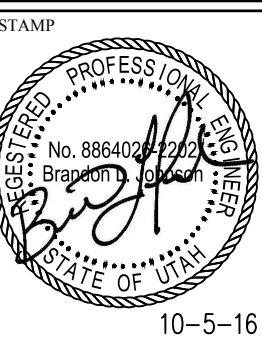
WEBER COUNTY BM WC-115 M, ELEVATION: 4265.07 (NAVD 88)

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING BLUE STAKES OF UTAH 811 OR 1-800-662-4111 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
SCJ PROJECT NO.	1832.04
DRAWN	
CHECKED	B. JOHNSON
SUBMITTAL DATES	
OTB DATE	

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516
P: 360.952.1465 F: 360.952.1509
SCJALLIANCE.COM



WINCO #80 CROSS DOCK
2423 N. RULON WHITE BLYD
OGDEN, UTAH



SHEET TITLE
TEMPORARY
EROSION
CONTROL PLAN

SHEET
EC-01

BMP: Concrete Waste Management **CWM**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
► This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:
► Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:
► Inspect subcontractors to ensure that concrete wastes are being properly managed.
► If using a temporary pit, dispose hardened concrete on a regular basis.

ENGINEERING DEPARTMENT
2380 Washington Blvd., Suite 240
Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

BMP: Dust Control **DC**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:
► Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

INSTALLATION/APPLICATION CRITERIA:

- Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
- Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

LIMITATIONS:
► Is generally more expensive than manual systems.
► May be impossible to maintain by plant personnel (the more elaborate equipment).
► Is labor and equipment intensive and may not be effective for all pollutants (street sweepers).

MAINTENANCE:
► If water sprayers are used, dust-contaminated waters should be collected and taken for treatment. Areas will probably need to be resprayed to keep dust from spreading.

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(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

BMP: Erosion Control Blankets **ECB**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
► Erosion control blankets are used in place of mulch on areas of high velocity runoff and/or steep grade, to aid in controlling erosion on critical areas by protecting young vegetation.
► Where vegetation is likely to grow too slowly to provide adequate cover.
► In areas subject to high winds where mulch would not be effective.

APPLICATIONS:
► Place erosion control blankets loosely on soil - do not stretch.
► Ends of blankets should be buried no less than six inches deep.
► Staple the edges of the blanket at least every three feet.

INSTALLATION/APPLICATION CRITERIA:

- Install erosion control blankets parallel to the direction of the slope.
- In ditches, apply in direction of the flow.
- Place erosion control blankets loosely on soil - do not stretch.
- Ends of blankets should be buried no less than six inches deep.
- Staple the edges of the blanket at least every three feet.

LIMITATIONS:
► Not recommended in areas which are still under construction.

MAINTENANCE:
► Check for erosion and undermining periodically, particularly after rainstorms.
► Repair dislocations or failures immediately.
► If washouts occur, reinstall after repairing slope damage.
► Monitor until permanently stabilized.

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Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

BMP: Preservation of Existing Vegetation **PEV**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs and/or grasses that serve as erosion controls.

APPLICATIONS:
► This technique is applicable to all types of sites. Areas where preserving vegetation can be particularly beneficial are floodplains, wetlands, stream banks, steep slopes, and other areas where erosion controls would be difficult to establish, install, or maintain.

INSTALLATION/APPLICATION CRITERIA:

- Clearly mark, flag or fence vegetation or areas where vegetation should be preserved.
- Prepare landscaping plans which include as much existing vegetation as possible and state proper care during and after construction.
- Define and protect with berms, fencing, signs, etc. a setback area from vegetation to be preserved.
- Propose landscaping plans which do not include plant species that compete with the existing vegetation.
- Do not locate construction traffic routes, spoil piles, etc. where significant adverse impact on existing vegetation may occur.

LIMITATIONS:
► Requires forward planning by the owner/developer, contractor and design staff.
► For sites with diverse topography, it is often difficult and expensive to save existing trees while grading the site satisfactorily for the planned development.
► May not be cost effective with high land costs.

MAINTENANCE:
► Inspection and maintenance requirements for protection of vegetation are low.
► Maintenance of native trees or vegetation should conform to landscape plan specifications.

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2380 Washington Blvd., Suite 240
Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

BMP: Stabilized Construction Entrance **SCE**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATIONS:
► At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

LIMITATIONS:
► Requires periodic top dressing with additional stones.
► Should be used in conjunction with street sweeping on adjacent public right-of-way.

MAINTENANCE:
► Inspect daily for loss of gravel or sediment buildup.
► Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
► Repair entrance and replace gravel as required to maintain control in good working condition.
► Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

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Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

BMP: Spill Clean-Up **SCU**

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
► All sites

GENERAL:
► Store controlled materials within a storage area.
► Educate personnel on prevention and clean-up techniques.
► Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
► Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:
► Clean-up spills/leaks immediately and remediate cause.
► Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
► Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
► Document all spills with date, location, substance, volume, actions taken and other pertinent data.
► Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

ENGINEERING DEPARTMENT
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Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High
☒ Medium
□ Low

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BMP: Silt Fence
SF

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- ▶ A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- ▶ Perimeter control: place barrier at downgradient limits of disturbance
- ▶ Sediment barrier: place barrier at toe of slope or soil stockpile
- ▶ Protection of existing waterways: place barrier at top of stream bank
- ▶ Inlet protection: place fence surrounding catchbasins

INSTALLATION/APPLICATION CRITERIA:

- ▶ Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- ▶ Secure wire mesh (14 gage min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
- ▶ Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- ▶ Backfill trench over filter fabric to anchor.

LIMITATIONS:

- ▶ Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- ▶ Recommended maximum upgradient slope length of 150 feet
- ▶ Recommended maximum uphill grade of 2:1 (50%)
- ▶ Recommended maximum flow rate of 0.5 cfs
- ▶ Ponding should not be allowed behind fence

MAINTENANCE:

- ▶ Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- ▶ Look for runoff bypassing ends of barriers or undercutting barriers.
- ▶ Repair or replace damaged areas of the barrier and remove accumulated sediment.
- ▶ Reanchor fence as necessary to prevent shortcutting.
- ▶ Remove accumulated sediment when it reaches 1/2 the height of the fence.

WEBER COUNTY
ENGINEERING DEPARTMENT
 2380 Washington Blvd., Suite 240
 Ogden, UT 84401
 (801) 399-8374

TARGETED POLLUTANTS

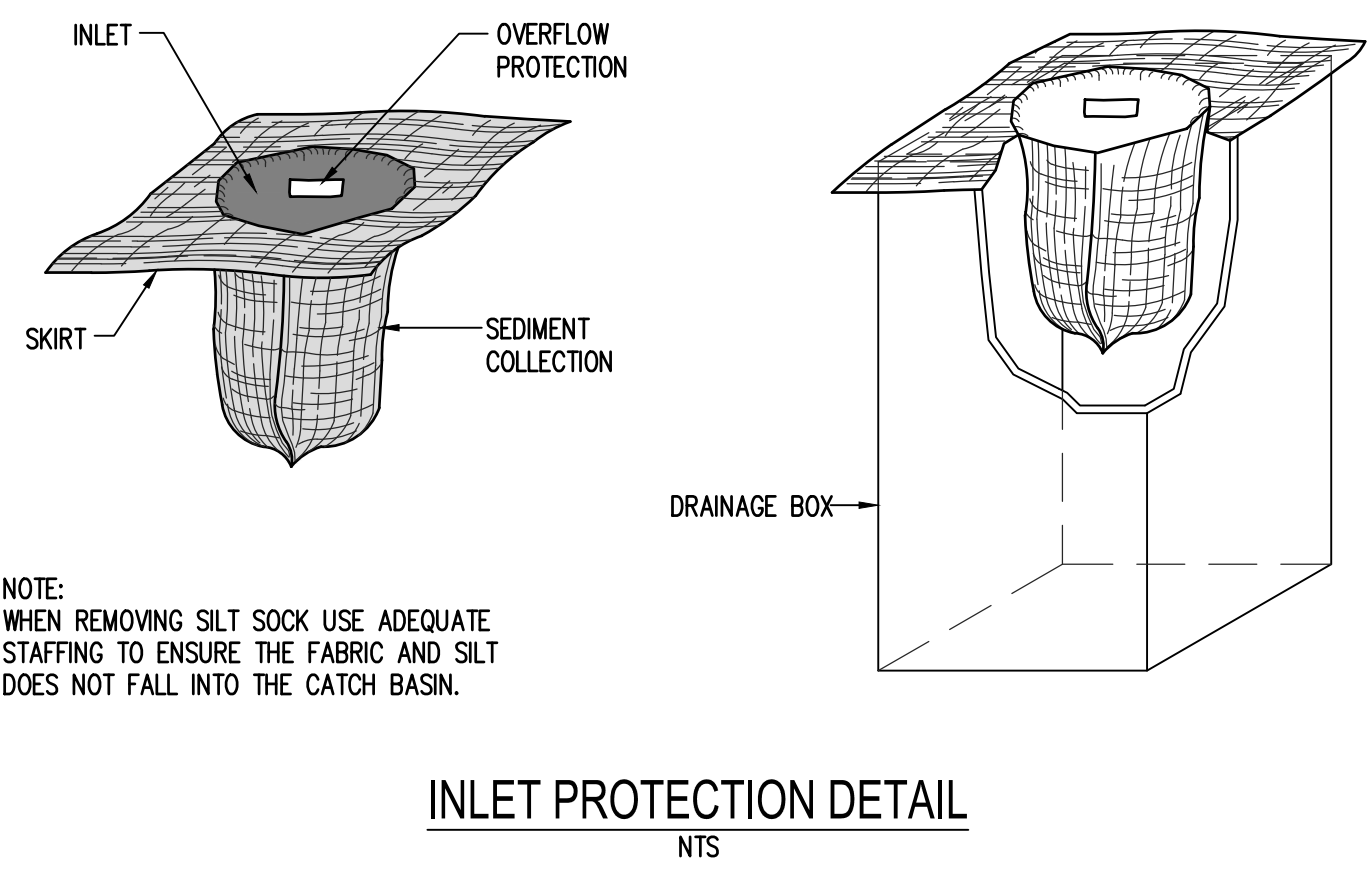
- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

IMPACT

- High
- Medium
- Low



REVISIONS

SCJ PROJECT NO.
1832.04

DRAWN

CHECKED
B. JOHNSON

SUBMITTAL DATES

OTB DATE

SCJ ALLIANCE
 CONSULTING SERVICES
 8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516
 P: 360-952-1465 F: 360-952-1509
 SCJALLIANCE.COM

STAMP

10-5-16

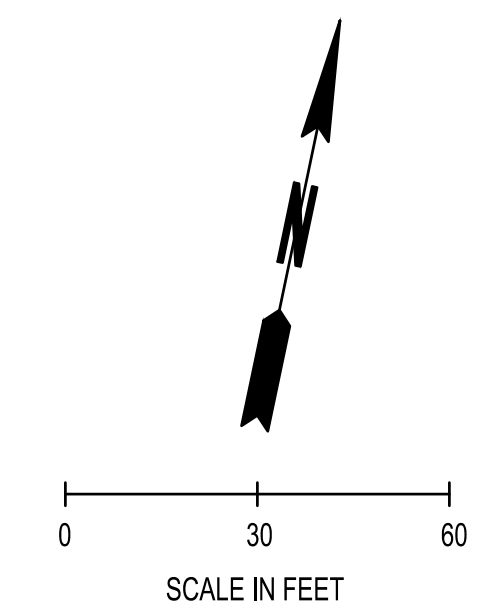
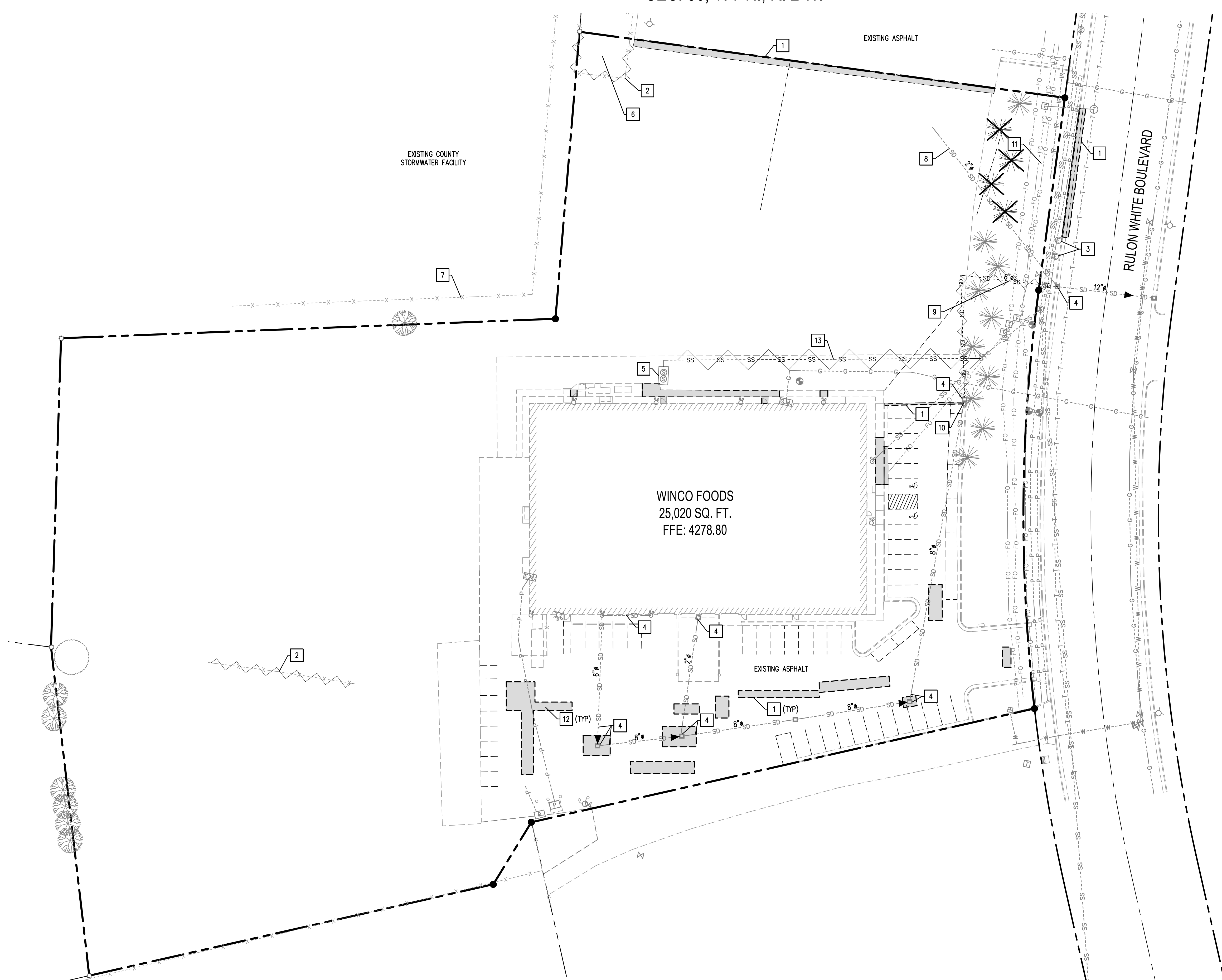
WINCO #80 CROSS DOCK
 2423 N. RULON WHITE BLVD
 OGDEN, UTAH

SHEET TITLE
EROSION CONTROL DETAILS

SHEET
EC-03

SEC. 36, T. 7 N., R. 2 W.

