

1 ACCESSIBLE FIXTURES
602 SCALE: 3/8" = 1'-0"

HATCH LEGEND	
NOTE: HATCHING ANGLES MAY VARY DUE TO ANGLE OF WALL DRAWN, WHILE HATCHING PATTERN REMAINS SIMILAR.	
PLAN HATCH	
	CAST-IN-PLACE CONCRETE
	CONCRETE MASONRY UNIT
	PRECAST CONCRETE / GLASS FIBER REINFORCED CONCRETE (GFRG)
	STEEL STUDS
	WOOD STUDS
	METAL
	BRICK VENEER
	EXTERIOR INSULATION FINISH SYSTEM (EIFS)
	DEMOLITION
	EXISTING TO REMAIN
	1-HOUR RATED STUD WALL
	2-HOUR RATED STUD WALL
	3-HOUR RATED STUD WALL
	SMOKE SEPARATION WALL
SECTION HATCH	
	BLANKET INSULATION
	CONTINUOUS MATERIAL
	NON-CONTINUOUS MATERIAL (BLOCKING)
	GYPSUM BOARD
	PLYWOOD
	SUB GRADE BASE
	UNDISTURBED SOIL
	BACKFILLED SOIL
	ACOUSTICAL TILE
	RIGID INSULATION
	EXTERIOR SHEATHING
	WOOD
	SOLID SURFACE

LIST OF ABBREVIATIONS			
AB	ANCHOR BOLT	LT	LIGHT
A/C	AIR CONDITIONER	LAV	LAVATORY
ALUM	ALUMINUM	MH	MAN HOLE
ARCH	ARCHITECT	MATL	MATERIAL
ASPH	ASPHALT	MFR	MANUFACTURER
@	AT	MAX	MAXIMUM
		MECH	MECHANICAL
BD	BOARD	MET	METAL
BLKG	BLOCKING	MEZZ	MEZZANINE
BM	BEAM	MIN	MINIMUM
BOT	BOTTOM	MTD	MOUNTED
CI	CAST IRON	NOM	NOMINAL
CB	CATCH BASIN	NIC	NOT IN CONTRACT
CL	CENTER LINE	NO #	NUMBER
CLG	CEILING	NTS	NOT TO SCALE
CLO	CLOSET		
CT	CERAMIC TILE	OC	ON CENTER
CLR	CLEAR	OPNG	OPENING
CO	CLEAN OUT	OPP	OPPOSITE
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OFCL	OWNER FURNISHED - CONTRACTOR INSTALLED
CONST	CONSTRUCTION		
CJ	CONTROL JOINT		
CONT	CONTINUOUS	FR	PAIR
CTR	CENTER	d	PENNY (NAIL SIZE)
CMU	CONC MASONRY UNIT	PERP	PERPENDICULAR
		PL	PLATE
DB	DECIBEL	PLAM	PLASTIC LAMINATE
DEG	DEGREE	PLUMB	PLUMBING
DET	DETAIL	PLYWD	PLYWOOD
DIA	DIAMETER	PT	POINT
DIM	DIMENSION	LB	POUNDS
DN	DOWN	PSI	LBS PER SQUARE INCH
DWG	DRAWING	PSF	LBS PER SQUARE FOOT
		PVC	POLYVINYL CHLORIDE
EA	EACH	QT	QUARRY TILE
ELEC	ELECTRIC		
ELEV	ELEVATION		
EQ	EQUAL	RAD	RADIUS
EQUIP	EQUIPMENT	REF	REFRIGERATOR
EXP	EXPANSION	REINF	REINFORCED
EJ	EXPANSION JOINT	REQD	REQUIRED
EXTG	EXISTING	REV	REVISION
EXT	EXTERIOR	RD	ROOF DRAIN
EIFS	EXT INSUL FIN SYSTEM	RM	ROOM
		ROW	RIGHT OF WAY
FT	FEET	SCHED	SCHEDULE
FIN	FINISH	SECT	SECTION
FLR	FLOOR	SHT	SHEET
FD	FLOOR DRAIN	SIM	SIMILAR
FEC	FIRE EXTINGUISHER CAB	SS	STAINLESS STEEL
FS	FLOOR SINK	SPEC	SPECIFICATION
FND	FOUNDATION	SQ	SQUARE
FLUOR	FLUORESCENT	SID	STANDARD
FTG	FOOTING	STL	STEEL
FUR	FURRING	STRUCT	STRUCTURAL
GA	GAUGE	TEL	TELEPHONE
GALV	GALVANIZED	T&G	TONGUE & GROOVE
GC	GENERAL CONTRACTOR	T&C	TOP BACK OF CURB
GL	GALVANIZED IRON	TOF	TOP OF FOOTING
GFRG	GL FIBER REINF CONC	TOS	TOP OF SLAB
GFRG	GL FIBER REINF GYP	TOW	TOP OF WALL
GYP BD	GYPSUM BOARD	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HDW	HARDWARE		
HDWD	HARDWOOD		
HGT	HEIGHT	VERT	VERTICAL
HM	HOLLOW METAL	VEST	VESTIBULE
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITE TILE
HB	HOSE BIB		
HW	HOT WATER	WC	WATER CLOSET
		WH	WATER HEATER
		WP	WEATHER PROOF
		WF	WIDE FLANGE
		W	WITH
		WO	WITH OUT
		WD	WOOD
		WOW	WINDOW
		WR	WATER RESISTANT
		WRF	WELDED WIRE FABRIC
		WWM	WELDED WIRE MESH
IN	INCH		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JAN	JANITOR		
LAM	LAMINATE		

DRAWING SYMBOL LEGEND	
	INTERIOR ELEVATIONS
	SHEET NUMBER
	DETAIL NUMBER
	DETAIL REFERENCE
	DETAIL NUMBER SHEET NUMBER
	EXTERIOR ELEVATION REFERENCE
	DETAIL NUMBER SHEET NUMBER
	WALL SECTION REFERENCE
	DETAIL NUMBER SHEET NUMBER
	BUILDING SECTION REFERENCE
	DETAIL NUMBER SHEET NUMBER
	ROOM DESIGNATION (FLOOR PLAN)
	ROOM NUMBER ROOM NAME
	ELEVATION SYMBOL
	ELEVATION ABOVE DATUM ELEVATION DESCRIPTION
	WALL TYPE DESIGNATION
	WALL TYPE
	DOOR DESIGNATION
	DOOR NUMBER
	WINDOW DESIGNATION
	WINDOW TYPE
	KEYED NOTE DESIGNATION
	KEY NOTE NUMBER
	EQUIPMENT DESIGNATION
	EQUIPMENT NUMBER
	GLASS TYPE DESIGNATION
	GLASS TYPE
	REVISION DESIGNATION
	REVISION NUMBER

LINETYPE LEGEND	
	PROPERTY LINE
	CENTERLINE, GRID LINE & RIGHT OF WAY
	EXISTING CONTOUR
	EXISTING CONTOUR (CHANGED)
	NEW CONTOUR
	SANITARY SEWER
	GREASE SANITARY SEWER
	STORM DRAIN
	CULINARY WATER
	GAS
	ELECTRICAL (BURIED)
	ELECTRICAL (OVERHEAD)
	TELEPHONE
	COLD WATER SUPPLY
	HOT WATER SUPPLY
	FIRE WATER
	CHAIN LINK FENCE

CODE DATA				
BUILDING 2009 IBC				
CONSTRUCTION TYPE / OCCUPANCY CLASSIFICATION		TABULAR (ALLOWABLE)	ACTUAL	
BUILDING A TYPE VB		9,000 SQ. FT. / 5 STORY	1,877 SQ. FT.	
BUILDING B TYPE VB		9,000 SQ. FT. / 5 STORY	2,644 SQ. FT.	
TOTAL:		18,000 SQ. FT.	4,521 SQ. FT.	
ALLOWABLE AREA INCREASE: N/A				
	YES/NO	TYPE/OCC.	ALLOWABLE	INCREASE
FIRE SPRINKLED	NO		-	-
STORIES	1			N/A
FRONTAGE INCREASE				N/A
OCCUPANCY SEPARATION				
CONSTRUCTION TYPE / OCCUPANCY			SEPARATION RATING	
TYPE VB,B			N/A	
FIRE RESISTIVE RATING FOR BUILDING ELEMENTS				
BUILDING ELEMENT				TYPE V B
STRUCTURAL FRAMES				0
EXTERIOR BEARING WALLS				0
EXTERIOR NON BEARING WALLS AND PARTITIONS				0
INTERIOR BEARING WALLS				0
INTERIOR NON BEARING WALLS AND PARTITIONS				0
FLOOR CONST. (INCL. SUPPORTING BEAMS & JOISTS)				0
ROOF CONST. (INCL. SUPPORTING BEAMS & JOISTS)				0
ALLOWABLE STORIES & HEIGHT				
CONST. TYPE / OCCUPANCY:		# OF STORIES		HEIGHT
		ALLOWABLE	ACTUAL	ALLOWABLE ACTUAL
BUILDING A TYPE VB		2	1	40 FT. 17 FT.
BUILDING B TYPE VB		2	1	40 FT. 17 FT.
MEANS OF EGRESS				
OCCUPANCY CLASSIFICATION		LOAD		PERSONS
BUILDING A TYPE B		100 SQ. FT. GROSS		19
BUILDING B TYPE B		100 SQ. FT. GROSS		26
EGRESS WIDTH				
	NO. OF EXITS REQUIRED	NO. OF EXITS PROVIDED	REQUIRED WIDTH	PROVIDED WIDTH
BUILDING A EXITS	1	2	3.8'	72'
BUILDING B EXITS				
NOTES:				

ZONING & PARKING REQUIREMENTS			
PHASE 1 CRITERIA			
ZONE: CV-2 (MODIFIED BY DEVELOPMENT AGREEMENT)			
BUILDING USE:		OFFICE / RETAIL	
SETBACKS	YARD	DISTANCE	
	FRONT	ZERO LOT LINE	
	REAR	NONE	
	SIDE	NONE	
MAX. BLDG. HT.		35 FT.	
COVERAGE:			
	AREA	% REQ.	% OF LOT
TOTAL LOT AREA	1.31 ACRES		
TOTAL AREA OF PHASE 1	25,134 SQ. FT.	---	3%
BUILDINGS A AND B	4,521 SQ.FT.	---	17%
LANDSCAPING	7835 SQ. FT.	20%	30%
PAVING	12,778 SQ. FT.	---	50%
PARKING MATRIX			
BUILDING AREA:		4,521 SQ.FT.	
USE	RATIO	REQ. STALLS	
RETAIL	1 PER 200 SQ. FT.	7	
OFFICE	1 PER EMPLOYEE	4	
ICE CREAM PARLOR / SANDWICH SHOP	1 PER BOOTH OR TABLE	5	
STALLS REQUIRED		16	
STALLS PROVIDED		17	

VANZEBEN
ARCHITECTURE

PHONE: 801-637-7100
FAX: 801-637-7221
7039 Foothills Ave
Sandy, Utah
84070

PROJECT NO: 07035
DRAWN BY: TG,PS
CHECKED BY: DJV

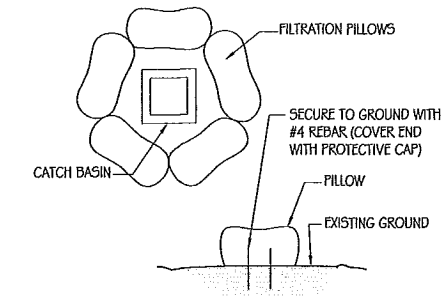
REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH
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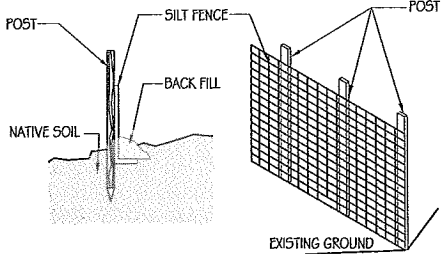
GENERAL INFORMATION