Oct 05, 2016 2:07:59pm - User: pbenbrun
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LEGEND

- SAWCUT
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING ASPHALT/CONCRETE/WALL/SIDEWALK/CURB AND BASE TO BE REMOVED
- SD---SD---SD--- EXISTING STORM DRAIN LINE
- SD---SD---SD--- EXISTING STORM DRAIN LINE TO BE REMOVED
- G---G---G--- EXISTING GAS LINE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING IRRIGATION METER
- EXISTING TELEPHONE JUNCTION BOX
- EXISTING DRAINAGE BOX

DEMOLITION NOTES:

1. SAWCUT
2. REMOVE EXISTING FENCE AND BACKFILL, PROVIDE FENCE POSTS AND FOUNDATIONS IN KIND TO EX FENCE ENDS AS REQUIRED TO SUPPORT EX FENCE.
3. PROTECT EXISTING ELECTRICAL VAULTS
4. CLEAN EXISTING CATCH BASINS AND PIPES FOR EXISTING STORMWATER SYSTEM.
5. REMOVE EXISTING GREASE INTERCEPTOR SEE ARCHITECTURAL PLANS.
6. CONTRACTOR SHALL COORDINATE W/ OWNER OF MATERIAL FOR RELOCATION IF REQUIRED PRIOR TO REMOVAL OF FENCE.
7. PROTECT EXISTING FENCE
8. PROTECT EXISTING STORM LINE. CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, AND SIZE PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, AND SIZE OF STORM LINE LINE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE ENGINEER WITH STORM PIPE INFORMATION.
10. CONTRACTOR SHALL CLEAN CB AND DETERMINE LOCATION, SIZE, AND DEPTH OF OUTFALL PIPE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE ENGINEER WITH STORM PIPE INFORMATION.
11. CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, AND SIZE OF UTILITIES. CONTRACTOR SHALL POT HOLE EXISTING UTILITIES AT LOCATION OF CONSTRUCTION ENTRANCE PRIOR TO CONSTRUCTION.
12. EXISTING ASPHALT/CONCRETE/WALL/SIDEWALK/CURB AND BASE TO BE REMOVED
13. REMOVE EXISTING SEWER LINE CAP AT BUILDING SEWER LATERAL CONNECTION.

DEMOLITION STANDARD NOTES:

1. EXISTING INFRASTRUCTURE IS SHOWN TO THE EXTENT OF ENGINEER'S KNOWLEDGE. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM SCOPE OF DEMOLITION PRIOR TO BID.
2. AWARDED CONTRACTOR WILL BE PROVIDED AUTOCAD FILE TO LOCATE AND STAKE DEMO LIMITS.
3. SEE GEOTECHNICAL ENGINEERING REPORT FROM TERRACON (JUNE 21, 2016) BORING LOG NO. 6, 7, AND 8 FOR DEPTH OF EXISTING ASPHALT.

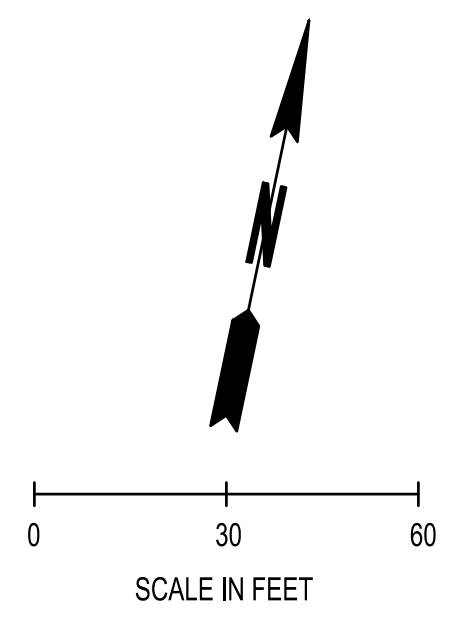
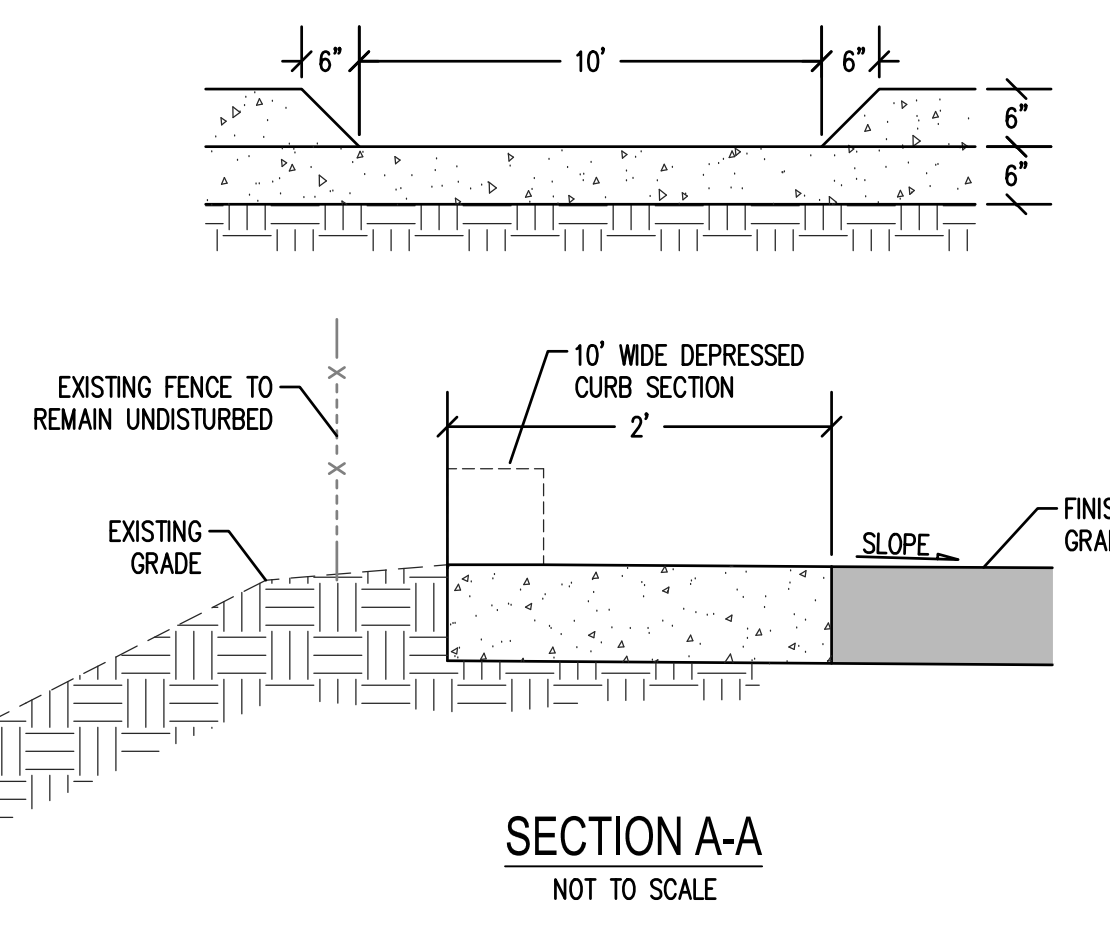
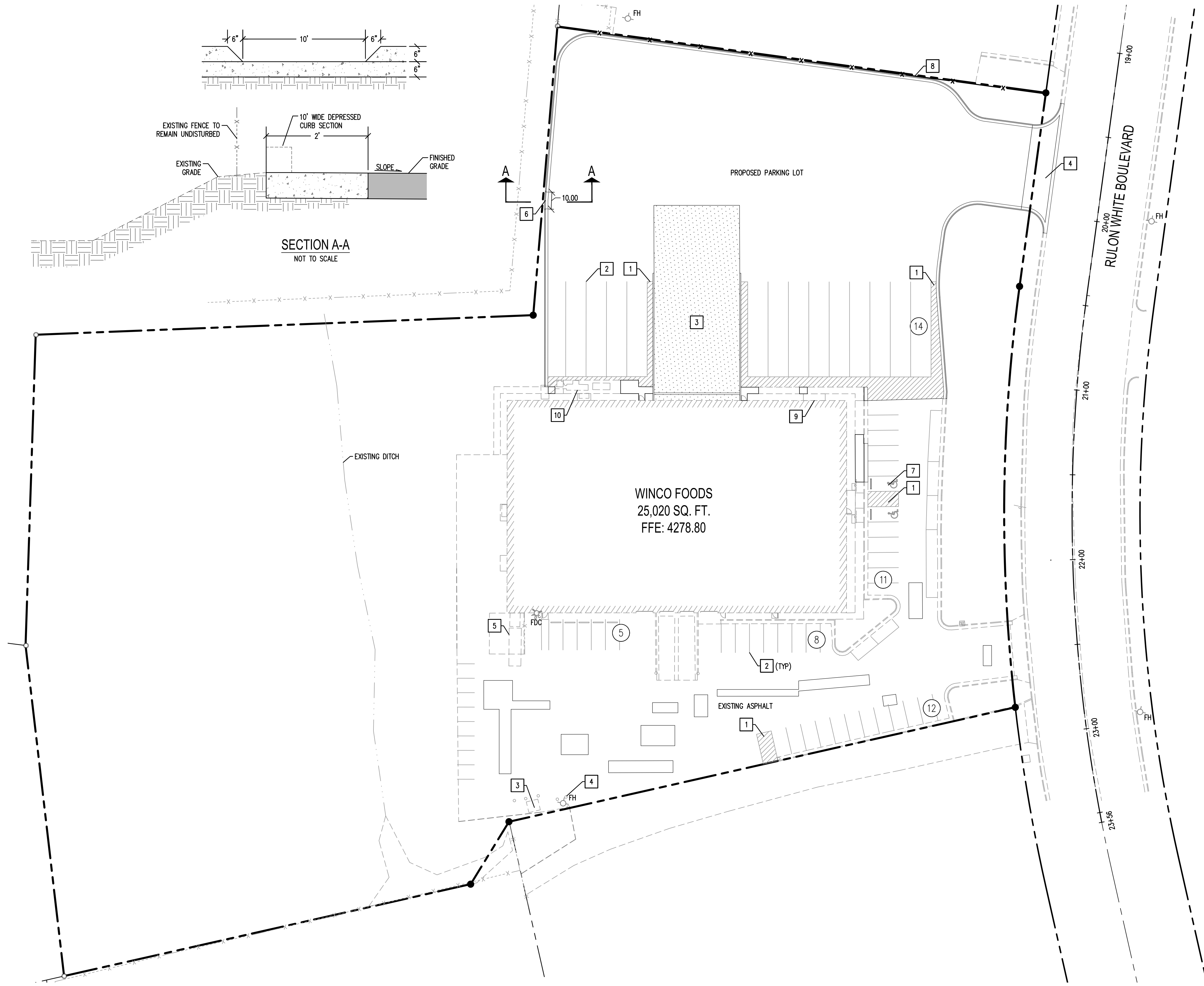
BASIS OF BEARING:
 THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

BENCHMARK:
 WEBER COUNTY BM WC-115 M,
 ELEVATION: 4265.07 (NAVD 88)

CALL BEFORE YOU DIG
 THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING BLUE STAKES OF UTAH 811 OR 1-800-662-4111 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
SCJ PROJECT NO. 1832.04	
DRAWN	
CHECKED B. JOHNSON	
SUBMITTAL DATES	
OTB DATE	
 SCJ ALLIANCE CONSULTING SERVICES <small>8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516 P: 360.952.1465 F: 360.952.1509 SCJALLIANCE.COM</small>	
 <small>10-5-16</small>	
WINCO #80 CROSS DOCK 2423 N. RULON WHITE BLYD OGDEN, UTAH	
WinCo FOODS	
SHEET TITLE DEMOLITION PLAN	
SHEET DM-01	

SEC. 36, T. 7 N., R. 2 W.



- LEGEND**
- PROPERTY LINE
 - EXISTING BUILDING
 - STALL COUNT
 - PROPOSED STRIPING
 - CURB AND GUTTER SEE HC-02
 - CONCRETE PAVING WITHIN BUILDING/SITE LINE SEE BUILDING PLANS
 - EXISTING CURB AND GUTTER
 - CHAIN LINK FENCE, SEE ARCHITECTURAL PLANS

- # CONSTRUCTION NOTES:**
1. CROSSWALK MARKING: 4" WIDE DIAGONAL STRIPING @ 2'-0" O.C., PAINT W/2 COATS TRAFFIC WHITE W/ 7 MIL. DFT PER COAT
 2. 90° PARKING LOT STRIPING: SEE HC-02
 3. LOADING DOCKS: SEE BUILDING PLANS
 4. PROPOSED ACCESS: SEE HC SHEETS
 5. EXISTING DRY COMPACTOR: SEE BUILDING PLANS
 6. 10' WIDE CURB CUT (DEPRESSED CURB SECTION) SEE DETAIL THIS SHEET
 7. ADA ACCESSIBLE PARKING: SEE HC-02
 8. PROPOSED CHAIN LINK FENCE SHALL BE CONSTRUCTED 0.5' INSIDE OF PROPERTY LINE. SEE LANDSCAPE PLAN SHEET SD2.1.

- GENERAL NOTES:**
1. SEE "HC" SHEETS FOR DIMENSIONS
 2. GENERAL CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS AT THE BUILDING WITH SITE DRAWINGS, SITE CONTRACTOR AND LOCAL UTILITY COMPANIES (IF REQUIRED).
 3. GENERAL CONTRACTOR SHALL PROVIDE SECURE STORAGE AND STAGING AREA PER SPECIFICATION SECTION 015000 TEMPORARY FACILITIES. COORDINATE LOCATION WITH WINCO'S CONSTRUCTION MANAGER AND SITE CONTRACTOR IF REQUIRED.
 4. IF CERTAIN SITE WORK IMPROVEMENTS ARE COMPLETE, GENERAL CONTRACTOR SHALL PROTECT ALL COMPLETED GRADING, UTILITIES AND FINISH SURFACES FROM DAMAGE DURING BUILDING CONSTRUCTION.
 5. GENERAL CONTRACTOR SHALL PROCURE ALL PERMITS AND PAY ALL APPROPRIATE FEES FOR CONSTRUCTION OF THE PROJECT. ALL WORK SHALL CONFORM TO CITY, COUNTY AND STATE AUTHORITIES HAVING JURISDICTION.
 6. PRIOR TO BIDDING, CONTRACTOR SHALL BECOME FAMILIAR WITH ALL SITE CONDITIONS THAT AFFECT CONSTRUCTION.