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G02

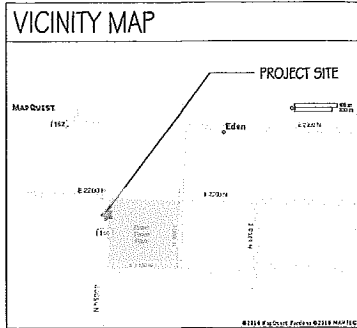
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2
G03
SCALE: 1/4" = 1'-0"



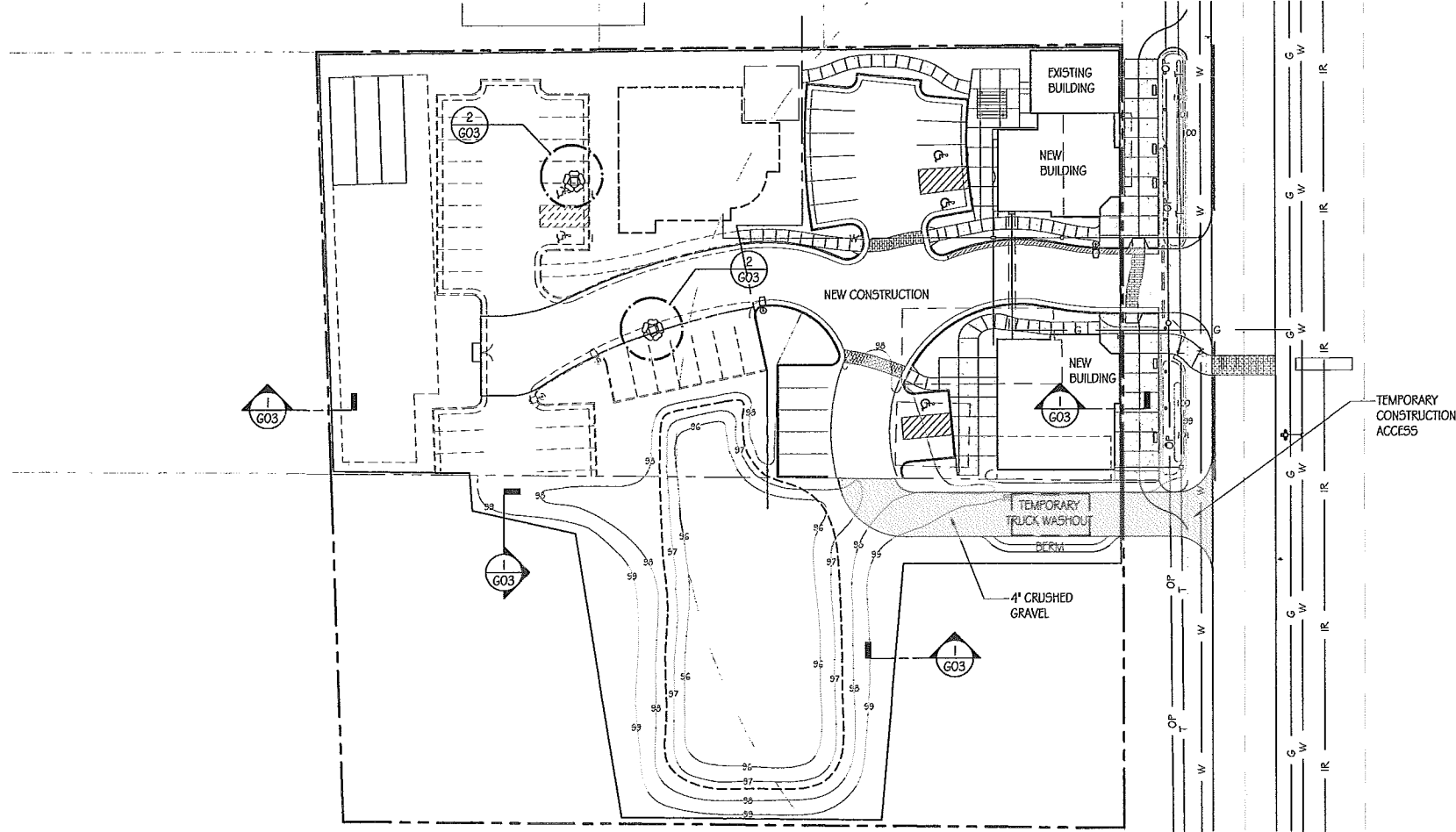
1
G03
SCALE: 1/4" = 1'-0"



LEGAL DESCRIPTION

BEGINNING AT A POINT 13.05 CHAINS SOUTH OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, AND RUNNING THENCE SOUTH 0.09 CHAINS; THENCE SOUTH 88D30'E 0.83 CHAINS; THENCE SOUTH 1D30' WEST 171.00 FEET; THENCE NORTH 88D30' EAST 176.94 FEET; THENCE SOUTH 88D30' EAST 4.17 CHAINS TO, MORE OR LESS, THE POINT OF BEGINNING

TOTAL SITE:
TOTAL SITE TO BE DISTURBED = 77,850 SQ. FT.



STORM WATER POLLUTION PREVENTION PLAN:

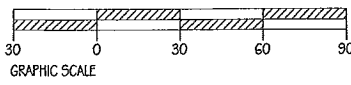
GENERAL NOTES:

- THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN ENSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMP'S) INDICATED HEREIN.
- A NOTICE OF INTENT HAS BEEN FILED WITH THE STATE OF UTAH WATER RESOURCES CONTROL BOARD BY THE OWNER SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT.
- IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF POLLUTANT, THE CONTRACTOR SHALL NOTIFY THE RESPONSE CENTER. IF NECESSARY, THIS POLLUTION PREVENTION PLAN WILL REFLECT THE CHANGE IN CONDITIONS OF THE CONSTRUCTION ACTIVITY, A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3 OR 40 (CFR) 302.4
- CHANGES IN CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THIS POLLUTION PREVENTION PLAN WILL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.
- ALL PREVENTION AND CLEAN UP MEASURES SHOULD BE CONDUCTED IN ACCORDANCE WITH APPLICABLE COUNTY ORDINANCES, AS WELL AS STATE AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSED OF IN A LEGAL MANNER. ALL DISCHARGES OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER.
- THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT CAN BE PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY ANY OTHER AGENCY HAVING JURISDICTION.
- THIS SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308(B) OF THE CLEAN WATER ACT, UPON REQUEST BY MEMBERS OF THE PUBLIC. THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THE SWPPP EITHER TO THE REGIONAL WATER BOARD OR DIRECTLY TO THE REQUESTER. THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER BOARD AND/OR THE LOCAL AGENCY.
- IMPLEMENTATION OF SWPPP SHALL COMPLY WITH REQUIREMENTS LISTED BELOW AND APPLICABLE REQUIREMENTS OF THE UTAH DIVISION OF WATER QUALITY GENERAL PERMIT NO. UTR 300,000
- CONTACTS:

STATE OF UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY 195 NORTH 1950 WEST DEQ 3RD FLOOR SALT LAKE CITY, UTAH	HARRY CAMPBELL ENVIRONMENTAL SCIENTIST (801) 536-4391
U.O. EPA ENVIRONMENTAL PROTECTION AGENCY DENVER, COLORADO	REGION VIII 800-759-4372
ENVIRONMENTAL PROTECTION AGENCY WASHINGTON, D.C.	202-475-9518
OWNER: HORSESHOE, LLC C/O DELANEY STEPHENS	801-390-3095
GENERAL CONTRACTOR JUSTIN PACK	801-814-7433
- LOCATION OF SITE: 2145 NORTH 5500 EAST, EDEN, UTAH.
- PROHIBITION ON MOST NON-STORM WATER DISCHARGES ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.
- NATURE AND SEQUENCE OF CONSTRUCTION ACTIVITY:
 - CONSTRUCTION CONSISTS OF SITE CLEARING, EXCAVATION, SITE WORK, PAVING AND LANDSCAPING AND CONSTRUCTION OF NEW OFFICE BUILDING.
 - SOURCES OF STORM WATER POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCK MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.
 - EROSION AND SEDIMENT CONTROLS:
 - COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIAL WITH HEAVY SHEETING.
 - IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS AROUND THEIR PERIMETER TO ENSURE THAT WATER WILL BE CONVEYED TO A STORM DRAIN INLET.
 - RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.
 - DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.
 - OTHER CONTROLS:
 - WASTE DISPOSAL:
 - KEEP WASTE DISPOSAL CONTAINERS COVERED.
 - PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) DISPOSAL OF WASTE CONTAINERS.
 - PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.
 - SWEEPING OF SITE:
 - PROVIDE WEEKLY SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT AND DEBRIS.
 - DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.
 - SANITARY/SEPTIC DISPOSAL:
 - PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTE SHALL BE DISPOSED IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.
 - SPILLS:
 - STORE ADEQUATE ABSORBENT MATERIALS, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE, CLEANUP SPILLS ON MATERIALS SUCH AS FUEL, PAINT, SOLVENTS, OR CLEANERS AND CLEAN UP SPILLS IMMEDIATELY.
 - FOR REPORTABLE QUANTITY OF HAZARDOUS OR TOXIC SUBSTANCE, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.
 - CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES, LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING, AND PAVEMENT WASHING ARE ALLOWED IF THEY CAN NOT FEASIBLY BE ELIMINATED, COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.
 - VEHICLES AND EQUIPMENT:
 - FIX LEAKS OF FUEL, OIL, AND OTHER SUBSTANCES IMMEDIATELY.
 - PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.
 - USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.
 - CONCRETE TRUCKS, MIXERS, AND HANDLING EQUIPMENT:
 - DO NOT DISPOSE OF WASHOUT FROM CONCRETE TRUCKS, MIXERS, AND HANDLING EQUIPMENT WHERE IT WILL FLOW INTO STORM WATER INLET OR INTO A PUBLIC STREET.
 - PROVIDE A HOLDING TANK TO RECEIVE AND WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HANDLING FIRM.
 - PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT. DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK. DO NOT ALLOW VEHICLES TO TRACK MUD, DIRT, DUST OR DEBRIS ONTO PUBLIC ROADWAY. CLEAN IMMEDIATELY.
 - LANDSCAPING:
 - USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZERS, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.
 - DO NOT OVER WATER, FERTILIZED OR TREATED LANDSCAPE AREAS. MINIMIZE RUN-OFF OF IRRIGATION WATER FROM LANDSCAPING.
 - STORM WATER INLETS:
 - KEEP ALL ON-SITE STORM WATER INLETS CLEAN AND FREE OF DIRT AND DEBRIS. PLACE PILLOWS AROUND INLET BASIN ONCE CONSTRUCTED. IN THE EVENT THAT SEDIMENT AND DEBRIS MAY FLOW TO AN INLET, PROVIDE AN 18 - INCH (MINIMUM) STRAIN BARRIER AROUND THE INLET TO TRAP THE DIRT AND DEBRIS AND ALLOW ONLY CLEAN STORM WATER TO ENTER THE INLET.
 - HISTORIC BUILDINGS:
 - NOT AFFECTED
 - LANDSCAPING AND STABILIZATION:
 - LANDSCAPE AS SOON AS PRACTICAL. STABILIZE BERMS WITH EROSION CONTROL FABRIC OR OTHER APPROVED MEANS TO PREVENT EROSION UNTIL LANDSCAPING ON BERMS IS ESTABLISHED.



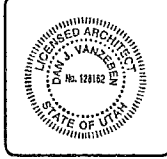
A
G03
SWPPP SITE PLAN
SCALE: 1" = 30'-0"



PROJECT NO: 07035
DRAWN BY: TCG
CHECKED BY: DJV

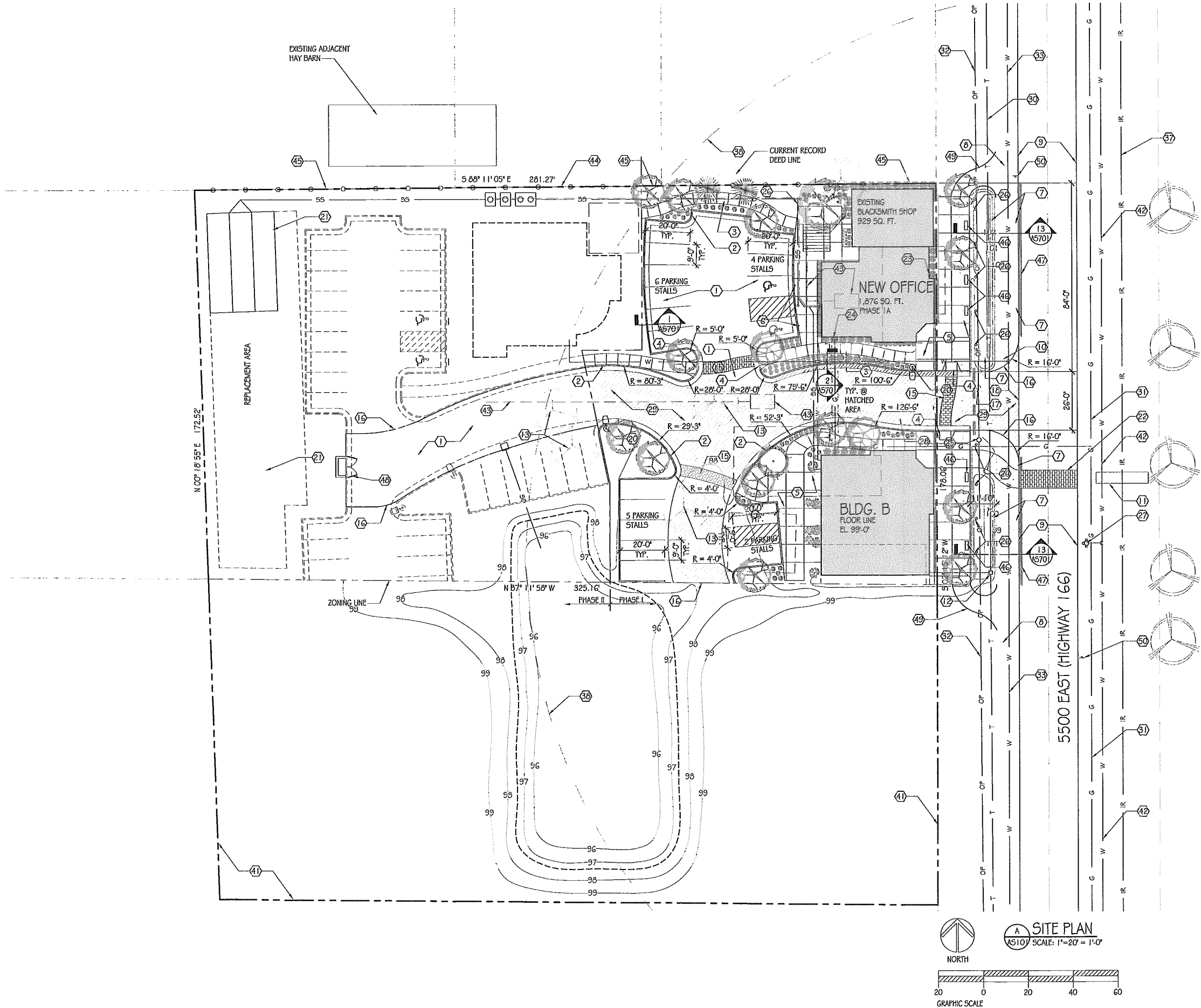
REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH



SWPPP
SITE PLAN

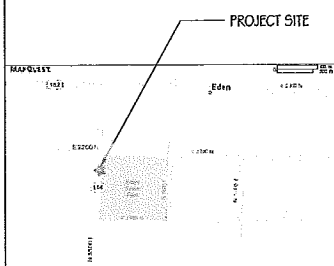
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G03
DATE: 02/18/11



SITE PLAN KEYNOTES

1. NEW 3" THICK ASPHALT PAVING ON 8" UNTREATED ROAD BASE ON COMPACTED SUBBASE (95% MAX. DENSITY) SEE DETAIL 12/AS701
2. NEW 30" HI-BACK CURB AND GUTTER.
3. NEW 5' WIDE 4" THICK CONCRETE WALK ON 4" GRAVEL BASE W/ SCORE AND CONSTRUCTION JOINTS.
4. ADA TRANSITION. SEE DETAIL 8/AS701.
5. NEW 4" THICK CONCRETE WALK ON 4" GRAVEL BASE W/ SCORE AND CONSTRUCTION JOINTS.
6. DISABLED PARKING SIGN. SEE DETAIL 5/AS701
7. NATIVE WILDFLOWERS AND GRASSES.
8. EXISTING PAVED TRAIL.
9. EDGE OF EXISTING STREET PAVING.
10. RESTORE ASPHALT PAVING ON PATHWAY DAMAGED BY INSTALLATION OF NEW WATER LINE.
11. EXISTING BRIDGE.
12. EXISTING TELEPHONE PEDESTAL.
13. EXISTING TREE TO BE REMOVED.
14. NOT USED
15. BRICK PAVEMENT WALKWAY. SEE DETAIL 7/AS701.
16. ROLLED ASPHALT EDGE.
17. EXISTING POWER POLE TO BE RELOCATED.
18. NEW ASPHALT TO EXISTING EDGE OF EXISTING ROAD.
19. EDGE OF ASPHALT.
20. OUTDOOR LIGHT, BASE: OXFORD 6200, SHAFT: TFF, 20'-0", ARM: BRACKET RWB-CC3693, FIXTURE: PARK RIDGE 1910 / 5RLM18.
21. SEPTIC DRAIN FIELD AND REPLACEMENT AREA.
22. 8" THICK TEXTURED/ COLORED CONCRETE CROSSWALK. SAW CUT EXISTING ASPHALT, COMPLY W/ WEBER COUNTY ENGINEERING STANDARDS.
23. FIRE DEPARTMENT CONNECTION (FDC).
24. GAS METER.
25. RELOCATED POWER POLE, AS SHOWN AND APPROVED BY ROCKY MOUNTAIN POWER.
26. LIGHT BOLLARD.
27. NEW FIRE HYDRANT (FIRE FLOW 2000 GPM)
28. HATCHED AREA REPRESENTS FIRE DEPARTMENT TURN AROUND. COMPLY WITH WEBER FIRE DISTRICT, AND WEBER ENGINEERING REQUIREMENTS.
29. 4" THICK ASPHALT (2 LAYERS) ON 8" ROAD BASE IN HATCHED AREA. SEE DETAIL 12/AS701
30. EXISTING BURIED TELEPHONE LINE.
31. EXISTING 4" GASLINE.
32. EXISTING OVERHEAD POWERLINES.
33. EXISTING 4" PVC WATER LINE.
34. NOT USED.
35. NOT USED.
36. NOT USED.
37. EXISTING IRRIGATION DITCH.
38. 250' FIRE HYDRANT RADIUS.
39. NOT USED.
40. NOT USED.
41. ADJACENT PROPERTY LINE.
42. NEW 8" WATER MAIN. (INSTALLED BY EDEN WATER WORKS)
43. EXISTING SEPTIC TANK AND DRAIN TO BE REMOVED. COMPLY WITH WEBER-MORGAN HEALTH DEPARTMENT REQUIREMENTS FOR SUCH REMOVAL AND DISPOSAL.
44. REMOVE EXISTING BARBED WIRE FENCE & POSTS.
45. NEW 6 FT. HIGH BLACK ALUMINUM PICKET STYLE FENCE.
46. BENCH
47. DOUBLE WHITE LINE, COMPLY W/ 'COMPLETE STREET' ORDINANCE.
48. 6' HIGH TRASH ENCLOSURE W/ PRIVACY SLATS.
49. 3" THICK ASPHALT
50. PROVIDE PED X SIGN IN ACCORDANCE W/ MUTZ REQUIREMENTS AND WEBER COUNTY ENGINEERING.

VICINITY MAP

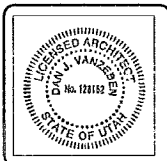


VANZEBEN
ARCHITECTURE
Phone: 801-677-7400
Fax: 801-677-7776
1033 Locust Ave
Ogden, Utah
84403

PROJECT NO: 07035
DRAWN BY: T.G.MV,PS
CHECKED BY: DJV

REVISIONS:

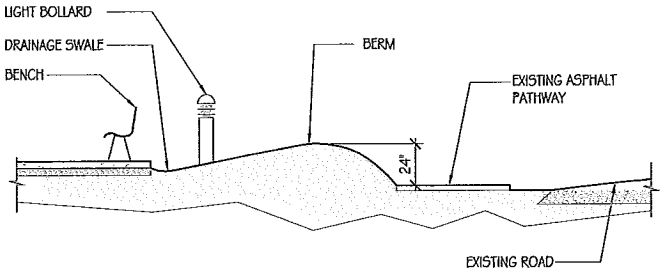
OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH



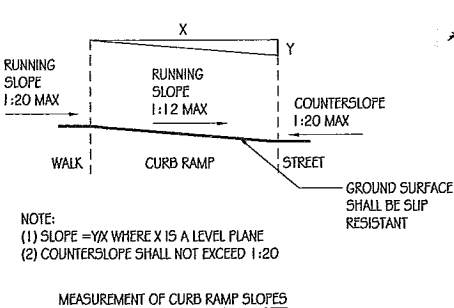
SITE
PLAN

SHEET NUMBER:
AS101

DATE: 02/18/11

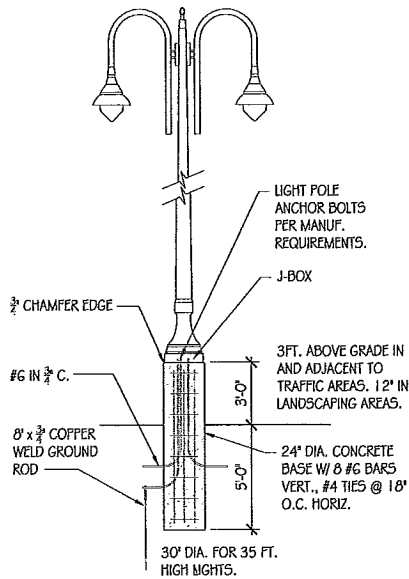


13 BERM SECTION
AS701 SCALE: 1/4" = 1'-0"

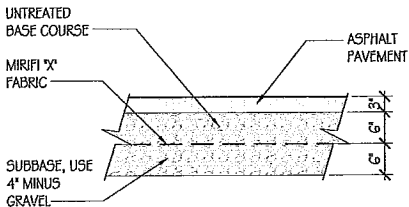


NOTE:
(1) SLOPE = Y/X WHERE X IS A LEVEL PLANE
(2) COUNTERSLOPE SHALL NOT EXCEED 1:20

MEASUREMENT OF CURB RAMP SLOPES

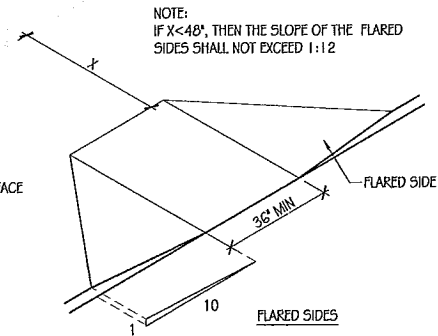


11 SITE LIGHT POLE BASE
AS701 SCALE: 1/4" = 1'-0"

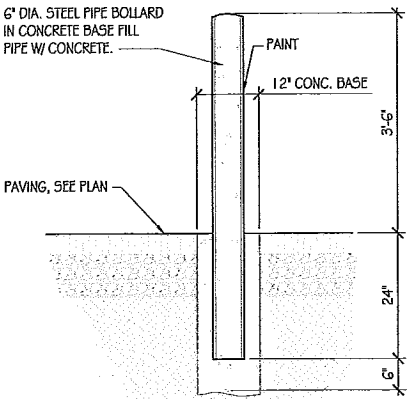


NOTE: PROVIDE 4\"/>

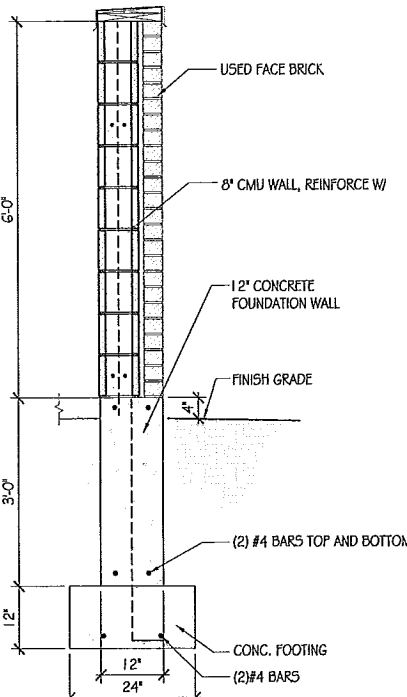
12 PAVEMENT SECTION
AS701 SCALE: 3/4" = 1'-0"



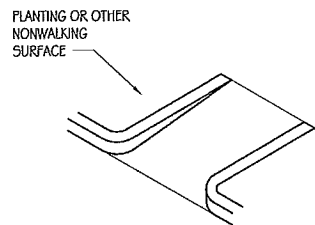
NOTE:
IF X<48", THEN THE SLOPE OF THE FLARED
SIDES SHALL NOT EXCEED 1:12



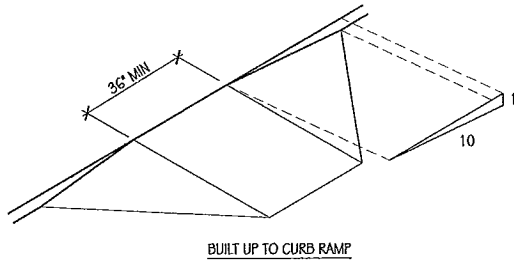
9 BOLLARD DETAIL
AS701 SCALE: 3/4" = 1'-0"



10 TRASH ENCLOSURE WALL
AS701 SCALE: 3/4" = 1'-0"

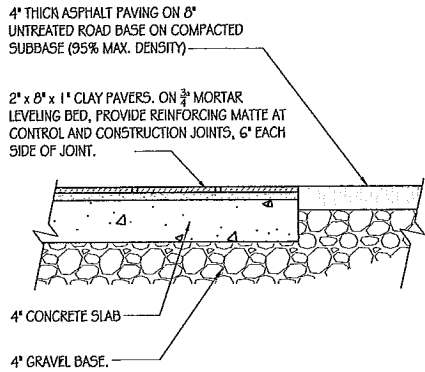


RETURNED CURB

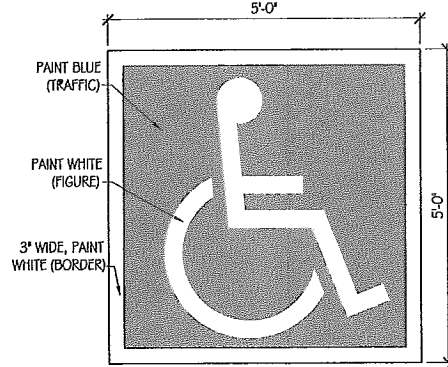


BUILT UP TO CURB RAMP

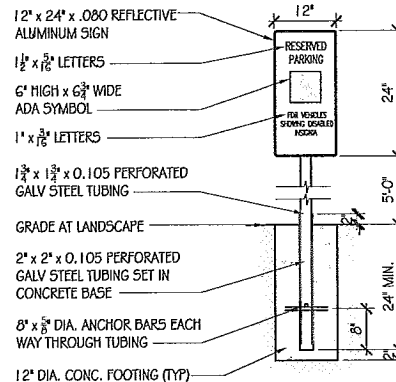
8 CURB RAMP
AS701 SCALE: 3/8" = 1'-0"



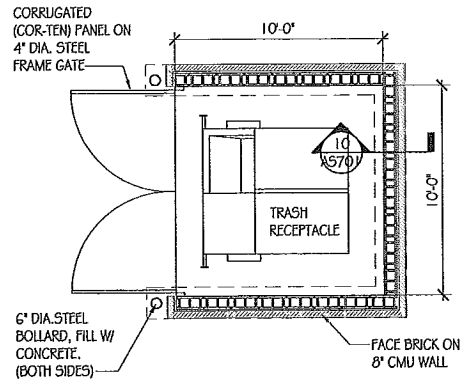
7 BRICK PAVER DETAIL
AS701 SCALE: 1-1/2" = 1'-0"



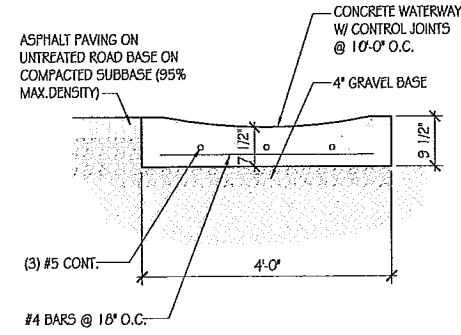
6 ADA PARKING SYMBOL
AS701 SCALE: 3/4" = 1'-0"



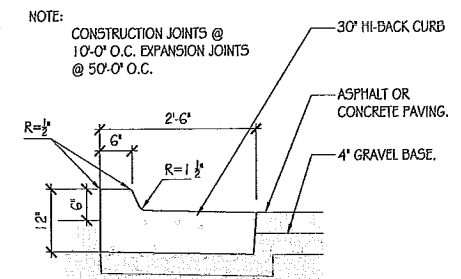
5 ADA PARKING SIGN
AS701 SCALE: 3/4" = 1'-0"



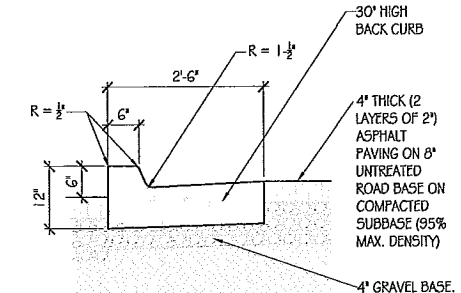
4 TRASH ENCLOSURE
AS701 SCALE: 1/4" = 1'-0"



3 CONCRETE WATERWAY
AS701 SCALE: 3/4" = 1'-0"



2 CURB & GUTTER - REVERSE
AS701 SCALE: 3/4" = 1'-0"



1 CURB AND GUTTER
AS701 SCALE: 3/4" = 1'-0"



PROJECT NO: 07035
DRAWN BY: TG,MV,PS
CHECKED BY: DJV

REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH



SITE
DETAILS

SHEET NUMBER:
AS701

DATE: 02/18/11

DRAINAGE CALCULATIONS: PHASE I

DESIGN CRITERIA:

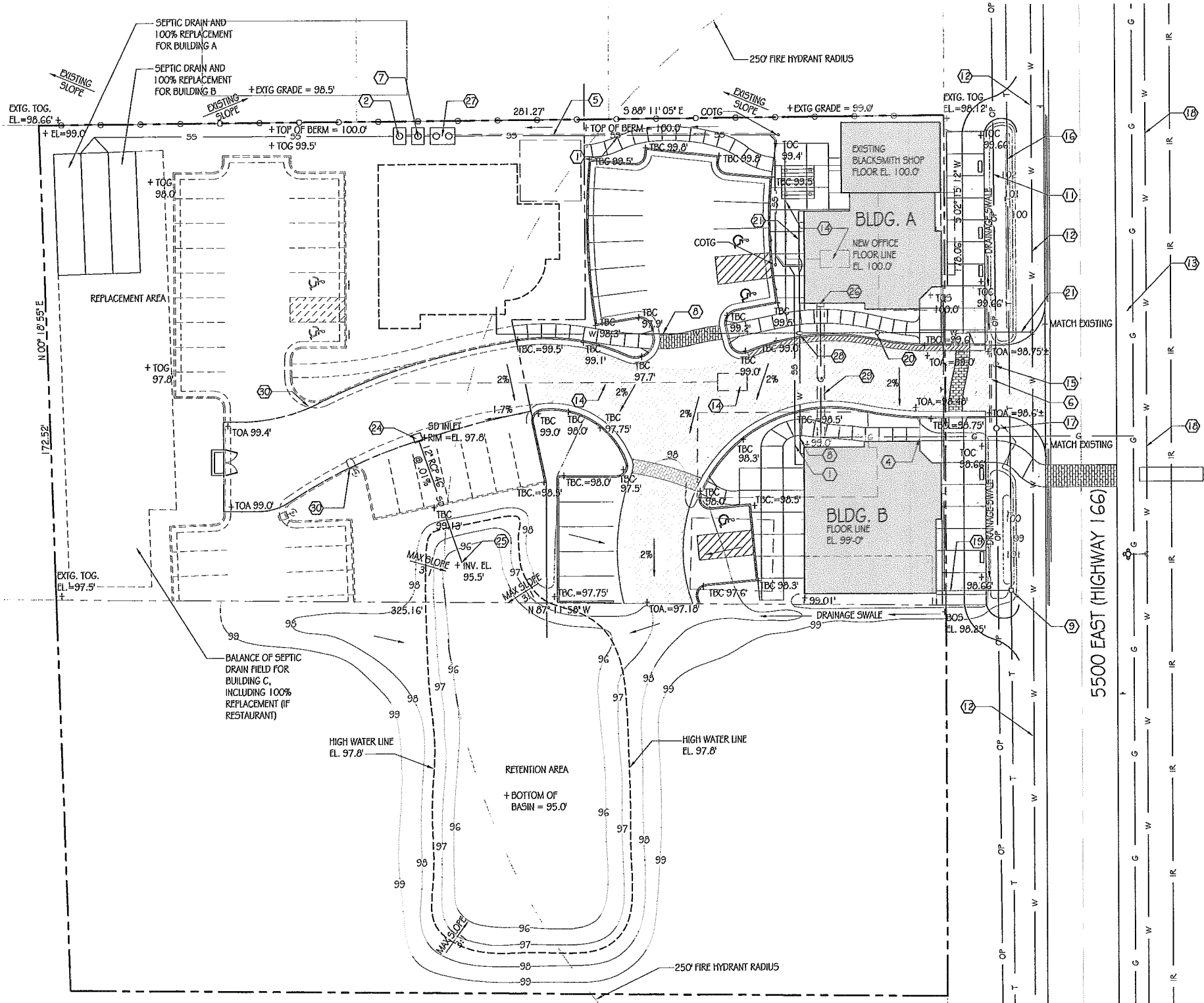
DESIGN STORM = 10 YR. - 24 HOUR (DATA OBTAINED FROM NOAA ATLAS 14)

DETENTION CALCULATIONS:

TRIBUTARY AREA = 1.33 ACRES

TIME (MIN)	RAINFALL (IN)	ACCUM. FLOW (CF)
15	0.59	1573
30	0.79	2107
60	0.98	2613
120	1.19	3173
180	1.3	3467
360	1.66	4427
720	2.14	5707
1440	2.7	7200

TOTAL RETENTION CAPACITY = 20,940 C.F.
TOTAL ADDITIONAL OVERFLOW CAPACITY = 21,400 C.F.