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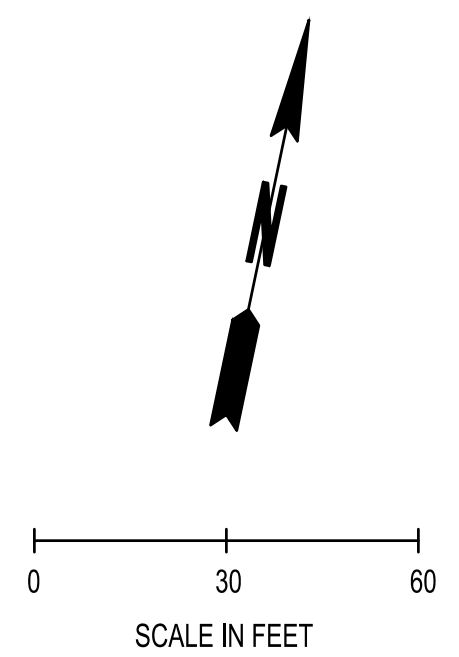
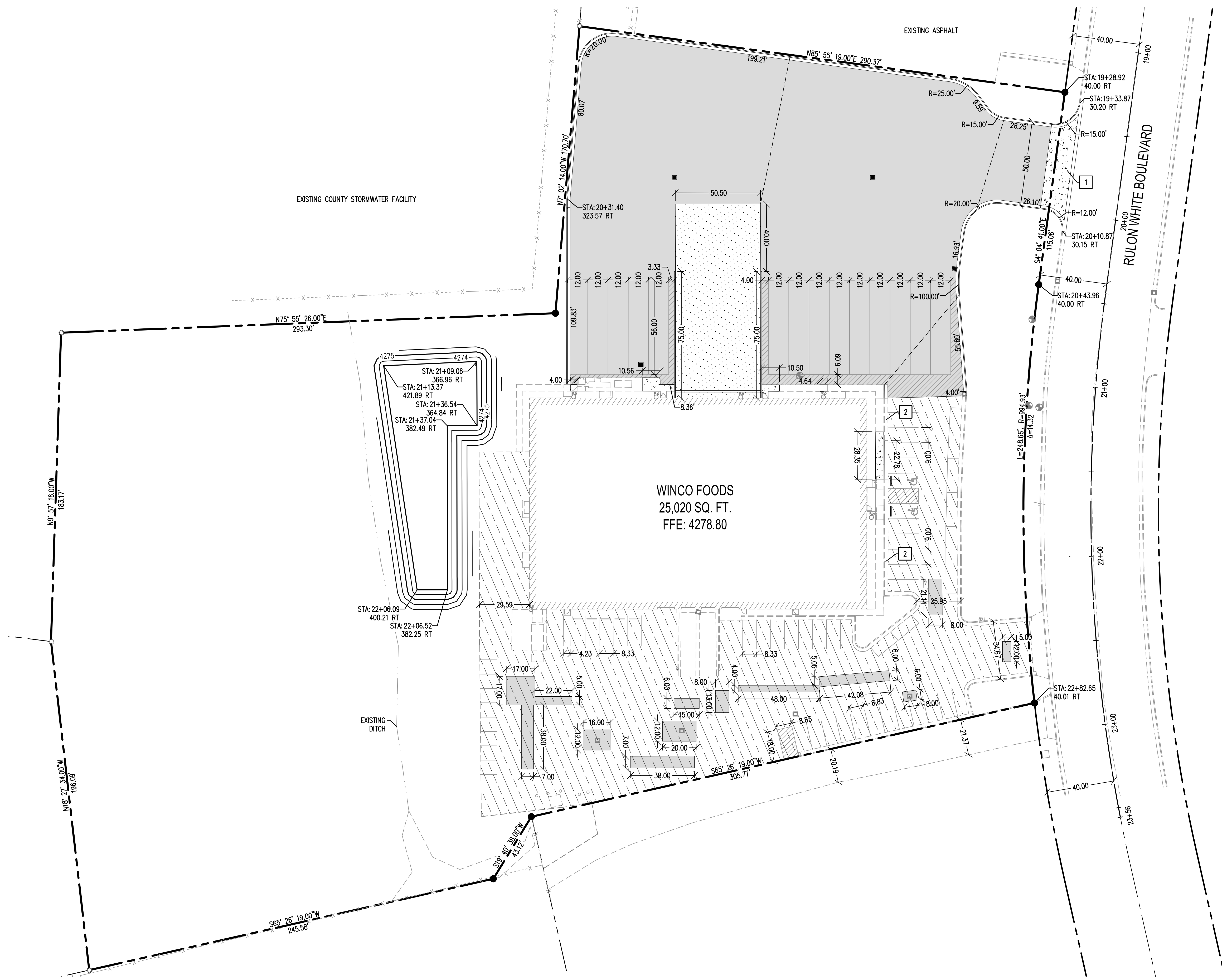
BENCHMARK:
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ELEVATION: 4265.07 (NAVD 88)

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8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-952-3465 F: 360-952-1609 SCJALLIANCE.COM	
 10-5-16	
WINCO #80 CROSS DOCK 2423 N. RULON WHITE BLVD OGDEN, UTAH	
SHEET TITLE	SITE PLAN
SHEET	SP-01

Oct 05, 2016 2:08:09pm - User: pbenbrahim
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SEC. 36, T. 7 N., R. 2 W.



LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	HEAVY DUTY ASPHALT PAVING SEE HC-02
	CONCRETE PAVING WITHIN BUILDING/SITE LINE SEE BUILDING PLANS
	CONCRETE SIDEWALK SEE HC-02
	EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	ASPHALT SLURRY SEAL COAT, PER UDOT SPECIFICATION SECTION 02789

GENERAL NOTES:

- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES:

- COMMERCIAL APPROACH PER TYPE "A" DRIVEWAY APPROACH
- GRIND AREAS OF SIDEWALK AND CURB WHERE DEFERENTIAL GRADE BETWEEN ADJOINING HARD SURFACE IS GREATER THAN 0.25 INCHES TO BE FLUSH. MAINTAIN ADA COMPLIANCE AS REQUIRED. CONTRACTOR SHALL PROVIDE A PER SF PRICE AS PART OF BID. CONTRACTOR SHALL WALK PROJECT WITH WINCO'S REPRESENTATIVE TO CONFIRM LOCATION OF GRINDING. (CONTRACTOR SHALL INCLUDE 100 SF OF GRINDING IN BID PROPOSAL)

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BENCHMARK:

WEBER COUNTY BM WC-115 M, ELEVATION: 4265.07 (NAVD 88)

CALL BEFORE YOU DIG

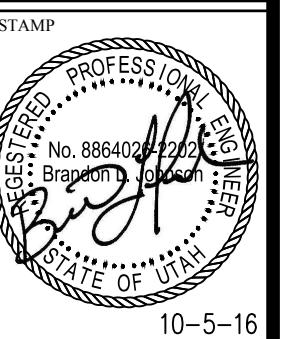
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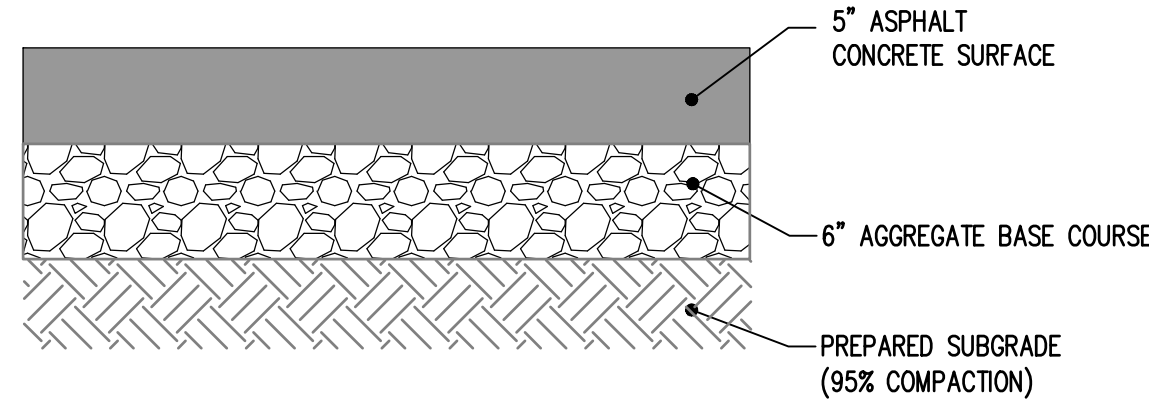
WINCO #80 CROSS DOCK
2423 N. RULON WHITE BLVD
OGDEN, UTAH

WinCo FOODS

SHEET TITLE
HORIZONTAL CONTROL AND PAVING PLAN

SHEET
HC-01

Oct 05, 2016 2:08:22pm - User: pbenbrun
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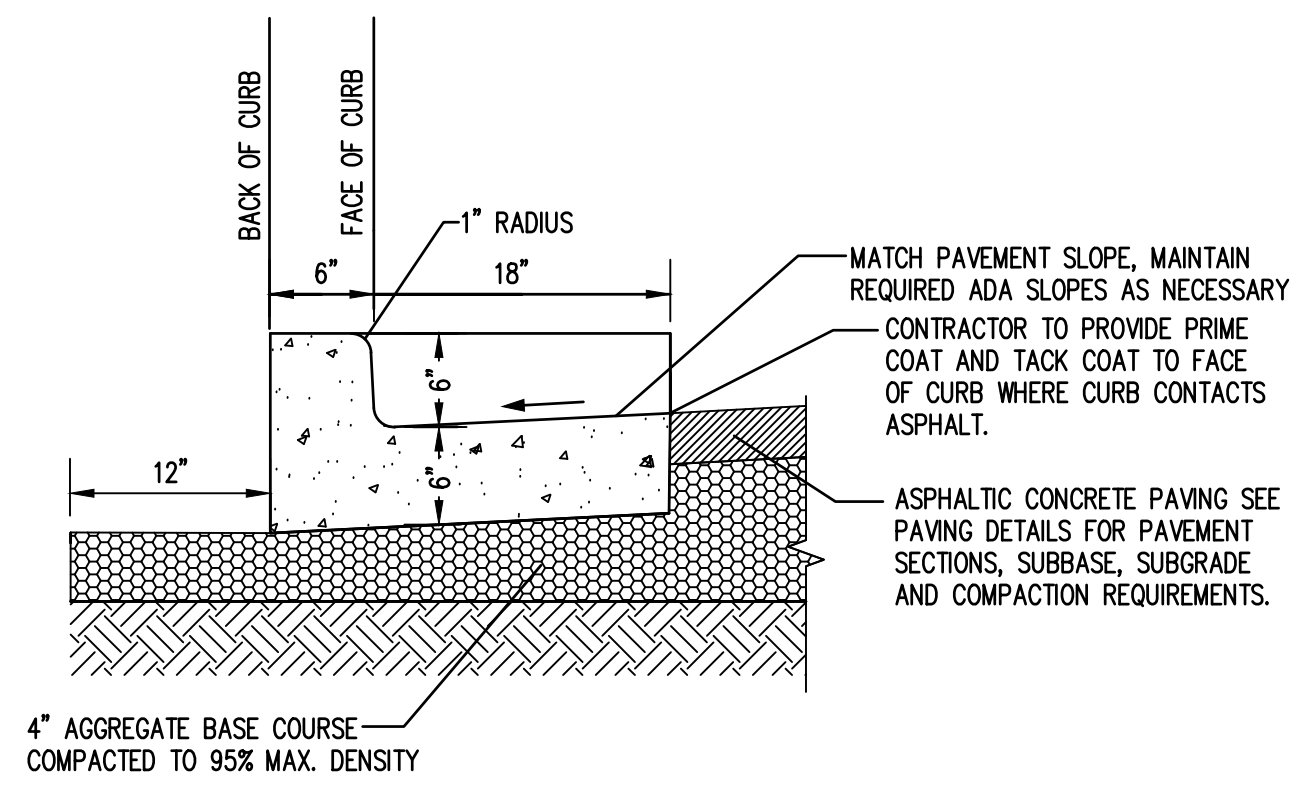
- NOTES:**
- ALL PAVING SHALL BE COMPLETED PER THE GEOTECHNICAL REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016
 - ALL SITE PREPARATION SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016

NOTES:
 ASPHALT CONCRETE: THE ASPHALT CEMENT BINDER CONFORM TO UTAH DEPARTMENT OF TRANSPORTATION 2012 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SPECIFICATION SECTION 02745 FOR PG 58-34, PERFORMANCE GRADED ASPHALT BINDER WITH A MIX WITH AGGREGATE MEETING THE GRADATION REQUIREMENTS FOR 1/2-INCH DENSE AS PRESENTED IN SECTION 02741.

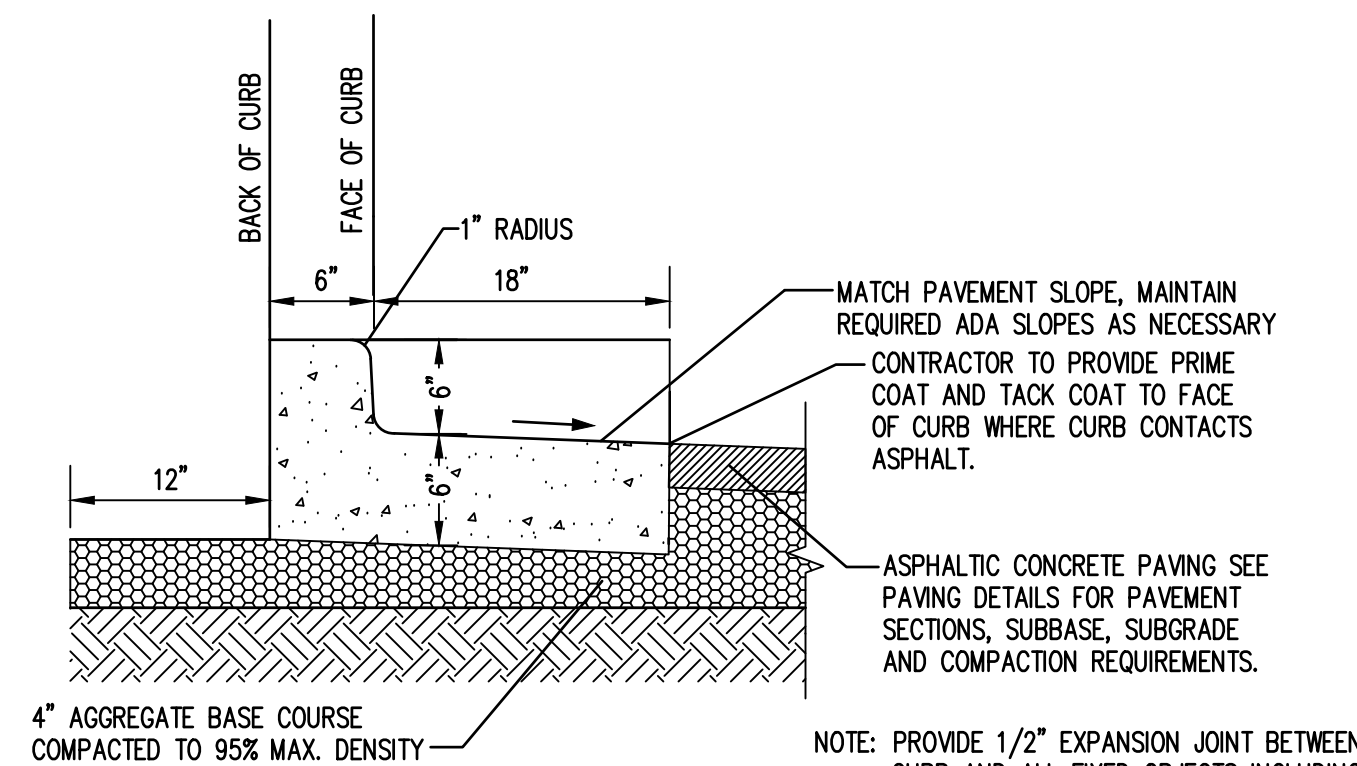
AGGREGATE BASE COURSE: AGGREGATE BASE COURSE CONFORM TO GRADATION SPECIFICATIONS PRESENTED IN WEBER COUNTY PUBLIC WORKS STANDARD AND TECHNICAL SPECIFICATIONS (AUGUST 1982) SECTION 1.3.02 BASE COURSE (3/4 INCH GRADATION).