KEYNOTES:

- 4" SANITARY SEWER LINE.
- 1,000 GALLON SEPTIC TANK W/ (2) SEWAGE EJECTION PUMPS. PROVIDE HIGH WATER ALARM TO BUILDING A. LOCATE IN MECHANICAL ROOM.
- SEPTIC DRAIN FIELD.
- NEW GAS LINE.
- 2" CONDUIT W/ PULLSTRING FOR ELECTRICAL WIRING TO PUMP.
- 8" DIA. RCP PIPE.
- 1,000 GALLON SEPTIC TANK.
- 1" WATER LATERAL TO BUILDING.
- EXISTING TELEPHONE PEDESTAL.
- 4" WIDE CONCRETE WATERWAY.
- EXISTING OVERHEAD POWER LINES.
- EXISTING 4" PVC WATER LINE.
- NEW FIRE HYDRANT.
- EXISTING SEPTIC TANK AND DRAIN TO BE REMOVED. COMPLY W/ WEBER-MORGAN HEALTH DEPARTMENT REQUIREMENTS FOR SUCH REMOVAL AND DISPOSAL.
- RELOCATE EXISTING POWER POLE TO NEW LOCATION, AS SHOWN AND APPROVED BY ROCKY MOUNTAIN POWER.
- EXISTING BURIED TELEPHONE LINE.
- NEW LOCATION FOR POWER POLE, AS APPROVED BY ROCKY MOUNTAIN POWER.
- NEW 8" WATER MAIN. (INSTALLED BY EDEN WATER WORKS)
- NEW CONDUIT FOR NEW TELEPHONE LINE TO BLDG.
- NEW 2" MASTER WATER METER.
- NEW 2" WATER LATERAL.
- 12" RCP SD PIPE.
- PRE-CAST CONCRETE SD CATCH BASIN. RIM EL. = 97.8, INVERT EL. = 95.8.
- PRE-CAST CONCRETE SD CATCH BASIN. RIM EL. = 98.23, INV. EL. = 95.73, OUT = 95.7
- DAYLIGHT SD PIPE IN THIS LOCATION, INV. EL. = 95.5
- GAS METER
- 2,500 GALLON SEPTIC TANK.
- MANIFOLD BOX.
- (3) 4" SLEEVES FOR FUTURE WORK.
- ROLLED EDGE - ASPHALT.

GENERAL NOTES:

- ALL WORK IN RIGHT OF WAY SHALL CONFORM TO WEBER COUNTY ENGINEERING REQUIREMENTS.
- VERIFY EXISTING CONDITIONS BEFORE COMMENCING WITH WORK.
- SLABS ON GRADE SHALL BE SCORED (4" DEPTH OF SECTION) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH). PLACE TO PREVENT RANDOM CRACKING.
- EXPANSION JOINTS SHALL BE PLACED AGAINST OBJECTS AND AT FIXED CHANGES IN DIRECTION BUT NOT TO EXCEED 50 FT.
- CONCRETE WATERWAYS, CURBS, GUTTERS AND WALKS SHALL BE SCORED AT INTERVALS NOT EXCEEDING 10 FT. AND EXPANSION JOINTS SHALL NOT EXCEED 50 FT.
- UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE PLACED ON 4" THICK GRAVEL BASE, COMPACTED TO 95% MAX. DENSITY.
- REMOVE AND REPLACE SOFT, YIELDING, AND/OR UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIALS. COMPACT IN 8" LIFTS TO 95% MAX. DENSITY.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK.
- ALL DIMENSIONS, GRADES & UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- WATER SYSTEM CONSTRUCTION SHALL COMPLY WITH EDEN WATER COMPANY REQUIREMENTS.
- SEPTIC SYSTEM SHALL COMPLY WITH WEBER/MORGAN BOARD OF HEALTH REQUIREMENTS.
- COMPLY WITH ROCKY MOUNTAIN POWER FOR ELECTRICAL SERVICE.
- COMPLY WITH QUESTAR GAS FOR NATURAL GAS SERVICE.
- ALL NEW WALKS SHALL HAVE A CROSS SLOPE OF 1/4" PER FOOT FOR DRAINAGE. NO WALKS SHALL BE SLOPED MORE THAN 1:20.
- SLABS ON GRADE SHALL HAVE SAW CUT JOINTS ALIGNING W/ EXISTING JOINTS UNLESS SHOWN OTHERWISE.

VANZEBEN ARCHITECTURE
Phone: 801-677-7400
Fax: 801-677-7776
2033 Franklin Ave
Eden, Utah
84501

PROJECT NO: 07035
DRAWN BY: MV/TG/PS
CHECKED BY: DJV

REVISIONS:

NO.	DESCRIPTION
-----	-------------

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE I
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH

GRADING & UTILITY PLAN

SHEET NUMBER:
CS101

DATE: 02/18/11

PLANTING LEGEND			
MARK	COMMON NAME	BOTANICAL NAME	SIZE & SPACING
TREES			
(T-1)	AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	2" CAL.
(T-2)	INDIAN SUMMER CRABAPPLE	MALLUS 'INDIAN SUMMER'	2" CAL.
(T-3)	AUSTRIAN PINE	PINUS NIGRA (P. AUSTRIACA)	6" TALL
(T-4)	COLORADO SPRUCE	PICEA PUNGENS	6" TALL
(T-5)	BIG TOOTH MAPLE	ACER GRANDIDENTATUM	2" CAL.
(T-6)	FLOWERING PLUM	PRUNUS CERASIFERA 'NEWPORT'	2" CAL.
(T-7)	GOLDENRAIN	KOELREUTERIA PANICULATA	2" CAL.
(T-8)	PRAIRIEFIRE CRABAPPLE	MALLUS 'PRAIRIEFIRE'	2" CAL.
SHRUBS			
(S-1)	NINE BARK 'DART'S GOLD'	PHYSCARPUS OPULIFOLIUS	5 GAL. @ 4' O.C.
(S-2)	JAPANESE BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL. @ 3' O.C.
(S-3)	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. @ 4' O.C.
(S-4)	YELLOWTHING DOGWOOD	CORNUS STOLONIFERA	5 GAL. @ 4' O.C.
(S-5)	VERMONT SUN FORSYTHIA	FORSYTHIA MANDSHURICA 'VERMONT SUN'	5 GAL.
(S-6)	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL. @ 2' O.C.
(S-7)	LAVANDER COTTON	SANTOLINA CHAMAECYPARISSUS	5 GAL. @ 3' O.C.

PLANTING LEGEND			
MARK	COMMON NAME	BOTANICAL NAME	SIZE & SPACING
GROUND COVER			
(GC-1)	CEDAR BARK CHIPS		
(GC-2)	CRUSHED STONE		
(GC-3)	SOD		
(GC-4)	WOOLLY THYME	THYMUS PSEUDOLANGINOSUS	@ 8" O.C.
(GC-5)	CREeping JENNY	LYSIMACHIA NUMMULARIA	@ 8" O.C.
(GC-6)	GOLDMOSSED SEDUM	SEDUM ACRE	@ 8" O.C.
(GC-7)	HYDROSEEDED WILDFLOWER MIX		
(GC-8)	HYDROSEEDED NATIVE GRASS MIX		
ORNAMENTAL GRASSES			
(G-1)	ELIJAH BLUE FESCUE	FESTUCA GLAUCA	2 GAL. @ 10" O.C.
(G-2)	INDIAN RICE GRASS	ACHNATHERUM HYMENOIDES	2 GAL. @ 1' 6" O.C.
(G-3)	BIG BLUESTEM	ANDROPOGON GERARDII	2 GAL. @ 2' 6" O.C.
(G-4)	ALKALI DROPSEED	SPOROBOLUS AIROIDES	2 GAL. @ 2' O.C.

PLANTING LEGEND		
MARK	COMMON NAME	SIZE & SPACING
PERENNIALS		
(P-1)	WOOLLY YARROW	2 GAL. @ 1' O.C.
(P-2)	BLUEBELL OF SCOTLAND	2 GAL. @ 8" O.C.
(P-3)	HOSTA	2 GAL. @ 3' O.C.
(P-4)	LAMB'S EARS	2 GAL. @ 1' O.C.
(P-5)	ORIENTAL POPPY	2 GAL. @ 1' O.C.
(P-6)	SILVERSTEM LUPINE	2 GAL. @ 1' O.C.
(P-7)	CALIFORNIA FUSCHIA	2 GAL. @ 3' O.C.
(P-8)	RUSSIAN SAGE	2 GAL. @ 3' O.C.
(P-9)	AUTUMN JOY SEDUM	2 GAL. @ 1' 6" O.C.
(P-10)	DAFFODIL	
(P-11)	DUTCH CROCUS	
(P-12)	GRAPE HYACINTH	

LANDSCAPE KEYNOTES: —①

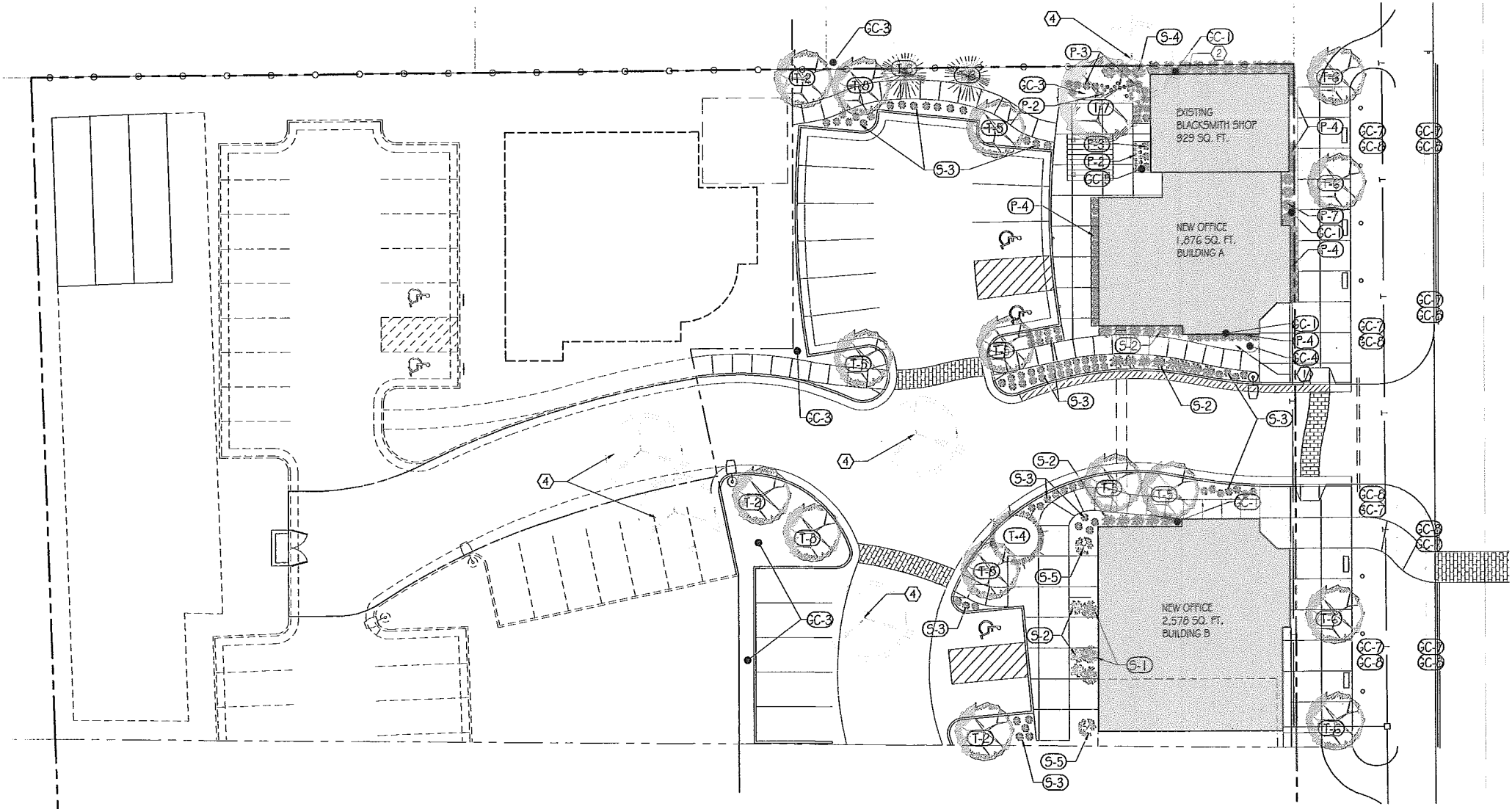
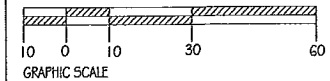
1. PLANT GROUND COVER WITH NATURALIZED NARCISSUS, CROCUS, AND MUSCARI BULBS.
2. PROVIDE WEED CLOTH BELOW GROUND COVER W/ HOLES CUT FOR PLANTS.
3. EXISTING TREE TO REMAIN.
4. EXISTING TREE TO BE REMOVED.

GENERAL LANDSCAPE NOTES:

- A. WHERE GROUND COVER IS PLANT MATERIAL (GC-4,5,6) PROVIDE ORGANIC MULCH.
- B. HYDROSEEDED WILDFLOWER MIX TO INCLUDE:
 1. COMMON YARROW - ACHILLEA MILLEFOLIUM.
 2. FENSTEMON - FENSTEMON BARBATUS 'SCHOOLEY'S YELLOW'.
 3. INDIAN PAINTBRUSH - CASTILLEJA
 4. MOUNTAIN PHLOX - UNANTHUS GRANDIFLORUS.
 5. CALIFORNIA POPPY - ESCHSCHOLZIA CALIFORNICA.
 6. FOXGLOVE - DIGITALIS OBScura.
 7. COREOPSIS - COREOPSIS GRANDIFLORA.
 8. JUPITER'S BEARD - CENTRANTHUS RUBER.
 9. SUNDROPS - CALYLOPHUS HARTWEGII.
 10. VERBENA - VERBENA BIFINNATIFIDA.
 11. GOLDENROD - SOLIDAGO 'GOLDENMOSS'.
 12. MEXICAN POPPY - ARGEMONE MEXICANA
 13. NATIVE GRASS MIX.
- C. NATIVE GRASS MIX TO INCLUDE:
 1. BLUE GRAMA - BOUTELOUA GRACILIS.
 2. BUFFALO GRASS - BUCHLOE DACTYLOIDES.
 3. RED FESCUE - FESTUCA RUBRA.
 4. WESTERN WHEATGRASS - AGROPYRON SMITHII.
- D. PROVIDE EDGING MATERIAL BETWEEN GROUND COVER TYPES.
- E. ALL NONPLANT GROUND COVER (GC-1,4,2) TO BE APPLIED AT A DEPTH OF 3" F.
- F. REFER TO L701 FOR PLANTING DETAILS.

GENERAL IRRIGATION NOTES:

- A. IRRIGATION SYSTEM IS DESIGNBUILD. PROVIDE DESIGN TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- B. EXAMINE SITE TO DETERMINE ACCEPTANCE OF SUBGRADE AND LAYOUT. NOTIFY ARCHITECT OF DISCREPANCY PRIOR TO COMMENCING WORK.
- C. SPRINKLER HEADS, EQUIPMENT, VALVES, ETC. SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S INSTRUCTIONS AND DESIGN STANDARDS.
- D. DRAWINGS ARE DIAGRAMMATIC. IRRIGATION CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING LOCATIONS AND SIZES OF VALVES, SHUT-OFFS, DRAIN VALVES, CONTROLLERS, EQUIP. AND PIPE SIZES.
- E. COORDINATE LOCATION OF SLEEVES WITH OTHER CONTRACTORS IN A TIMELY MANNER TO PLACE PRIOR TO CONSTRUCTION OF STRUCTURES AND PAVEMENTS.
- F. LOCATE DRAINS AT APPROPRIATE LOCATIONS. SHOW ON SHOP DRAWINGS. ENSURE POSITIVE DRAINAGE FOR ENTIRE SYSTEM.
- G. DESIGN SYSTEM BASED ON 25 GPM MAX. FLOW. VERIFY PRESSURE AND SIZE PIPING BASED ON FINDINGS.
- H. LOCATE HEADS NEXT TO WALKS MINIMUM OF 2" AND 1/4" BELOW SURFACE.
- I. MAIN LINES SHALL BE SCHEDULE 40 PVC. BURIED @ 16" BELOW GRADE. LATERAL SHALL BE SCHEDULE 40 PVC. BURIED @ 12" BELOW GRADE.
- J. PROVIDE 'AS BUILT' RECORD DRAWINGS.
- K. REFER TO SHEET L701 FOR IRRIGATION SYSTEM DETAILS.



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

VANZEBEN

ARCHITECTURE

Phone: 801-537-7100

Fax: 801-537-7724

2035 South 900

Englewood, Utah

84015

PROJECT NO: 07035

DRAWN BY: MV,TG,PS

CHECKED BY: DJV

REVISIONS:

OWNER: HORSESHOE LLC

PROJECT: BLACKSMITH VILLAGE

PHASE 1

LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH

LICENSED ARCHITECT

DATE: 12/18/12

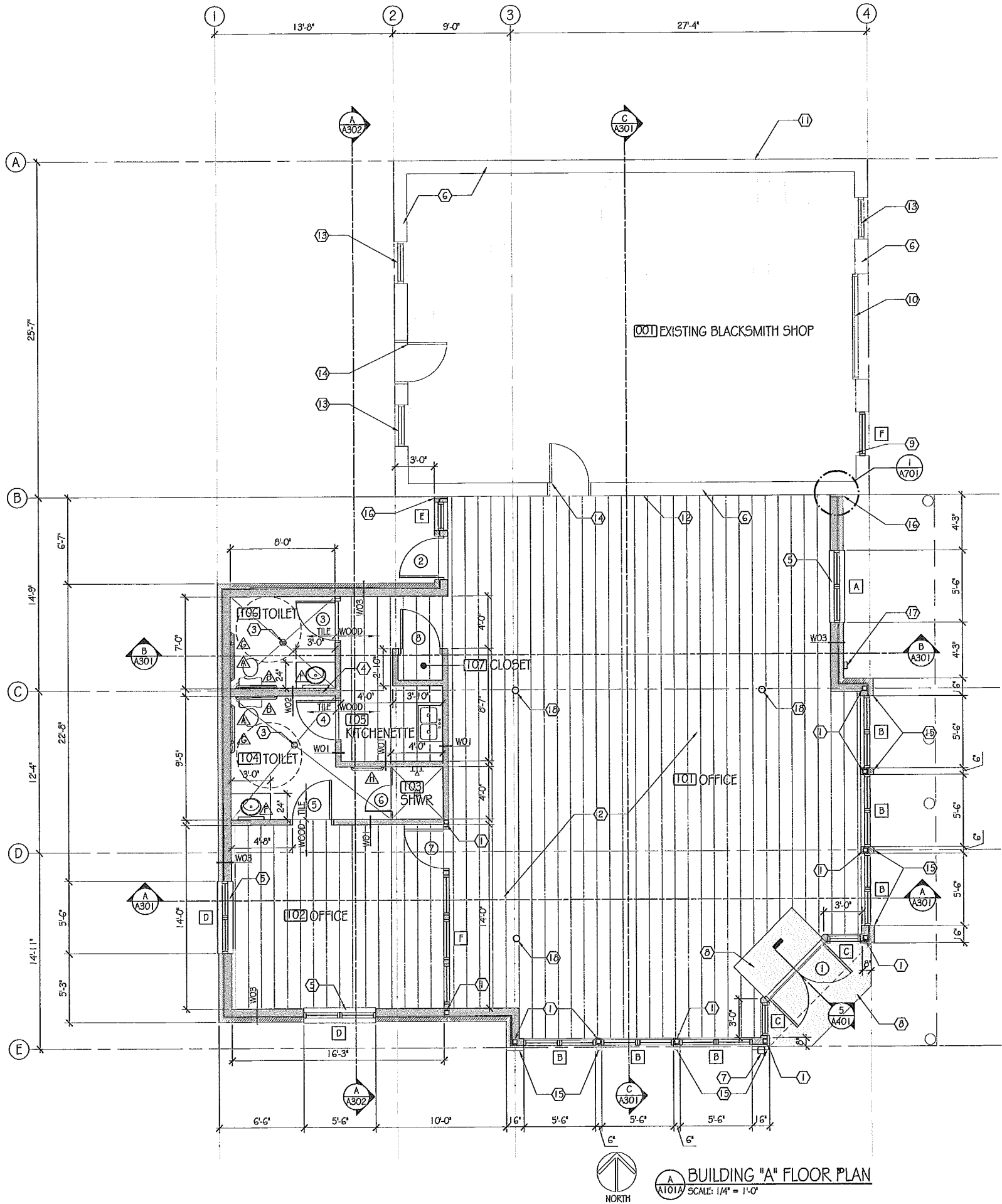
STATE OF UTAH

LANDSCAPE PLAN

SHEET NUMBER:

L101

DATE: 02/18/11



- FLOOR PLAN KEYNOTES:—①
1. HSS 4" X 4" X 3/8" STEEL COLUMN.
 2. WOOD FLOORING ON 4" CONCRETE SLAB ON 4" GRAVEL BASE.
 3. NEW FLOOR DRAIN, SLOPE FLOOR TO DRAIN.
 4. PLUMBING WALL, 2 X 6 WOOD STUDS @ 16" O.C.
 5. GRANITE WINDOW SILL.
 6. EXISTING BUILDING, 12" THICK BRICK WALL.
 7. *KNOX BOX, FIRE DEPARTMENT BUILDING ACCESS KEY.
 8. 2" HEXAGONAL TILE FLOOR.
 9. REMOVE EXISTING DOOR, FRAME AND TRANSOM. REPLACE W/ NEW WINDOW, MATCH EXISTING.
 10. RESTORE EXISTING DOORS, PROVIDE NEW SLIDING HARDWARE.
 11. REMOVE PAINT FROM EXISTING BRICK WALL USING *SODA BLAST* METHOD.
 12. CLEAN EXISTING BRICK W/ *SODA BLAST* METHOD.
 13. RESTORE EXISTING WINDOWS. REPLACE GLASS, REFINISH WOOD, MAKE OPERATIONAL.
 14. RESTORE EXISTING DOORS, REPLACE HARDWARE.
 15. CAST IRON WINDOW SURROUND AND FRAME SYSTEM.
 16. 2" EXPANSION JOINT.
 17. FIRE DEPARTMENT CONNECTION. (FDC)
 18. CAST IRON COLUMN, SEE DETAIL 3/A701

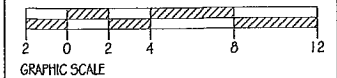
FLOOR PLAN GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE.
- B. N. I. C. = NOT IN CONTRACT
- C. A. F. F. = ABOVE FINISH FLOOR
- D. VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY OWNER IMMEDIATELY WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS ARE ENCOUNTERED.
- E. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
- F. EXTEND ALL WALLS TO DECK, UNLESS OTHERWISE NOTED. WALLS ABOVE FINISH CEILINGS SHALL HAVE GYPSUM BOARD ON ONE SIDE ONLY, FIRE TAPED.