COMPACTION - ASPHALT AND BASE COURSE: ALL SUBBASE AND BASE COURSE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D 1557. ALL BASE COURSES BE PROOFROLLED WITH A LOADED DUMP TRUCK PRIOR TO PLACING THE FOLLOWING LIFT OF MATERIAL. ASPHALT SHALL BE COMPACTED TO 92 TO 97 PERCENT OF THE RICE (THEORETICAL MAXIMUM) DENSITY.

HEAVY DUTY ASPHALT PAVING
 NTS

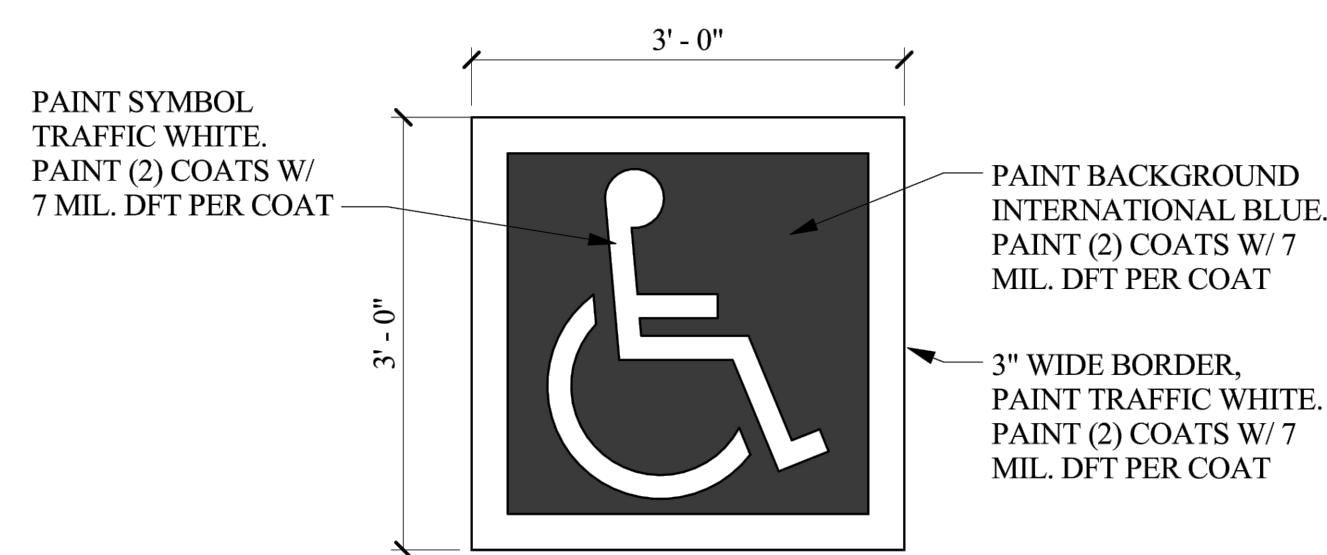


CATCH CURB AND GUTTER
 NTS

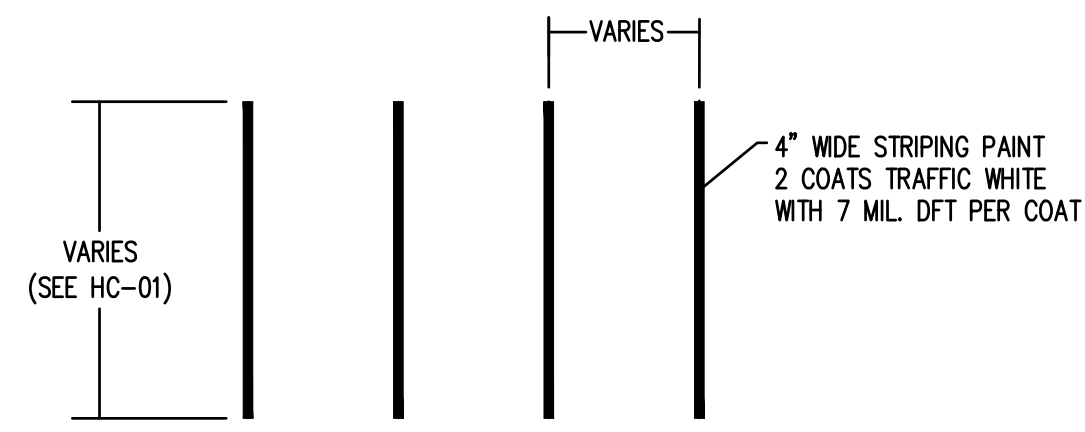


CURB & GUTTER
 NTS

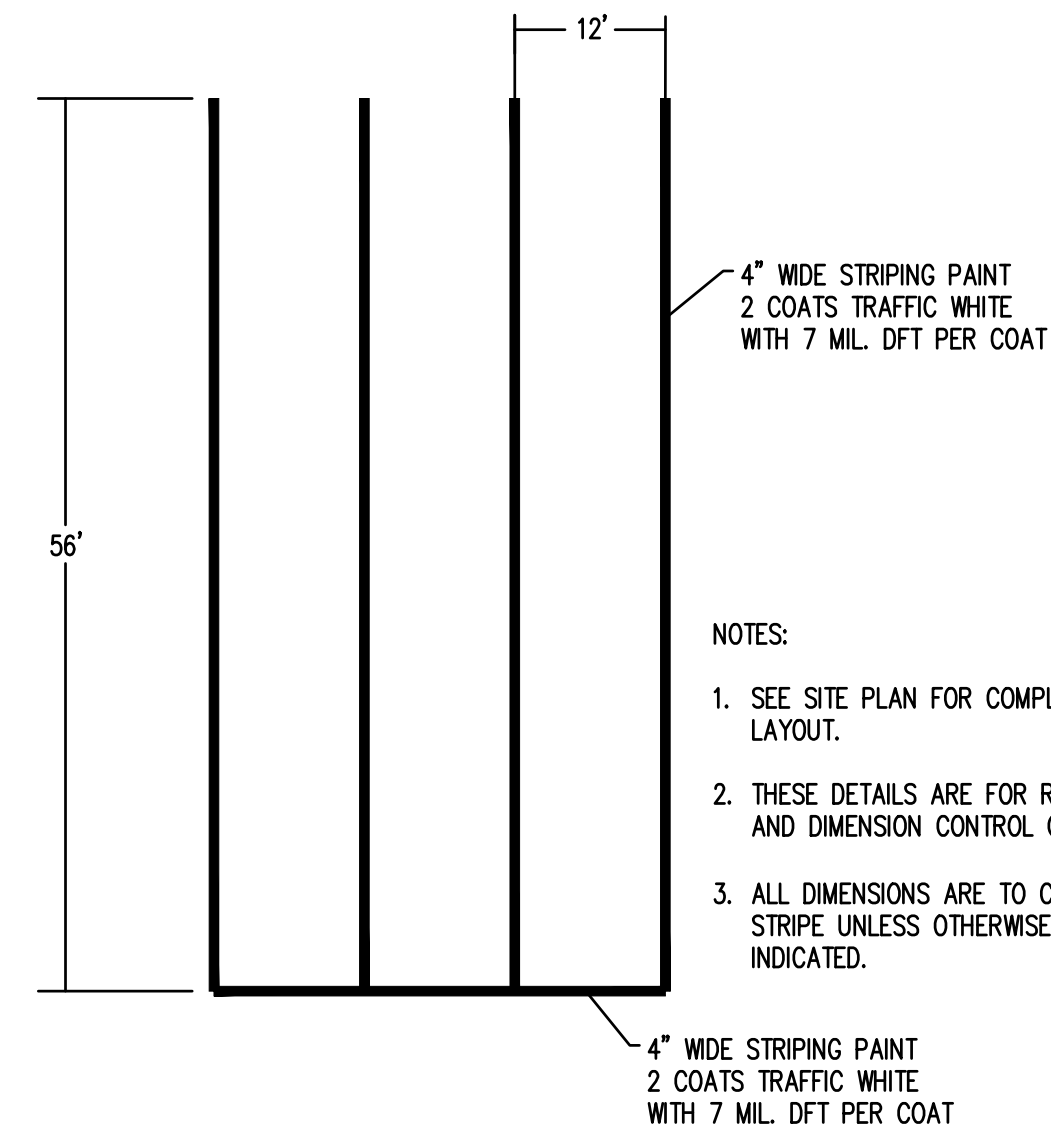
NOTE: PROVIDE 1/2" EXPANSION JOINT BETWEEN CURB AND ALL FIXED OBJECTS INCLUDING SIDEWALKS.
 EXPANSION JOINTS (15-FT O.C.) AND SCRIBED JOINTS SHALL BE PER SECTION 1.4.05(B) OF WEBER COUNTY PUBLIC WORKS STANDARDS AND TECHNICAL SPECIFICATIONS (AUGUST 1982).



ACCESSIBLE SYMBOL
 NTS

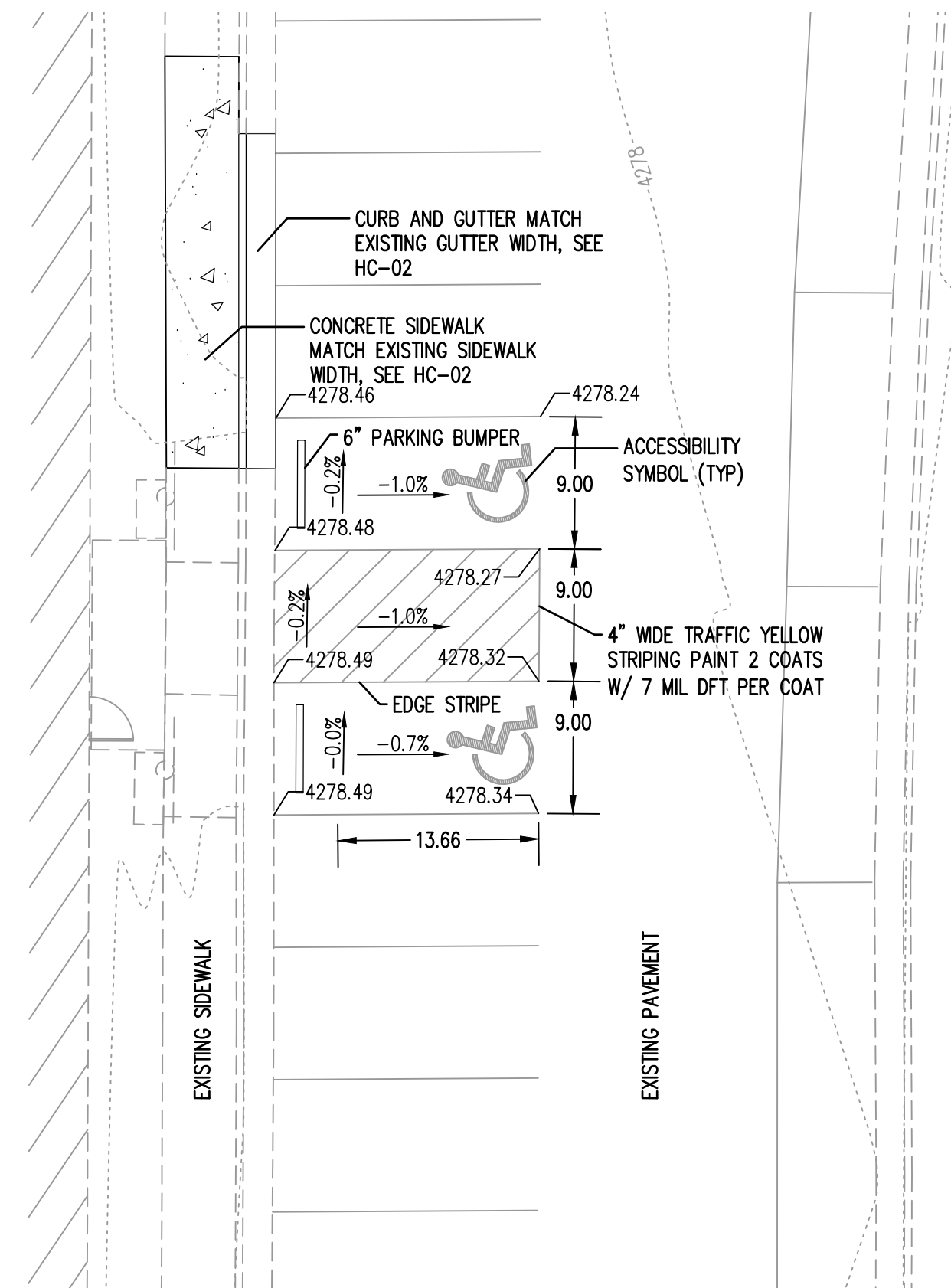


90° STRIPING
 NTS

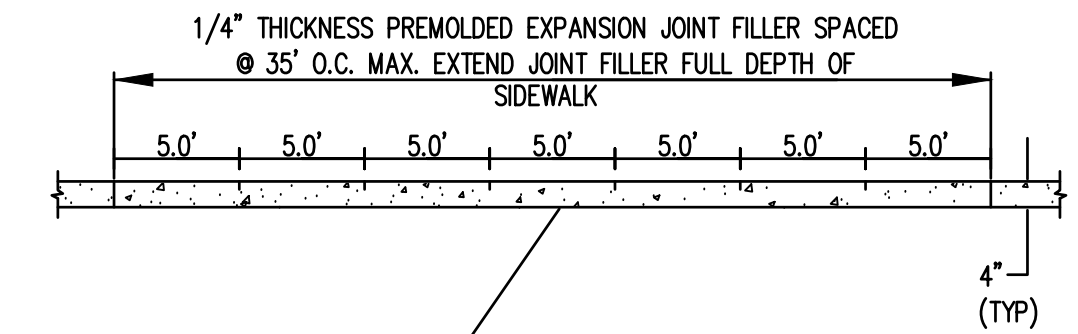


90° STRIPING
 NTS

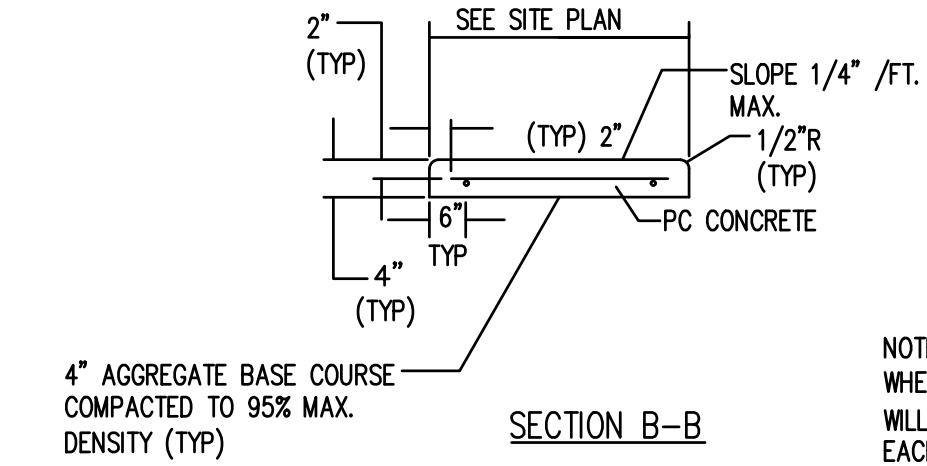
- NOTES:**
- SEE SITE PLAN FOR COMPLETE LAYOUT.
 - THESE DETAILS ARE FOR REFERENCE AND DIMENSION CONTROL ONLY.
 - ALL DIMENSIONS ARE TO C/L OF STRIPE UNLESS OTHERWISE INDICATED.



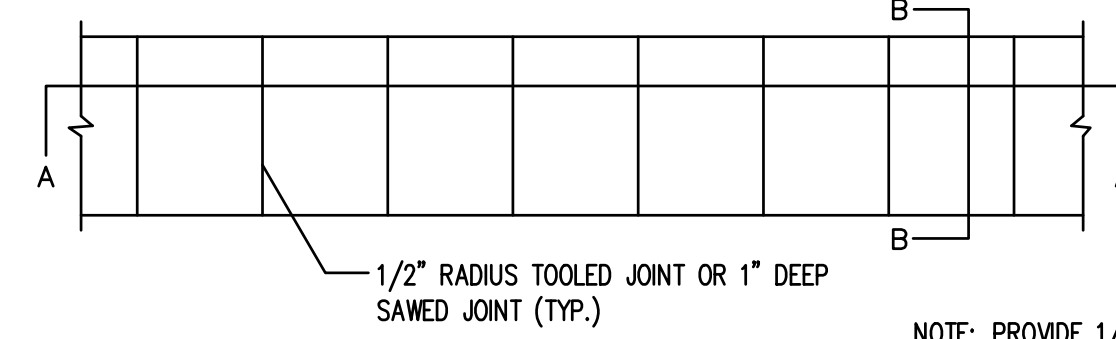
ACCESSIBLE PARKING LAYOUT
 1" = 10'



SECTION A-A



SECTION B-B

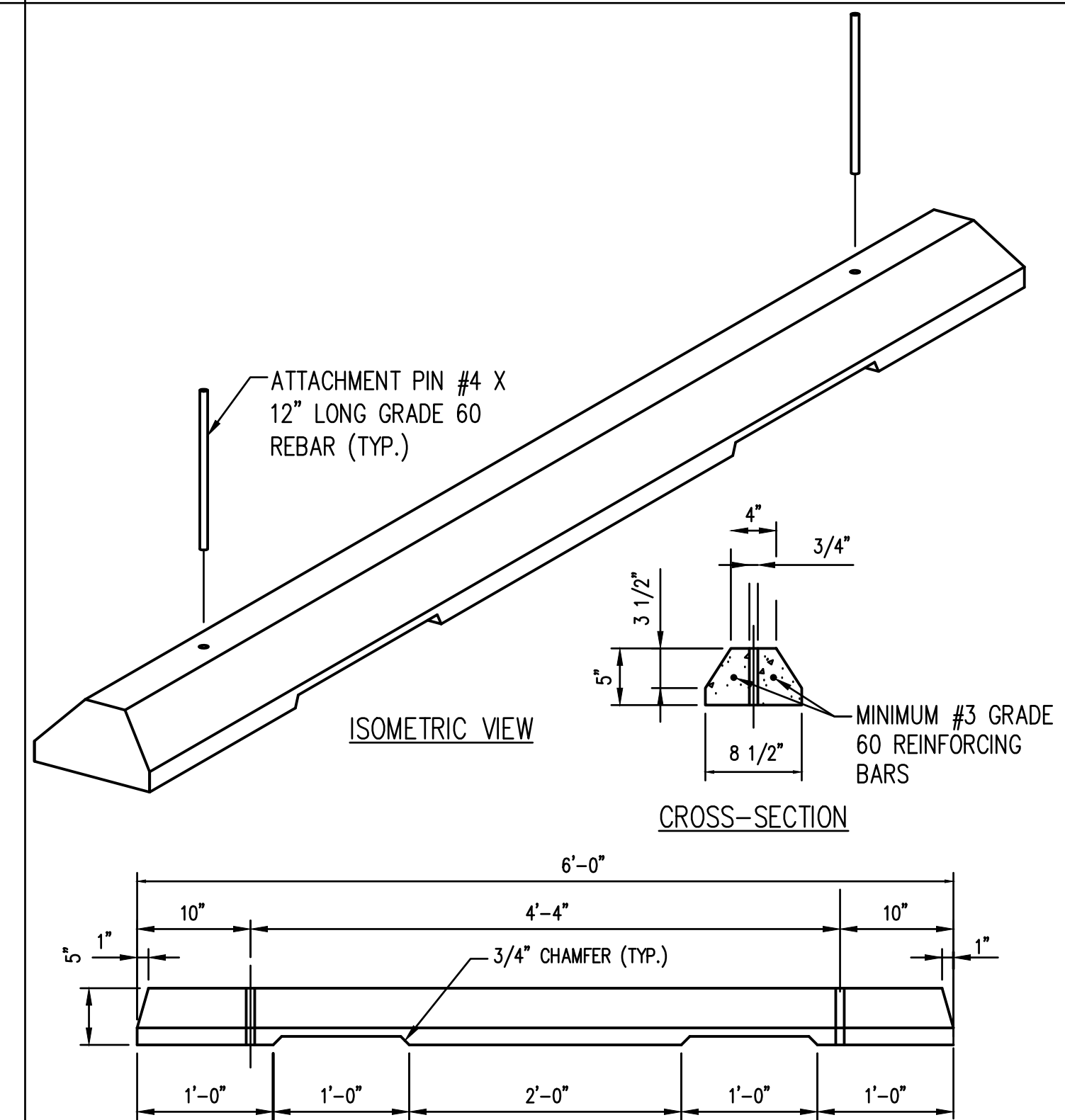


PLAN VIEW

CONCRETE SIDEWALK - ONSITE
 NTS

NOTE: WHERE REQUIRED REINFORCEMENT WILL BE No. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W1.4 X W1.4 WWF

NOTE: PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS INCLUDING CURBS



ISOMETRIC VIEW

CROSS-SECTION

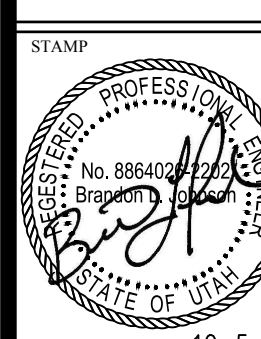
ELEVATION

- GENERAL NOTES:**
- CONCRETE FOR WHEEL STOP: MINIMUM 3,000 PSI IN 28 DAYS
 - REINFORCING STEEL: PER ASTM A615, GRADE 60
 - ATTACHMENT PINS SHALL HAVE 7 INCH EMBEDMENT.

6' PARKING BUMPER
 NTS

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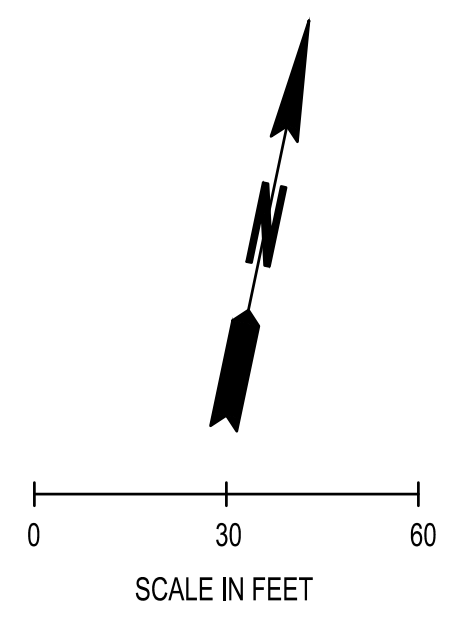
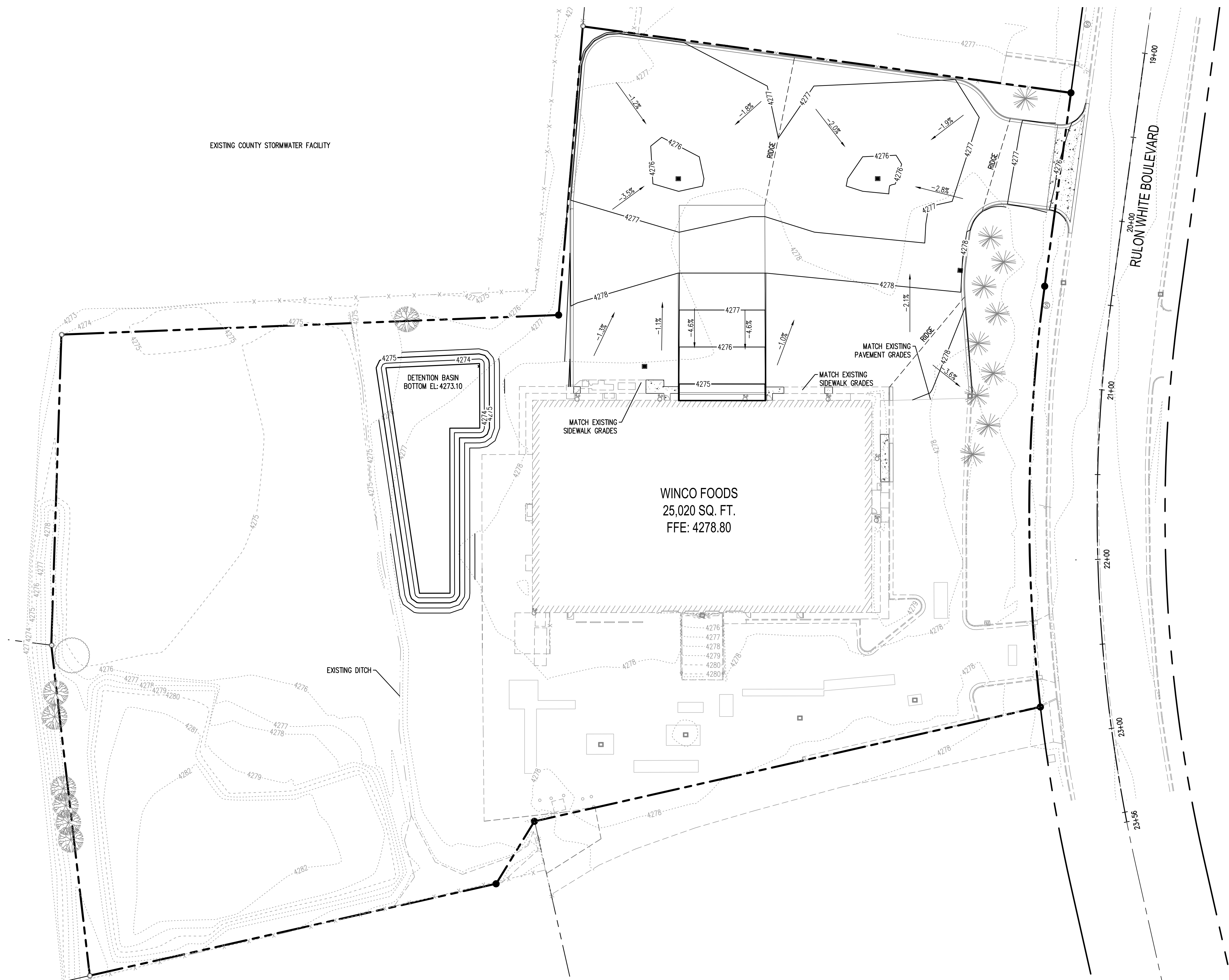
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 SCJALLIANCE.COM



WINCO #80 CROSS DOCK
 2423 N. RULON WHITE BLVD
 OGDEN, UTAH



SEC. 36, T. 7 N., R. 2 W.



LEGEND


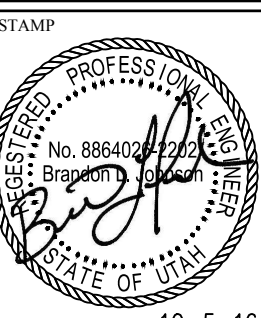

- - - - -	EXISTING MAJOR CONTOUR
.....	EXISTING MINOR CONTOUR
— — — — —	PROPOSED MAJOR CONTOUR
- - - - -	PROPOSED MINOR CONTOUR
- - - - -	GRADE BREAK
XXX.XX	SPOT ELEVATION
LP	LOW POINT
HP	HIGH POINT
TBC	TOP BACK OF CURB
TW	TOP OF WALL
0.00%	SLOPE LABEL
—	EDGE OF PAVEMENT

- GRADING NOTES:**
- SEE "SD" SHEETS FOR STORM WATER INLET, AND PIPING.
 - CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
 - EXISTING CONTOURS ARE BASED ON SURVEY BY DOMINION ENGINEERING ASSOCIATES, L.C.
 - SPOT ELEVATIONS REPRESENT FINISHED GRADE AT FLOW LINE UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPE AREAS SHALL BE STABILIZED.
 - ALL SITE PREPARATION SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016

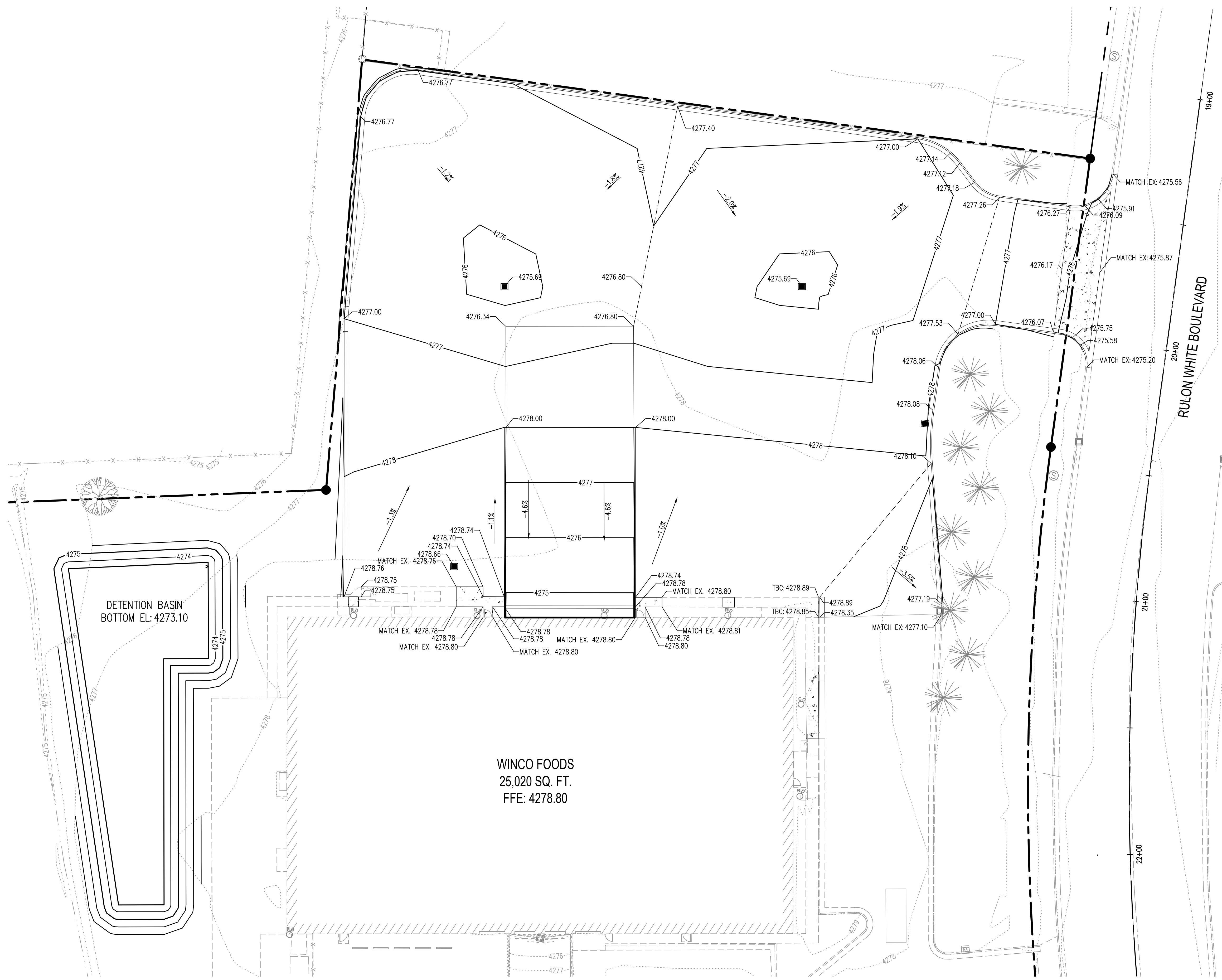
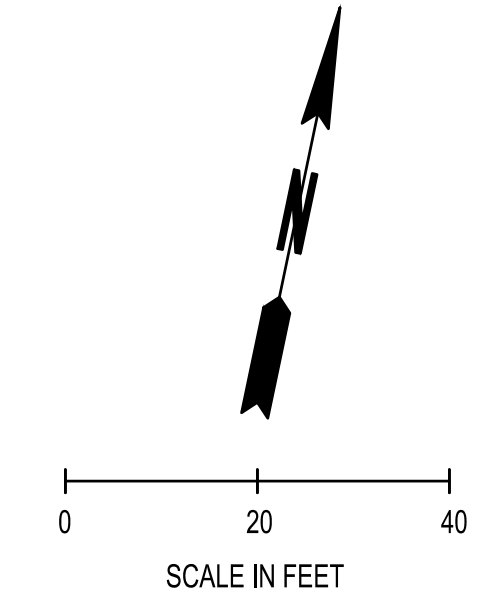
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 WEBER COUNTY BM WC-115 M,
 ELEVATION: 4265.07 (NAVD 88)

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 10-5-16	
WINCO #80 CROSS DOCK 2423 N. RULON WHITE BLVD OGDEN, UTAH	
	
SHEET TITLE OVERALL GRADING PLAN	
SHEET CG-01	

SEC. 36, T. 7 N., R. 2 W.



LEGEND

---XX---	EXISTING MAJOR CONTOUR
.....XX.....	EXISTING MINOR CONTOUR
---XX---	PROPOSED MAJOR CONTOUR
---XX---	PROPOSED MINOR CONTOUR
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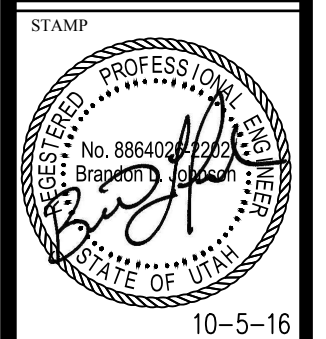
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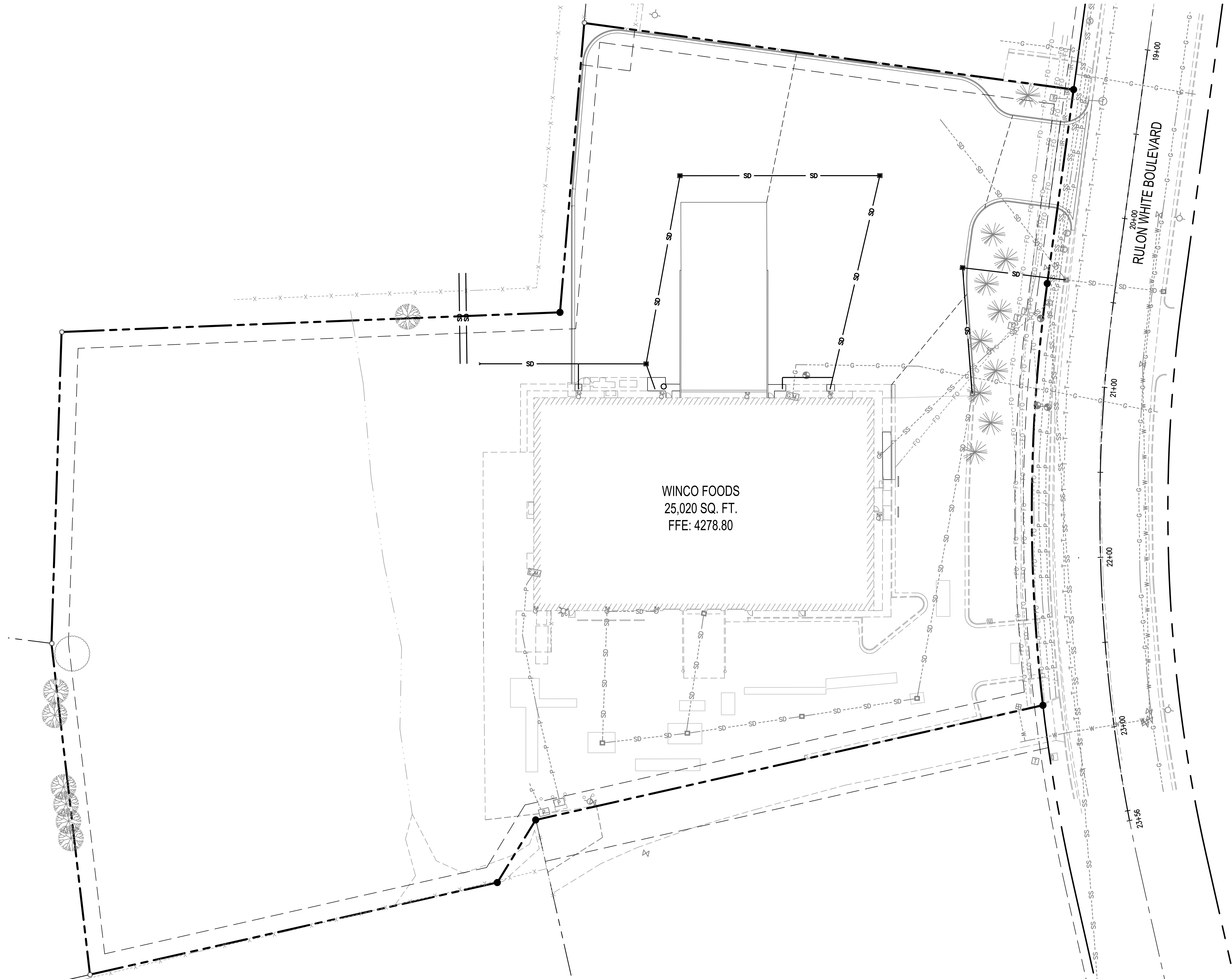
WinCo
FOODS

SHEET TITLE
 GRADING PLAN

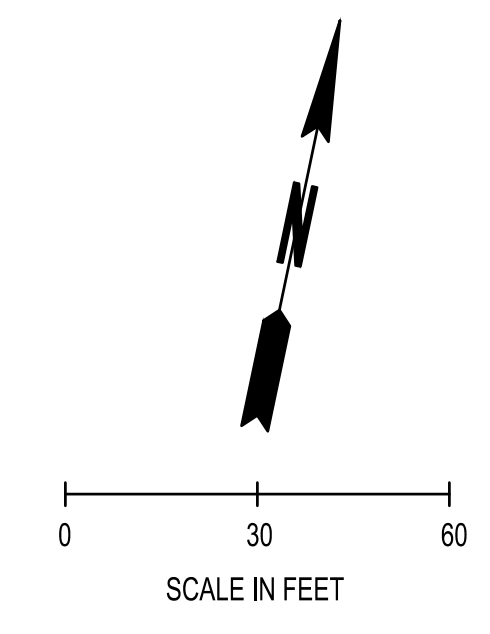
SHEET
CG-02

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SEC. 36, T. 7 N., R. 2 W.



WINCO FOODS
25,020 SQ. FT.
FFE: 4278.80



LEGEND

- SD PROPOSED STORM LINE
- SD EXISTING STORM DRAIN LINE
- SS EXISTING SANITARY SEWER LINE
- W EXISTING WATER LINE
- FO EXISTING FIBER OPTICS LINE
- G EXISTING GAS LINE

GENERAL NOTES:

1. UTILITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS (POWER, PHONE, GAS, CABLE, AND COMM.) ON LOCATION. CONTRACTOR SHALL REVIEW LOCATION WITH UTILITY PROVIDER AND ADJUST UTILITY LOCATION TO AVOID CONFLICTS W/ON-SITE UTILITIES.
2. SEE SD3 FOR DRY UTILITIES.
3. SEE ALTA FOR EASMENTS.

LINE TYPE SCHEDULE	
POWER	
PHONE	
GAS	
CABLE	
COMM.	

BASIS OF BEARING:

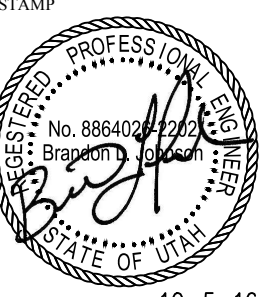
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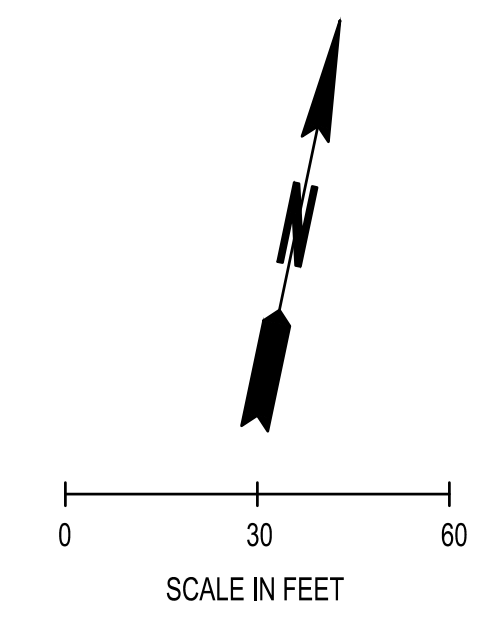
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8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-952-1465 F: 360-952-1509 SCJALLIANCE.COM
 10-5-16
WINCO #80 CROSS DOCK 2423 N. RULON WHITE BLVD OGDEN, UTAH
WinCo FOODS
SHEET TITLE MASTER UTILITY PLAN
SHEET MU-01

SEC. 36, T. 7 N., R. 2 W.



LEGEND

- SD PROPOSED STORM LINE, REINFORCED CONCRETE PIPE ASTM C-76, CLASS III
- SD-SD EXISTING STORM LINE
- W-W-W-W EXISTING WATER LINE
- SS-SS-SS EXISTING SANITARY SEWER LINE
- FO-FO-FO EXISTING FIBER OPTICS LINE
- P-P-P-P EXISTING BURIED POWER LINE
- T-T-T-T EXISTING TELEPHONE LINE
- G-G-G-G EXISTING GAS LINE
- IR-IR-IR-IR EXISTING IRRIGATION LINE
- 3'X3' PRECAST CONCRETE DRAINAGE BOX PER UDOT STD. DWG NO. CB12 WITH GRATE AND FRAME
- DEEP QUARRY SPALLS PAD, TOP OF QUARRY SPALLS TO MATCH FINISHED GRADE ELEVATION

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATION DEPTH AND SIZE OF EXISTING UTILITY CROSSINGS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE ENGINEER UTILITY INFORMATION.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

BENCHMARK:

WEBER COUNTY BM WC-115 M, ELEVATION: 4265.07 (NAVD 88)

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING BLUE STAKES OF UTAH 811 OR 1-800-662-4111 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

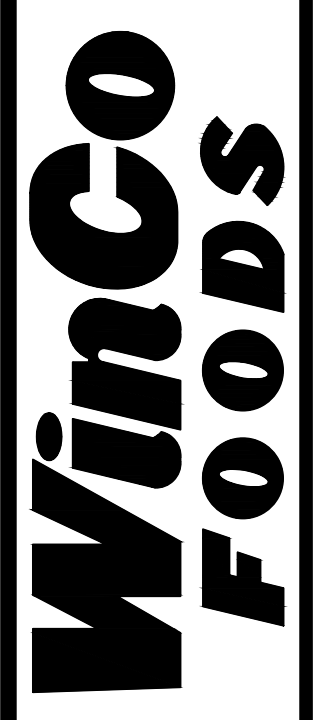
NO.	DATE	DESCRIPTION

SCJ PROJECT NO. 1832.04
DRAWN BY B. JOHNSON
CHECKED BY B. JOHNSON
SUBMITTAL DATES
OTB DATE

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516
P: 360.952.1465 F: 360.952.1509
SCJALLIANCE.COM

STAMP
Professional Engineer
No. 88840
State of Utah
10-5-16

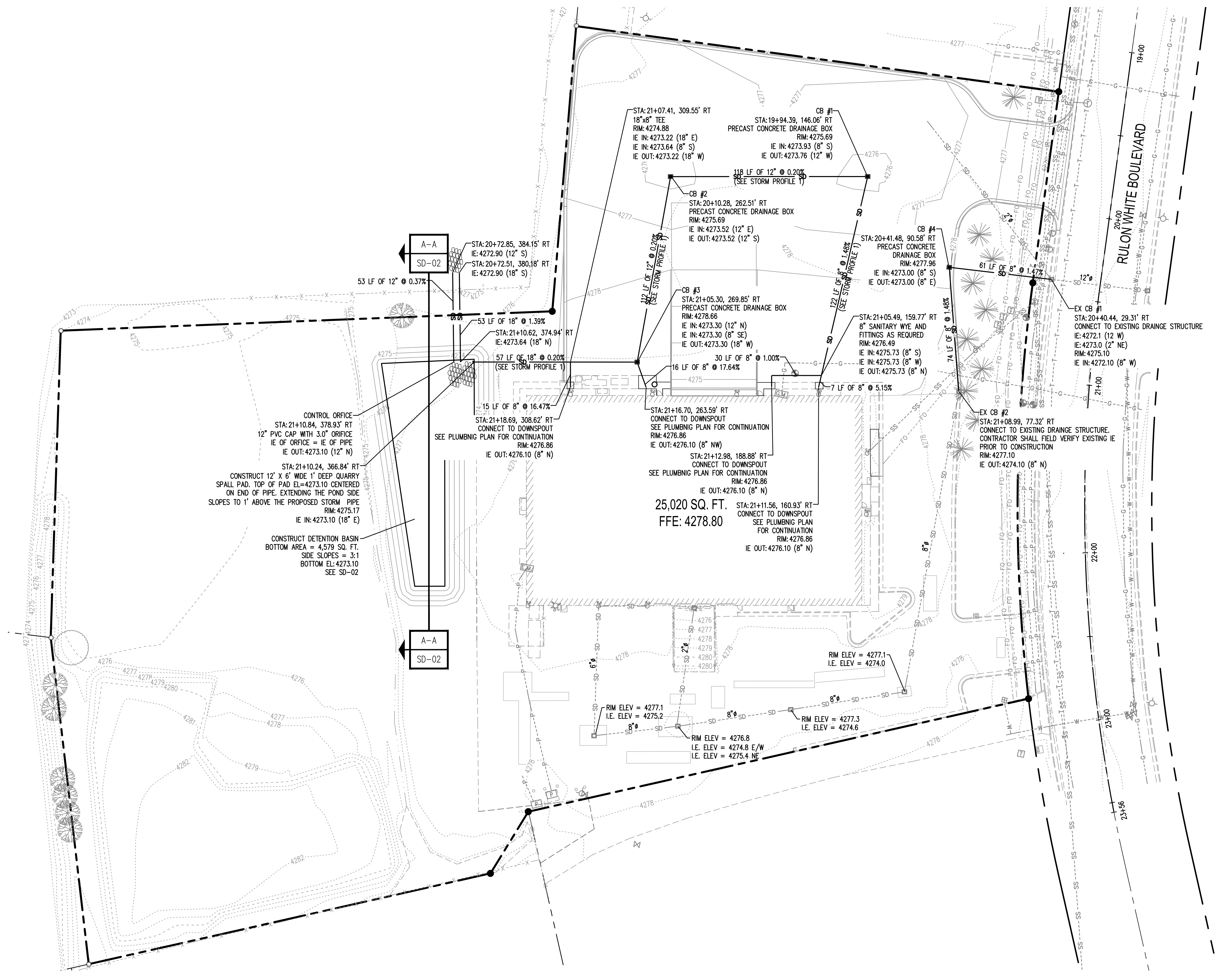
WINCO #80 CROSS DOCK
2423 N. RULON WHITE BLVD
OGDEN, UTAH

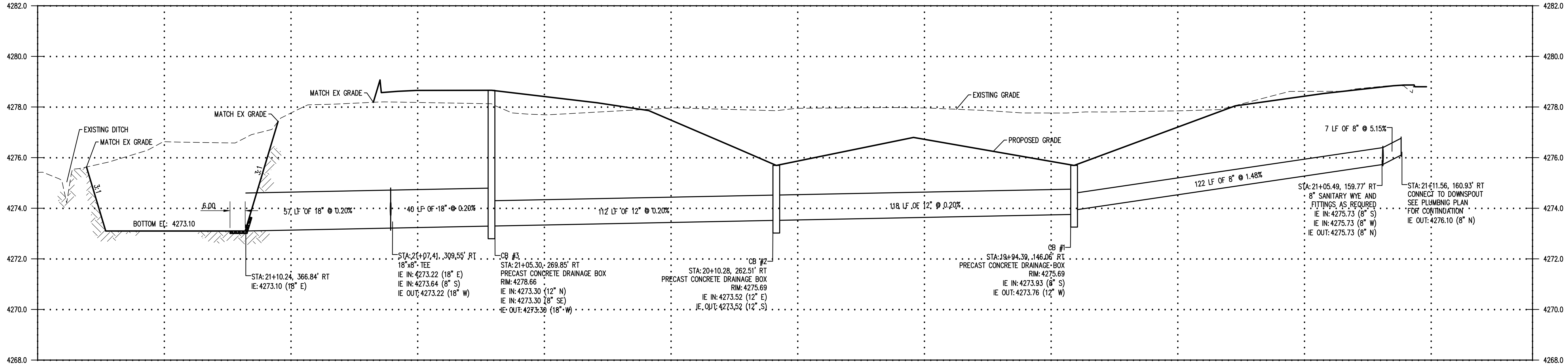


SHEET TITLE
STORM DRAINAGE PLAN

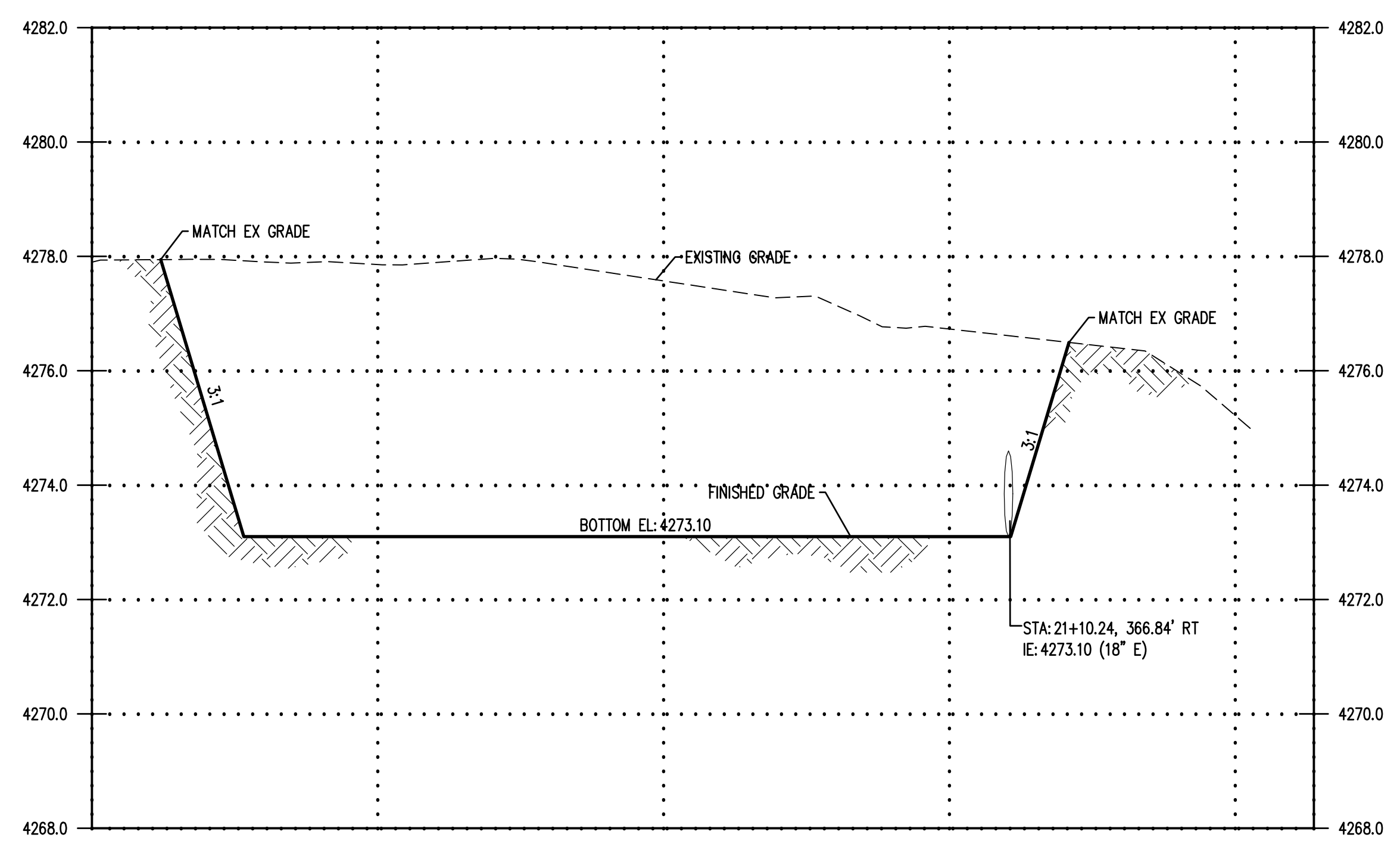
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SD-01

Oct 05, 2016 2:09:12pm - User: jason.brudin
N:\PROJECTS\1832 CALLAWAY ARCHITECTURE\1832.04 WINCO FOODS CROSSDOCK, SITE OGDEN, UT\PHASE 20 - CONSTRUCTION DOCUMENTS\CADD\1832.04 SD-01.DWG





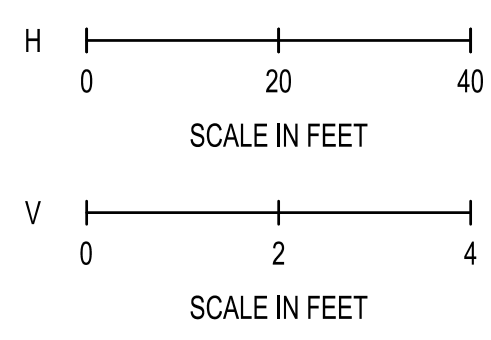
STORM PROFILE 1



SECTION A-A

GENERAL NOTES:

1. ALL SIDE SLOPES OF DETENTION BASIN SHALL BE PROTECTED WITH FILTER BLANKET TENSAR ROLL MAX SO50BN INSTALLED PER MANUFACTURES RECOMMENDATION



BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°18'48\"/>

BENCHMARK:

WEBER COUNTY BM WC-115 M, ELEVATION: 4265.07 (NAVD 88)

CALL BEFORE YOU DIG

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REVISIONS	
SCJ PROJECT NO. 1832.04	
DRAWN	
CHECKED B. JOHNSON	
SUBMITTAL DATES	
OTB DATE	
8730 TALON LANE, SUITE 200, LACEY, WASHINGTON 98516 P: 360.952.1465 F: 360.952.1509 SCJALLIANCE.COM	
10-5-16	

WINCO #80 CROSS DOCK
 2423 N. RULON WHITE BLVD
 OGDEN, UTAH

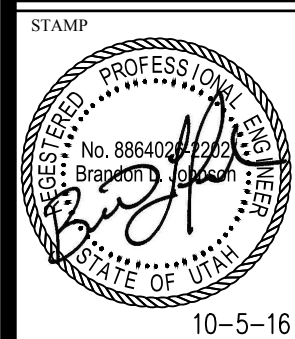
WinCo
FOODS

SHEET TITLE
 STORM DRAINAGE PROFILES

SHEET
 SD-02

SCJ PROJECT NO.	1832.04
DRAWN	
CHECKED	B. JOHNSON
SUBMITTAL DATES	
OTB DATE	

SCJ ALLIANCE
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SCJALLIANCE.COM



WINCO #80 CROSS DOCK
2423 N. RULON WHITE BLVD
OGDEN, UTAH

WinCo
FOODS

SHEET TITLE
STORM DRAINAGE DETAILS

SHEET
SD-03

PLAN

BOX SIZE	A	B	C	D
1'-0" x 4'-0"	18"	48"	6"	6"
2'-0" x 2'-0"	24"	24"	6"	6"
2'-0" x 3'-0"	24"	36"	6"	6"
2'-0" x 4'-0"	30"	48"	6"	6"
3'-0" x 3'-0"	36"	36"	6"	6"
3'-0" x 3'-6"	36"	42"	6"	6"
4'-0" x 4'-0"	48"	48"	6"	6"

OTHER SIZE BOXES WITH DIFFERENT A AND B DIMENSIONS (LESS THAN 48") ARE ACCEPTABLE.

SECTION A-A

ISOMETRIC VIEW

REINFORCING STEEL LAYOUT

BAR E	BAR F

DESIGN DATA

STRUCTURAL CONCRETE: $f'_c = 4,000 \text{ psi}$; $f_y = 60,000$; $n = 8$

SOIL DENSITY: 130 PCF

EQUIVALENT SOIL FLUID PRESSURE: 55 PCF

DEPTH TO WATER TABLE: 5 FEET

DEPTH TO BOTTOM OF BASE: 8 FEET

NOTES

- THIS DRAWING IS A PRECAST ALTERNATE TO THE CAST-IN-PLACE DESIGN AND STRUCTURAL DETAILS IN CD DRAWINGS. USE DEFORMED REINFORCING STEEL BARS TO CONFORM TO AASHTO M 31 GRADE 60 OR WELDED WIRE FABRIC CONFORMING TO AASHTO M 31. COATED STEEL IS NOT REQUIRED FOR SMALL DRAINAGE STRUCTURES ON THIS DRAWING.
- USE CLASS AA (AE) CONCRETE.
- USE TYPE II CEMENT (LOW ALKALI).
- PROVIDE 2 INCH CONCRETE COVER TO REINFORCING STEEL.
- SEE ROADWAY PLANS FOR NUMBER, LOCATION, AND SIZE OF PIPE.
- USE THE APPROPRIATE SIZES GRATE AND FRAME AS INDICATED ON THE PLANS.
- PROVIDE SUFFICIENT LIFTING POINTS FOR A SAFE INSTALLATION. LOCATE LIFTING DEVICES TO AVOID INTERFERENCE WITH THE REINFORCING STEEL. SUPPLY A MINIMUM OF AT LEAST TWO ENGINEERED LIFTING POINTS PER SECTION. DESIGN LIFTING DEVICES TO PER DESIGN HANDBOOK. PROPERLY ATTACH TO ALL PROVIDED LIFTING POINTS. LIFT ONLY FROM ENGINEERED LIFTING POINTS.
- DO NOT USE DRAINAGE BOXES AND RISER COMBINATIONS THAT EXCEED EIGHT FT FROM FINISHED GRADE TO THE BOTTOM OF THE BOX.
- PROVIDE CORE HOLES THAT ARE A MINIMUM OF PIPE OUTER DIAMETER PLUS 4 INCHES.
- CUT CORE HOLES AT THE MANUFACTURING PLANT UNLESS FIELD CORE HOLES ARE AUTHORIZED BY THE ENGINEER. CENTER CORE HOLES TO LEAVE 2 INCHES OF CONCRETE MEASURED FROM INSIDE WALL OF THE BOX TO CORE HOLE LOCATE CORE HOLES VERTICALLY TO LEAVE A MINIMUM OF 5 INCHES OF CONCRETE DIRECTLY ABOVE THE CORE HOLE TO THE TOP OF THE BOX. CUT CORE HOLES SO THAT THE BOTTOM OF THE HOLE IS AT OR ABOVE THE FLOOR ELEVATION OF THE BOX.
- DEVIATIONS FROM CORE HOLE TOLERANCES IN NOTES 8 AND 10 REQUIRE SHOP DRAWINGS. SHOP DRAWINGS WILL IDENTIFY LIFTING POINT NUMBER AND LOCATION.
- DESIGN PRECAST LIDS FOR HL-90 LIVE LOADS IN ACCORDANCE WITH AASHTO LRFD BRIDGE DESIGN AND INTERNAL SPECIFICATIONS. SUBMIT STAMPED DESIGN DRAWINGS, SEALED BY PROFESSIONAL ENGINEER OR PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF UTAH TO THE ENGINEER.
- DO NOT USE THIS DRAWING WHEN THE WATER TABLE IS WITHIN 5 FT OF FINISHED GRADE.

UTAH DEPARTMENT OF TRANSPORTATION

STANDARD DRAWING FOR PRECAST CONCRETE DRAINAGE BOX CONSTRUCTION

RECOMMENDED FOR USE IN SMALL UTAH ROADWAY CONSTRUCTION

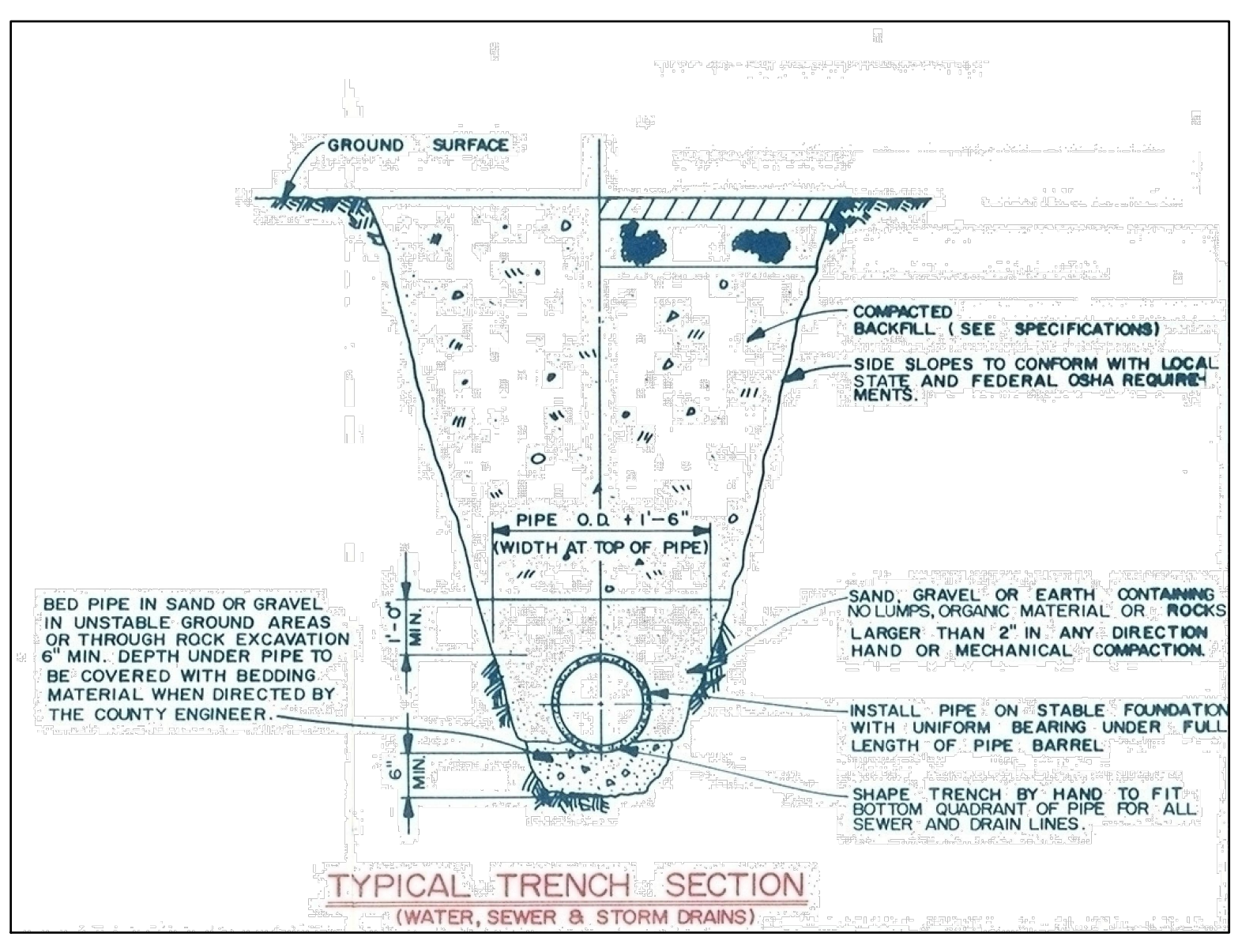
APPROVED: *[Signature]* DATE: JAN 10 2012

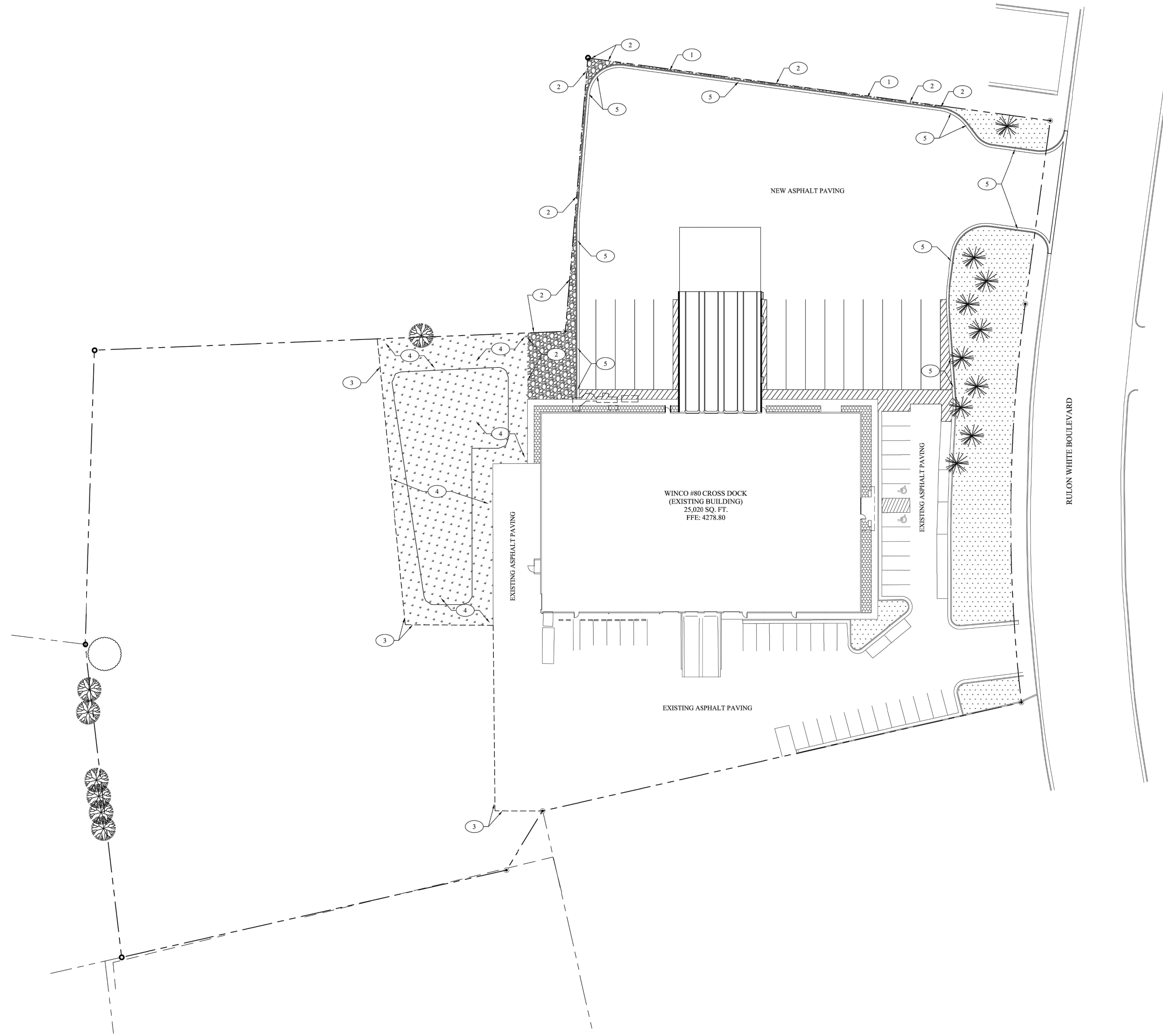
DESIGNED BY: *[Signature]* DATE: JAN 10 2012

CHECKED BY: *[Signature]* DATE: JAN 10 2012

STANDARD DRAWING TITLE: PRECAST CONCRETE DRAINAGE BOX

STD. DWG. NO.: CB 12





LANDSCAPE PLAN
SCALE: 1"=30'-0"



- GENERAL NOTES
- G.C. SHALL PROTECT ALL EXISTING LANDSCAPING AND IRRIGATION TO REMAIN FROM DAMAGE DURING PROJECT CONSTRUCTION.
 - PRIOR TO BIDDING, CONTRACTOR SHALL BECOME FAMILIAR WITH ALL SITE CONDITIONS THAT AFFECT LANDSCAPING, INCLUDING EXISTING IRRIGATION SYSTEM AND ASSOCIATED CONTROLS.
 - THE G.C.'S IRRIGATION CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM COMPONENTS AND ASSOCIATED CONTROLS TO EFFICIENTLY SERVE THE EXISTING IRRIGATED LANDSCAPING (TURF & TREES) TO REMAIN. USE NEW REPLACEMENT COMPONENTS TO MATCH EXISTING SYSTEM.
 - IT IS THE INTENT OF THIS LANDSCAPE PLAN TO MINIMIZE WATER USE, AND TO INTRODUCE NATIVE GRASS WHERE INDICATED THAT DOES NOT REQUIRE IRRIGATION BEYOND TEMPORARY IRRIGATION NEEDED TO ESTABLISH VIABILITY.
 - NEW GRAVEL GROUND COVER SHALL MATCH EXISTING TO EXTENT POSSIBLE. NEW AREAS OF GRAVEL GROUND COVER NOT BORDERED BY A SIDEWALK OR CURB/GUTTER ELEMENT SHALL HAVE MECHANICALLY ANCHORED METAL LANDSCAPE EDGING AT THE UNBORDERED PERIMETER. NEW AREAS OF GRAVEL GROUND COVER TO BE PLACED OVER FILTER FABRIC.
 - SOD ALL AREAS OF EXISTING IRRIGATED TURF TO REMAIN THAT HAS BEEN DISTURBED BY CONSTRUCTION ACTIVITY. MATCH EXISTING TURF SPECIES. NEW SOD SHALL BE LAID WITHIN 24 HOURS FROM TIME OF HARVEST.

- GENERAL NOTES
- 6-FT TALL CHAINLINK FENCE
 - 3/4" THICK X 4" TALL STEEL EDGING (BLACK). EXPOSED CORNERS SHALL BE CHAMFERED 1/4"
 - EXTENT OF OVERALL PROJECT AREA (EXISTING PLUS NEW)
 - DEFENTION POND, RE: SITE DRAWINGS. DEFENTION POND AREAS TO BE PLANTED WITH NATIVE GRASS THAT WILL NOT REQUIRE PERMANENT IRRIGATION FOR VIABILITY. COORDINATE PLANTING WITH PERMANENT DEFENTION STRUCTURES.
 - NEW CONCRETE CURB & GUTTER, RE: SITE DRAWINGS.

LANDSCAPE LEGEND

FOR PURPOSES OF LANDSCAPE CALCULATIONS THE SITE PROJECT AREA IS A COMBINATION OF THE EXISTING AND NEW SITE PROJECT AREAS:

TOTAL SITE AREA	= 219,561.89 SQ.FT (5.04 ACRES)
TOTAL SITE PROJECT AREA	= 141,742.80 SQ.FT (3.25 ACRES)
TOTAL LANDSCAPED AREA	= 28,270.14 SQ.FT
% OF TOTAL PROJECT SITE TO BE LANDSCAPED	= 20% OF TOTAL SITE PROJECT AREA

- NON-IRRIGATED NATIVE GRASS = 13,095.00 SQ.FT (46% TOTAL LANDSCAPE AREA)
- EXISTING GRAVEL GROUND COVER = 1,332.16 SQ.FT (5% OF TOTAL LANDSCAPE AREA)
- NEW GRAVEL GROUND COVER = 1,550.00 SQ.FT (7% OF TOTAL LANDSCAPE AREA)
- EXISTING IRRIGATED GRASS TURF = 11,892.88 SQ.FT (42% OF TOTAL LANDSCAPE AREA)
- EXISTING DECIDUOUS, CONIFER TREES

REVISIONS

NO.	DATE	DESCRIPTION

ARCH. PROJECT NO.	16045
DRAWN	HV
CHECKED	MAD
SUBMITTAL DATES	XX/XX/2016
OTB DATE	

callaway
architecture
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RICHMOND, UTAH 84404
TCALLAWAY@CALLAWAYARCHITECTURE.COM

WINCO #80 CROSS DOCK
2423 RULON WHITE
BLVD., OGDEN
UTAH 84404

WinGo
FOODS

SHEET TITLE	LANDSCAPE PLAN
SHEET	SD2.1