ACCESSORIES SCHEDULE:

A	42" GRAB BAR
B	36" GRAB BAR
C	TOILET TISSUE DISPENSER
D	PAPER TOWEL DISPENSER
E	HAND SOAP DISPENSER
F	24 x 36 MIRROR
G	18" GRAB BAR
H	TOWEL BAR

NOTE: OTHER ACCESSORIES BY TENANT



VANZEBEN
ARCHITECTURE
phone: 801-571-9100
fax: 801-571-2724
10301 Freedom Ave
Sandy, Utah
84070

PROJECT NO: 07035
DRAWN BY: MV,TG,PS
CHECKED BY: DJV

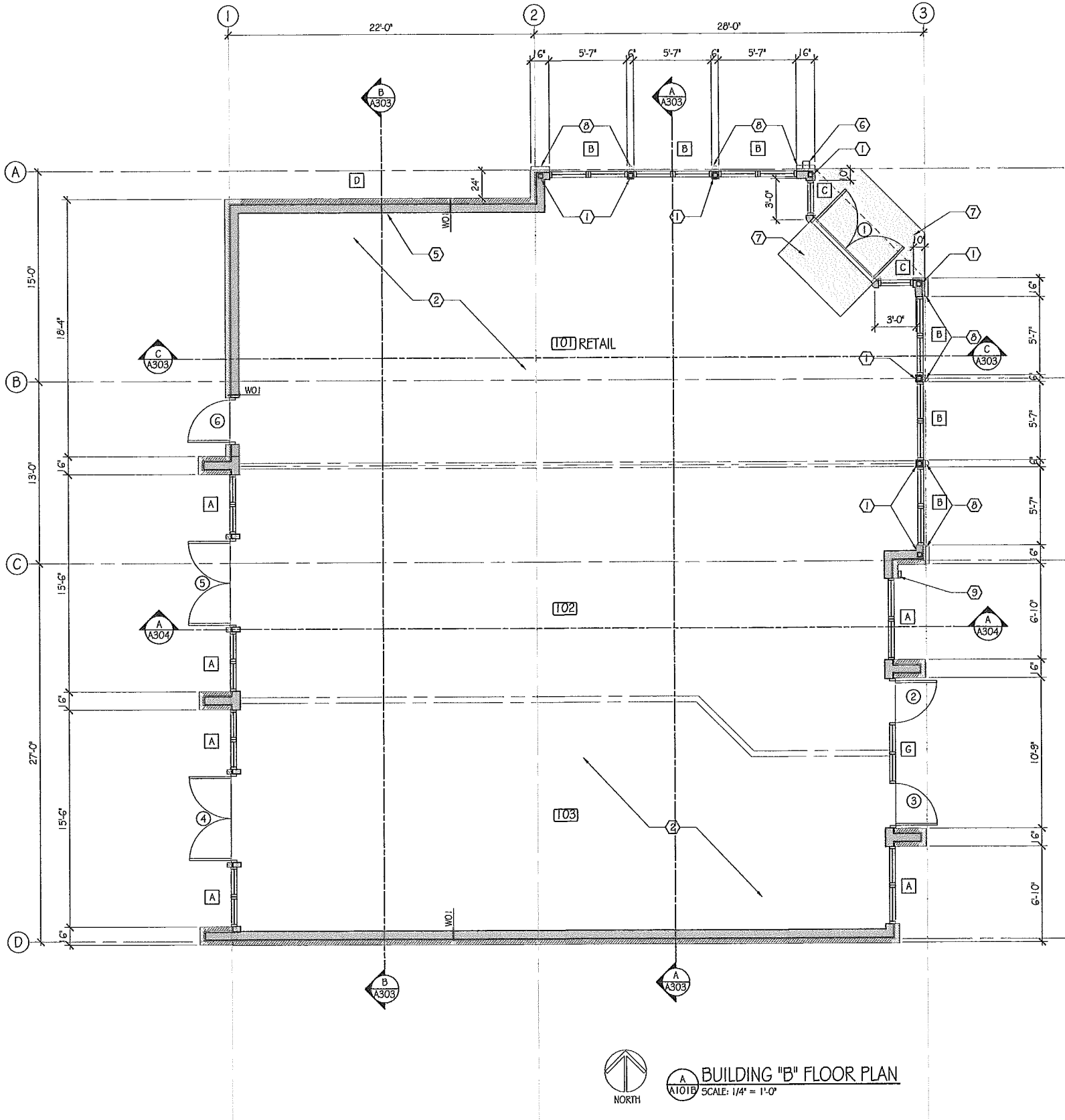
REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH

BUILDING
"A" FLOOR
PLAN

SHEET NUMBER:
A101A

DATE: 02/18/11



FLOOR PLAN KEYNOTES:

1. HSS 4" X 4" X 3/8" STEEL COLUMN.
2. GRAVEL BASE.
3. NEW FLOOR DRAIN, SLOPE FLOOR TO DRAIN.
4. PLUMBING WALL, 2 X 6 WOOD STUDS @ 16" O.C.
5. GRANITE WINDOW SILL.
6. "KNOX BOX", FIRE DEPARTMENT BUILDING ACCESS KEY.
7. 2" HEXAGONAL TILE FLOOR.
8. CAST IRON WINDOW SURROUND AND FRAME SYSTEM.
9. FIRE DEPARTMENT CONNECTION. (FDC)

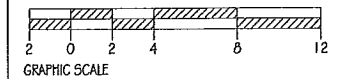
FLOOR PLAN GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE.
- B. N. I. C. = NOT IN CONTRACT
- C. A. F. F. = ABOVE FINISH FLOOR
- D. VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY OWNER IMMEDIATELY WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS ARE ENCOUNTERED.
- E. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
- F. EXTEND ALL WALLS TO DECK, UNLESS OTHERWISE NOTED. WALLS ABOVE FINISH CEILINGS SHALL HAVE GYPSBOARD ON ONE SIDE ONLY, FIRE TAPED.

ACCESSORIES SCHEDULE:

A	42" GRAB BAR
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C	TOILET TISSUE DISPENSER
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E	HAND SOAP DISPENSER
F	24 x 36 MIRROR
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NOTE: OTHER ACCESSORIES BY TENANT



VANZEBEN
ARCHITECTURE
PHONE: 801-677-7400
FAX: 801-677-7777
2030 LOCUST AVE
SALT LAKE CITY, UT 84143
BASIC

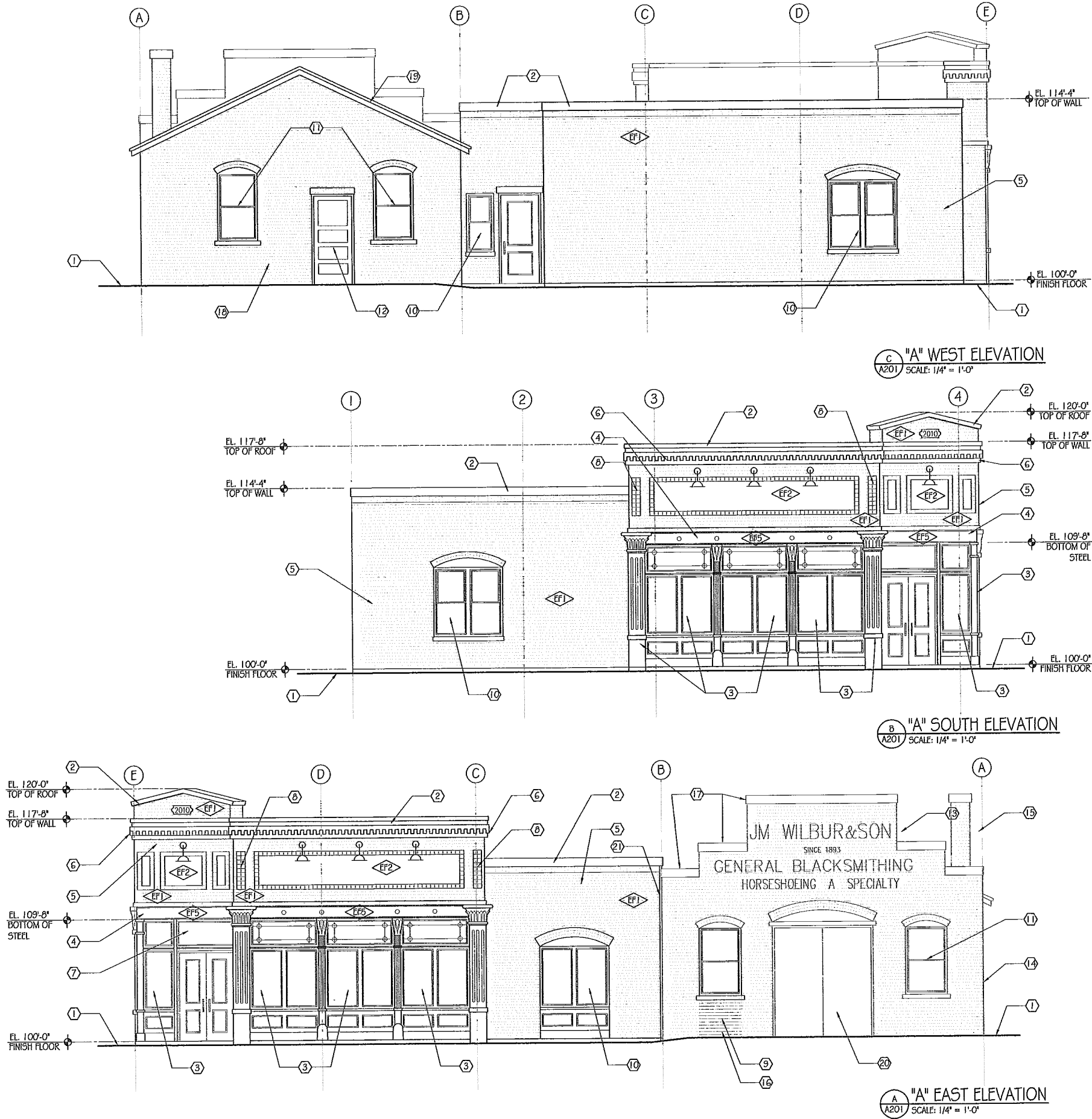
PROJECT NO: 07035
DRAWN BY: TG, PS
CHECKED BY: DJV

REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH
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BUILDING
"B" FLOOR
PLAN

SHEET NUMBER:
A101B
DATE: 02/18/11



ELEVATION KEYNOTES: —①

1. FINISH GRADE.
2. 26 GA. G.I. CAP FLASHING, PRE-FINISHED.
3. CAST IRON FRAMED WINDOW SYSTEM, AGED PATINA BRONZE (GREEN)
4. STEEL BEAM, PAINTED.
5. USED FACE BRICK VENEER.
6. BRICK DENTIL DETAILING.
7. ART GLASS WINDOW TRANSOM.
8. CERAMIC TILE IN-FILL ACCENT.
9. INFILL DOOR OPENING WITH USED FACE BRICK.
10. WINDOW WITH WOOD FRAME.
11. REPLACE / RESTORE WOOD WINDOW W/ SAME PROFILE AS EXISTING, PAINT.
12. RESTORE EXISTING WOOD DOOR, FRAME AND HARDWARE.
13. RE-PAINT SIGN LETTERING, MATCH EXISTING.
14. REMOVE PAINT ON NORTH WALL USING "SODA BLAST" METHOD.
15. RE-CONSTRUCT CHIMNEY. USE EXISTING BRICK VENEER.
16. REMOVE EXISTING DOOR, FRAME, AND TRANSOM. REPLACE W/ SINGLE HUNG WOOD WINDOW, MATCH EXISTING PROFILE, PAINT.
17. RESTORE CAP BLOCK. USE PRE-CAST CONCRETE. MATCH EXISTING PROFILE, SHAPE AND TEXTURE.
18. CLEAN BRICK USING "SODA BLAST" METHOD.
19. RESTORE FASCIA AND CORNICE DETAIL. MATCH EXISTING BUILT-UP PROFILE, PAINT.
20. RESTORE OR REPLACE SLIDING WOOD DOORS. USE NEW UNISTRUT SLIDING HARDWARE
21. 2" EXPANSION JOINT.

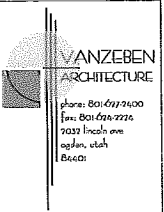
GENERAL NOTES:

- A. RESTORE EXISTING BRICK ON BLACKSMITH SHOP W/ REPLACEMENT BRICK, RE-POINTING, AND CONCEALED STAINLESS STEEL TIES AND ANCHORS AS REQUIRED.

EXTERIOR FINISH MATERIALS

MATERIAL	DESCRIPTION	COLOR
EF1	BRICK	FACE BRICK
EF2	SIGN	26 GA. PRE-FINISHED
EF3	STONE	
EF4	METAL	
EF5	STEEL	
EF6	FLASHING	
EF7		
EF8		

NOTES:
A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES.

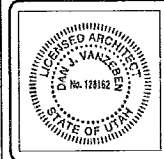


PROJECT NO: 07035
DRAWN BY: MV,TG,PS
CHECKED BY: DJV

REVISIONS:

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PROJECT: BLACKSMITH VILLAGE
PHASE 1

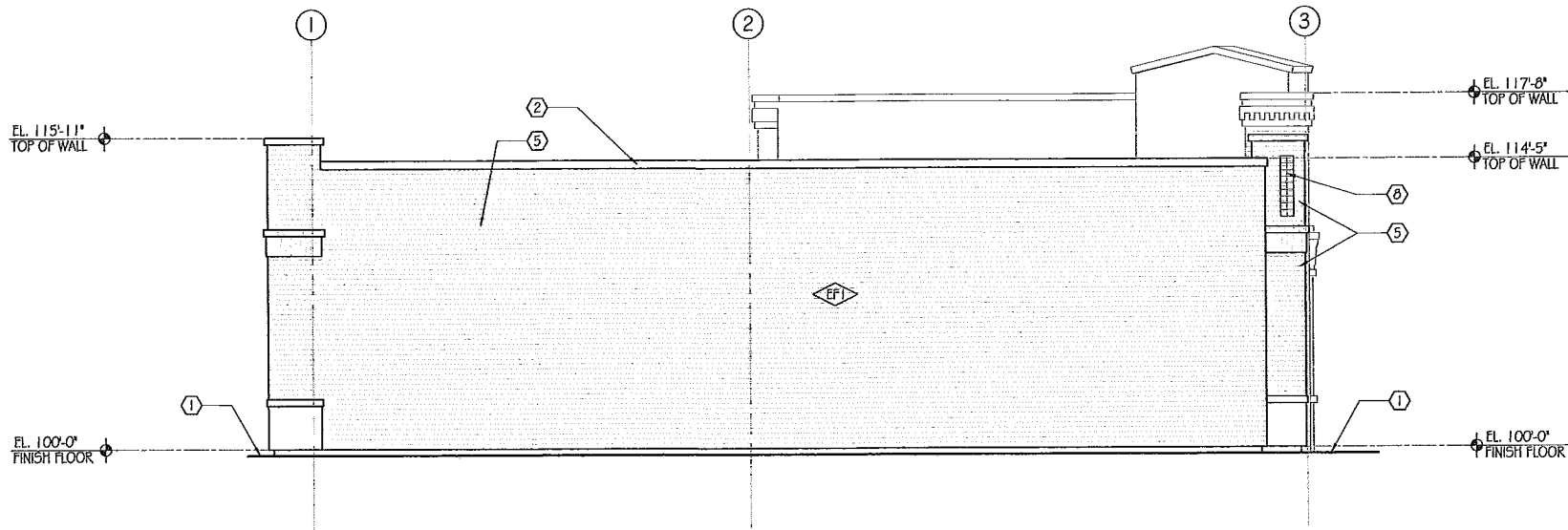
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH



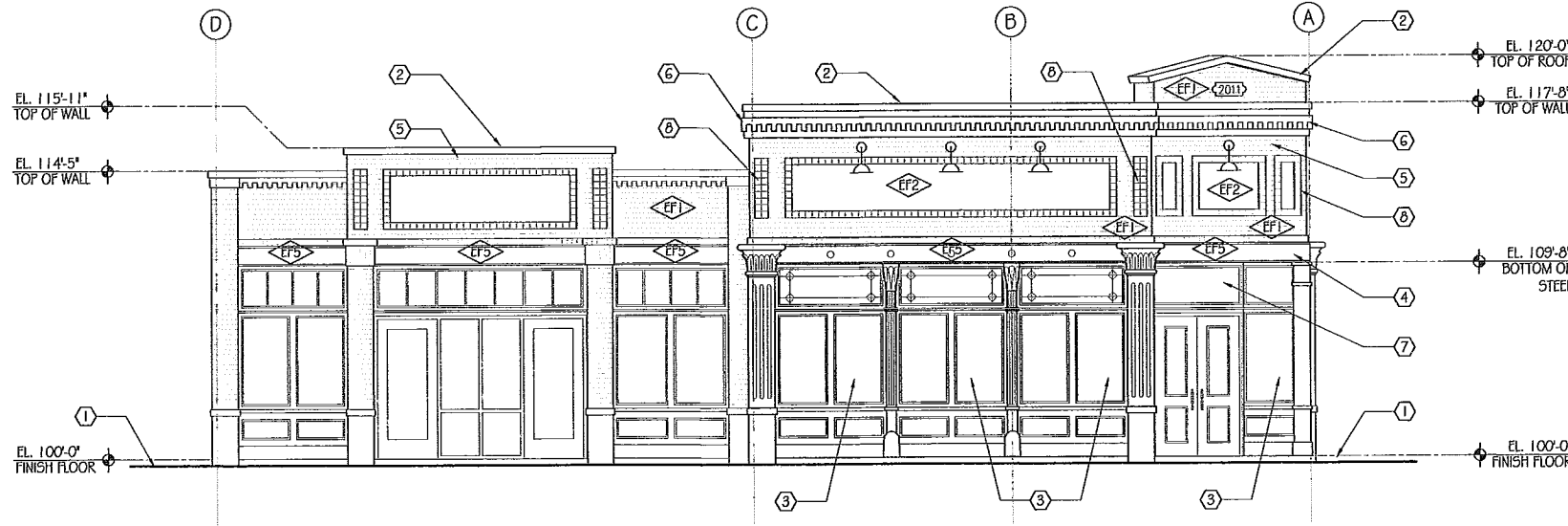
BUILDING
"A"
EXTERIOR
ELEVATIONS

SHEET NUMBER:
A201

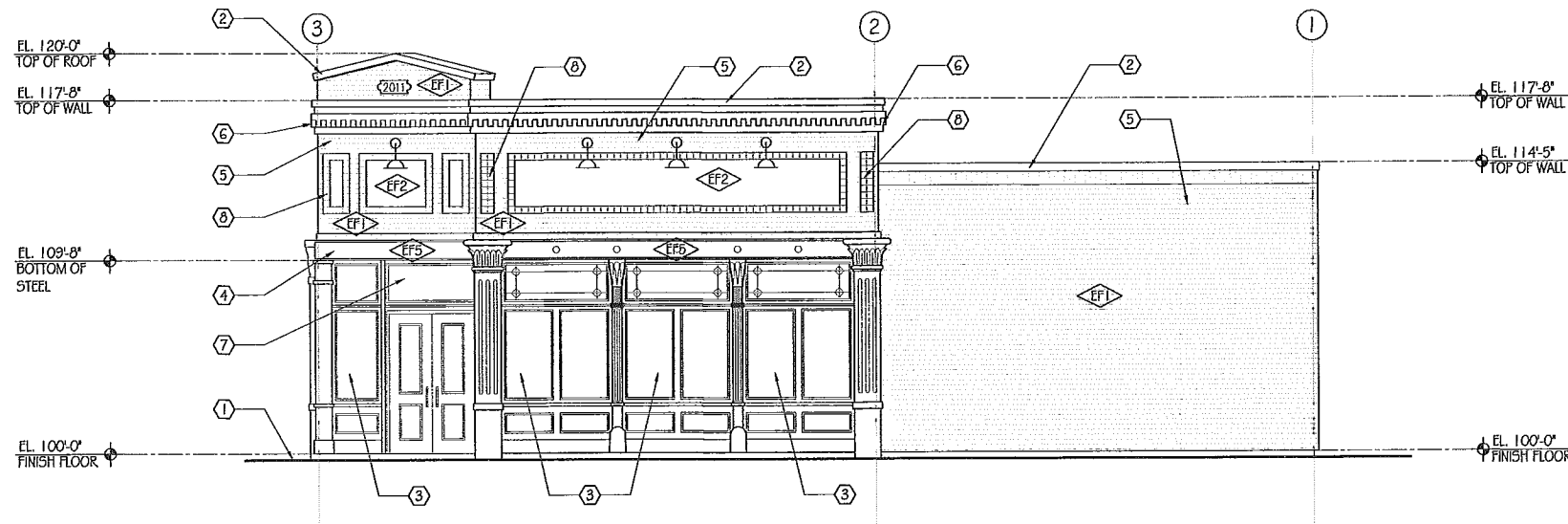
DATE: 02/18/11



C BUILDING "B" SOUTH ELEVATION
A202 SCALE: 1/4" = 1'-0"



B BUILDING "B" EAST ELEVATION
A202 SCALE: 1/4" = 1'-0"



A BUILDING "B" NORTH ELEVATION
A202 SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES: ①

1. FINISH GRADE.
2. 26 GA. G.I. CAP FLASHING, PRE-FINISHED.
3. CAST IRON FRAMED WINDOW SYSTEM, AGED PATINA BRONZE (GREEN)
4. STEEL BEAM, PAINTED.
5. USED FACE BRICK VENEER.
6. BRICK DENTIL DETAILING.
7. ART GLASS WINDOW TRANSOM.
8. CERAMIC TILE IN-FILL ACCENT.
9. WINDOW WITH WOOD FRAME.



PROJECT NO: 07035
DRAWN BY: TG,PS
CHECKED BY: DJV

REVISIONS:

OWNER: HORSESHOE LLC
PROJECT: BLACKSMITH VILLAGE
PHASE 1
LOCATION: 2145 NORTH 5500 EAST, EDEN, UTAH
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BUILDING
"B"
EXTERIOR
ELEVATIONS

SHEET NUMBER:
A202
DATE: 02/18/11

EXTERIOR FINISH MATERIALS

MARK	MATERIAL	DESCRIPTION	COLOR
EF1	BRICK	FACE BRICK	EXISTING SOURCE
EF2	SIGN METAL	26 GA. PRE-FINISHED	
EF3	STONE		
EF4	METAL		
EF5	STEEL		
EF6	FLASHING		
EF7			
EF8			

NOTES:
A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES.