

(This SWPPP Template is for the **Common Plan** Permit Only, and
does **NOT** address SWPPP requirements found in the CGP.)

Common Plan SWPPP for Matheson Residence

Sandhill Crane Lot #4

5837 E 2500 N. Eden, UT 84310

Ryan and Talya Matheson

PO Box 12892

Ogden, UT 84412

Contractor Name (if not the same as Owner)

Contractor Street Address

Contractor City, State, Zip

Date

6/17/16



1. Project Information

Project Name: Matheson Residence

Address: 5837 E 2500 N

City: Eden

State: UT

Zip: 84310

Latitude: 41°18'11.3" N

Longitude: 111°48'26.0"W

UPDES Permit Tracking Number: UTR375687

Owner: Ryan and Talya Matheson

Contact Person: Talya Matheson

Address: PO Box 12892

City: Ogden

State: UT

Zip: 84412

Telephone Number: 801-644-2864

Email Address: ryantalya@hotmail.com

General Contractor: Same as Owner

Contact Person: [Click here to enter text.](#)

Address: [Click here to enter text.](#)

City: [Click here to enter text.](#)

State: State

Zip: Zip Code

Telephone Number: Contact Person Phone

Email Address: Contact Person Email

2. Pollution Sources/Best Management Practices

Answer yes or no whether the following features are located at your site. If yes, select the BMP(s) that will be used to protect each feature. If no, continue to the next question. Attach necessary illustrated details for proper installation in Appendix L, and show locations of all controls on Site Map in Appendix B.

- 2.1 **Is there a SWPPP sign on site?** (see permit part 1.10) Yes No
The sign must include the UPDES tracking number, the owner or general contractor name, phone number and email, and if the SWPPP is on-line, instructions on how to view it.
- 2.2 **Will there be non-stormwater discharges on the site?** (see permit part 1.3) Yes No
Construction Dewatering (if discharged offsite) must be covered by UPDES Permit UTG070000 (see permit part 2.7). Further, cleaning of tools and equipment must be contained in a plastic lined pit (see permit part 2.4.5 & 2.9).
- 2.3 **Are wetlands, sensitive areas, or UIC wells located on or adjacent to the site?** (see permit part 2.2) Yes No
BMP(s): Vegetative Buffers Berms Wattles
 Boundary Fence Silt Fence
 Other: [Click here to enter text.](#)
- 2.4 **Will there be stockpiles on the site?** Yes No
Note: Select "Contained by other BMP" if another BMP on your site will contain runoff from the stockpiles CANNOT be placed in the street. (see permit part 2.1.1)
BMP(s): Silt Fence Staked Straw Wattle Covering
 Other: [Click here to enter text.](#)
X Contained by other BMP. Explain: Dirt from excavating will be utilized in the septic system and will be contained by natural vegetation for runoff

- 2.5 **Are surface waters located within 30 feet of your project's earth disturbances?** Yes No
Is there a SWPPP sign on site? (see permit part 1.10)
Note: A 30' natural vegetative buffer MUST be used if possible. If a buffer less than 30' is used, you must demonstrate that the additional controls offer the same protection as a 30' natural vegetative buffer, and select the reason for exemption below. (see permit part 2.3.5)
BMP(s): 30' Natural Vegetative Buffer Less than 1 acre Disturbance
 2 Silt Fence Barrier 2 Straw Wattle Barriers (Fiber Roll)
 Less than 30' Natural Vegetative Buffer. Additional Controls: [Click here to enter text.](#)
- 2.6 **Does your site have steep slopes (greater than 70%)?** (see permit part 2.3.2) Yes No
BMP(s): Erosion Control Blanket Minimum Disturbance Seeding
 Hydroseed Mulch Takifiers
 Other: [Click here to enter text.](#)
- 2.7 **What perimeter and sediment controls will be used on the site?** (see permit part 2.1.2 & 2.3)
BMP(s): Silt Fence Straw Wattles (Fiber Rolls) Sediment Trap
 Sediment Basin Swales Berms
 Vegetative Buffer Cut-Back-Curb
 Other: [Click here to enter text.](#)
- 2.8 **What storm drain inlet protection will be used on this site?** (see permit part 2.1.3)
Where is/are the nearest downstream inlet(s): [Click here to enter text.](#)
BMP(s): Rock/Sand-filled Bags Drop Inlet Bags Inlet Wattles
 Filter Fabric
 Other: [Click here to enter text.](#)
- 2.9 **Will curb ramps be used at the site?** Yes No
Note: If curb ramps are used it must be done with material that will not wash away in stormwater. (see permit part 2.4.2)
BMP(s): Crushed Rock Wood Dunnage
 Other: [Click here to enter text.](#)
- 2.10 **What dust control BMP(s) will be used?**
BMP(s): Wetting with Water
 Other: [Click here to enter text.](#)
- 2.11 **What track out control will be used on the site?** (see permit part 2.4.1)
BMP(s): Track Out Pad Cobble Gravel
 Rumble Strips Wash Down Pad Delivery Pad
 Limited Site Access Selective Access During Dry Weather
 Other: [Click here to enter text.](#)
- 2.12 **How will solid waste be dealt with on the site?** (see permit part 2.4.3)
BMP(s): Bag Lightweight Trash Leak Proof Dumpsters Receptacles with Lids
 Other: [Click here to enter text.](#)
- 2.13 **How will non-aqueous liquid waste (oil, solvent, fuel) be dealt with on the site?**
BMP(s): Contained and Removed from the site. Collected for Reuse
 Other: NA
- 2.14 **How will spoils (extra or left over dirt) be contained/managed?**
BMP(s): Cover Erodible Material Runoff Containment Haul Off Policy
 Other: All dirt will be utilized for back fill and at grade septic system

- 2.15 **How will sanitary waste be handled on the site?** (see permit part 2.4.4)
BMP(s): Portable Toilet(s) (*must be staked down & 10' from curb*)
 Onsite or Adjacent Indoor Bathrooms
 Portable Toilet Secondary Containment
 Other: [Click here to enter text.](#)
- 2.16 **How will concrete wash water be contained on the site?** (see permit part 2.4.5 & 2.9.1)
BMP(s): Lined Depression Steel Dumpster
 Regional Washout (per development)
 Other: [Click here to enter text.](#)
- 2.17 **What controls will be used for construction materials stored on site?**
BMP(s): Covering Erodible or Liquid Materials Secondary Containment
 Strategic Storage and Staging
 Other: [Click here to enter text.](#)
- 2.18 **What controls will be in place for equipment fueling, maintenance, and washing?**
BMP(s): Fueling w/Mobile Track w/Spill Kit Offsite O+M
 Other: [Click here to enter text.](#)
- 2.19 **How will sediment be contained on site until home owner completes landscaping?**
BMP(s): Landscaping Swales Rock Filters
 Perimeter Controls Vegetated Buffer Native Vegetative Barriers
 Cut-Back-Curb Leave Front-Yard Lower than Sidewalk
 Other: [Click here to enter text.](#)

Note that any maintenance required to ensure proper BMP functioning must be done within 72 hours of becoming aware of compromised BMP.

3. Site Map

On a blank page (or include a page from the architectural drawings that show site layout and dimensions), please draw a chart (and place this chart in Appendix B) showing the layout of the site including locations of:

1. boundaries of project/property
2. boundaries of disturbance (including areas outside of property boundaries)
3. show slopes on site
4. location of structures/facilities
5. locations of :
 - a. stockpiles for soils and materials
 - b. construction supplies
 - c. portable toilets
 - d. garbage/trash containers
 - e. egress points/track out pads
 - f. concrete washout pits or containers
6. water bodies, wetlands, natural vegetative buffers
7. placement of all BMPs, perimeter, erosion control, sediment control, inlet, etc.
8. storm water inlets and storm water discharge points (where storm water drains off the site)
9. areas that will be temporarily or permanently stabilized on the site

4. Spill Prevention and Response Plan

Describe the spill prevention and control plan to include ways to reduce the chance of spills, stop the source of spills, contain and cleanup spills, dispose of materials contaminated by spills, and train personnel responsible for spill prevention and control. Additionally, fill in all **BLUE** fields below.

Spill Plan:

All spills will be addressed promptly and disposed of in the correct manner if they occur. We will be visiting the site daily and can take inventory of what is occurring often. We will also hire honest subcontractors to do work in a professional manner.

Any discharges in 24 hours equal to or in excess of the reportable quantities listed in 40 CFR 117, 40 CFR 110, and 40 CFR 302 will be reported to the National Response Center and the Division of Water Quality (DWQ) as soon as practical after knowledge of the spill is known to the permittee. The permittee shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and measures taken and/or planned to be taken to the Division of Water Quality (DWQ), 288 North 1460 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870. The Storm Water Pollution Prevention Plan must be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the reoccurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.

Agency	Phone Number
National Response Center	(800) 424-8802
Division of Water Quality (DWQ) 24-Hr Reporting	(801) 538-6146; (801) 536-4123
Utah Department of Health Emergency Response	(801) 580-6681
Local Fire Department	(801) 745-3420

Minimum spill quantities requiring reporting:

Material	Media Released To	Reportable Quantity
Engine oil, fuel, hydraulic & brake fluid	Land	25 gallons
Paints, solvents, thinners	Land	100 lbs (13 gallons)
Engine oil, fuel, hydraulic & brake fluid	Water	Visible Sheen
Refrigerant	Air	1 lb
Antifreeze, battery acid, gasoline, engine degreasers	Air, Land, Water	100 lbs (13 gallons)

Emphasis to:

1st Priority: Protect all people (including onsite staff)

2nd Priority: Protect equipment and property

3rd Priority: Protect the environment

1. Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.
2. Check for hazards (flammable material, noxious fumes, cause of spill) – if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
3. Stop the spill source and contain flowing spills immediately with spill kits, dirt or other material that will achieve containment.
4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers
5. If spilled material has entered a storm sewer, regardless of containment; contact the City Stormwater Division.
6. Cleanup all spills (flowing or non-flowing) immediately following containment. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials AND DO NOT FLUSH AREA WITH WATER.
7. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.
8. Report the reportable quantity to the Saratoga Springs City Stormwater Division.

Emergency Numbers

Utah Hazmat Response Officer 24 hrs	(801)-538-3745
City Police Department	(801) 629-8221
City Engineering Division	(801) 399-8374

5. SWPPP, Inspections and Corrective Action Reports

Inspection Schedule and Procedures: The permit requires inspections once a week (see permit Part 3). You must list and provide details of your BMPs in Appendix L. Inspection reports require reporting on BMPs and how effective they are. You may be required to maintain, modify, remove, or apply/install more or different BMPs to control pollutants on the site. Please number your BMPs in Appendix L and refer to those numbers on your inspection reports and corrective action reports when you inspect or report on them.

Describe the general procedures for correcting problems when they are identified. Include responsible staff and time frames for making corrections:

If there is a problem occurring onsite. Please first contact Talya Matheson 801-644-2864, or Ryan Matheson 801-648-6742. Fixing the problem should occur within 72 hours of initial contact.

Corrective Actions: All corrective actions must be logged using the "Correction Action Log" attached in Appendix F. The log should be filled out completely for each corrective action.

6. Changes to the SWPPP

All changes to this SWPPP must be logged in the "Amendment Log" in Appendix G. The log should be filled out completely for each amendment to the SWPPP.

7. Record Keeping

The following items should be kept at the project site available for inspectors to review:

1. Dates of grading, construction activity, and stabilization
2. A copy of the construction general permit (Appendix C)
3. The signed and certified NOI form (Appendix D)
4. Inspection reports (Appendix E)

8. Delegation of Authority (if any)

Duly Authorized Representatives or Positions:

Company/Organization: Company of Representative.

Name: Authorized Representative Name.

Position: Representative Title.

Address: [Click here to enter text.](#)

City: [Click here to enter text.](#)

State: State Zip: Zip Code

Telephone: (XXX) XXX-XXXX

Fax/Email: (XXX) XXX-XXXX

Note: Any additional information (i.e. memoranda, agreements, etc.) should be attached in Appendix H.

9. Discharge Information

Does your project/site discharge storm water into a Municipal Separate Storm Sewer System (MS4)?

Yes No

MS4 receiving the discharge from the construction project: [Click here to enter text.](#)

Receiving Waters (look up <http://wq.deq.utah.gov> to identify your receiving water body)

Enter the name(s) of the first surface water(s) that receives stormwater directly from your site and/or from the MS4 listed above. **Note:** *multiple rows provided in the case that your site has more than one point of discharge in which each flows to different surface waters.*

1. Private Ditch
2. Secondary Water Basin
3. Gertson Bay
4. Pineview Reservoir

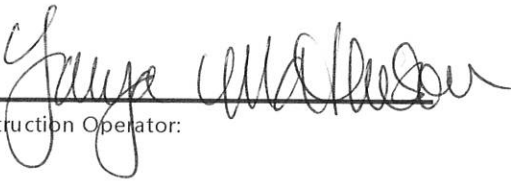
Impaired Waters (refer to <http://wq.deq.utah.gov> in the left hand column to determine status of receiving water body).

Select any impaired surface water(s) that your site will discharge to, either directly or through the MS4 selected above.

Impaired Surface Water	Is this surface water impaired?	Pollutant(s) causing the impairment	Has a TMDL been completed?	Pollutant(s) for which there is a TMDL
Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.
Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.

10. Certification and Notification

I, Talya Matheson, certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

X 
Construction Operator:

This SWPPP should be signed and certified by the construction operator(s). Attach certifications in Appendix H.

SWPPP Appendices

Ensure the following documentation is attached to the SWPPP:

Appendix A: General Location Map

Appendix B: SWPPP Site Maps

Appendix C: Construction General Permit Regulation

Appendix D: Acknowledgement Letter from Eden, UT

Appendix E: Inspection Reports

Appendix F: Corrective Action Log

Appendix G: SWPPP Amendment Log

Appendix H: Certifications, Agreements, and Delegation of Authority

Appendix I: Grading and Stabilization Activities Log

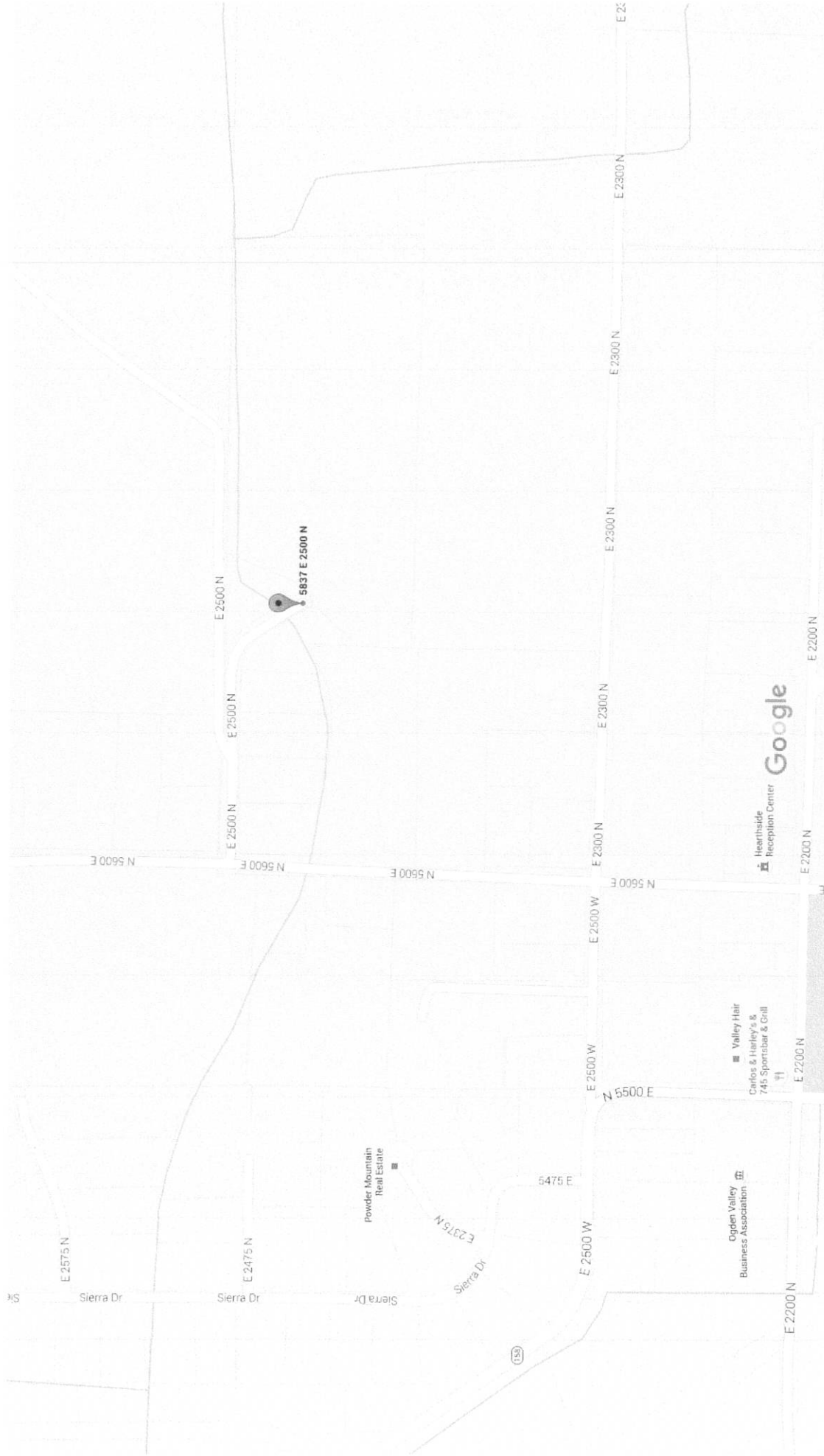
Appendix J: Construction Plans

Appendix K: Additional Information (i.e. permits such as local permits, dewatering, stream alteration, wetland, and out of date SWPPP documents, etc.)

Appendix L: BMP Specifications and Details (label BMPs to match the sections identified in this document.)

APPENDIX A: Site Map

Google Maps 5837 E 2500 N



Map data ©2016 Google 200 ft

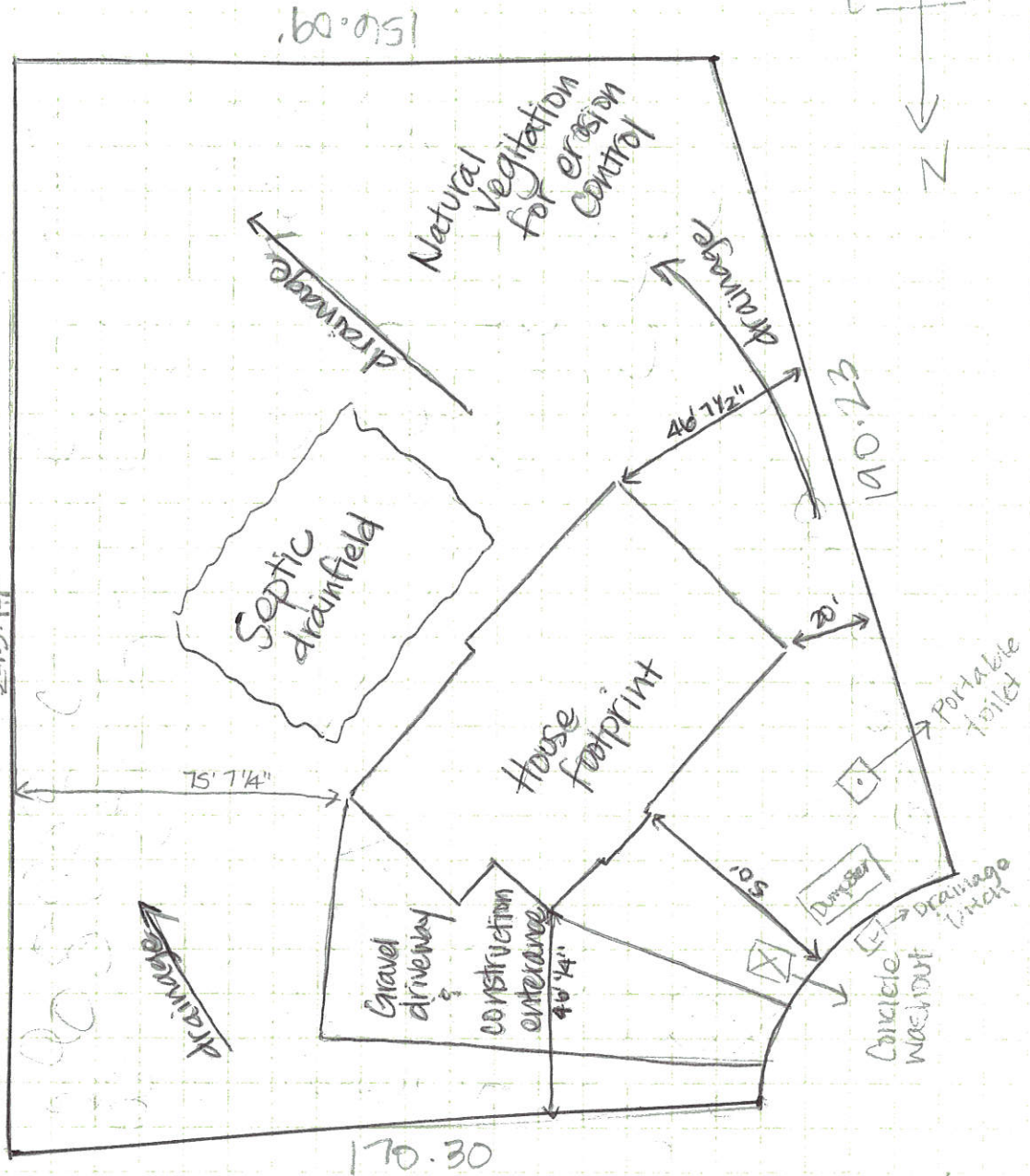
5837 E 2500 N
Eden, UT 84310

APPENDIX B: SWPPP Site Maps

Ryan & Tanja Matheson
 Sandhill Crane #4
 5831 E. 2500 N. Eden, VT



1. 1/4 acre will be disturbed
2. Ryan Matheson is responsible for all SWPPPs
3. Garbage & dust will be contained on lot and thrown away.
4. Excavated material will be left on site and utilized for back fill for at grade septic.
5. Concrete wash will be near the driveway. A small hole filled with plastic will contain washout waste & be taken off before it fills up.
6. Porta potty at front of house pan under tied down, and cleaned regularly.



7. Gravel roadbase will be placed for the driveway and will also be the construction entrance

8. Clean and sweep as necessary

9. Drainage ditch will be covered with a cloth to trap dirt but allow water

10. Rainfall filters through vegetation

11. Nothing is on property.

APPENDIX C: Construction General Permit Regulation

General Permit for Storm Water Discharges from Construction Activities
STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY,
DIVISION OF WATER QUALITY

General Storm Water Permit for Construction Activity
Connected with Single Lot Housing Projects
Utah Pollution Discharge Elimination System Permit No. UTRH00000
(Common Plan Permit)

This Permit is issued in compliance with the provisions of the Utah Water Quality Act (Utah Code Annotated 19-5, as amended) the federal Water Pollution Control Act (33 United States 1251 et. seq., as amended by the Water Quality Act of 1987, Public Law 100-4), and the rules and Regulations made pursuant to those statutes.

This permit applies to "construction activity" for a single lot disturbing a total of one acre or less and for construction activities related to residential dwellings. A single lot covered by this permit is part of a common plan of development or sale (see definitions in Part 6).

Issuance of this permit does not authorize any permittee to violate water quality standards. The permittee shall develop best management practices (BMPs) and engage in activities that will protect water quality during the construction project.

This permit shall become effective on February 1, 2016.

This permit and the authorization to discharge expire at midnight on January 31, 2021.

Signed this 20 day of January, 2016



Walter L. Baker, P.E.

Director



DWQ-2016-002081



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1. COVERAGE UNDER THIS PERMIT. Conditions for coverage under this permit.

1.1. Coverage Limitations. A project site (see definition of a project site in Part 6) is eligible for this permit if it meets the following requirements:

1.1.1. It is found within the State of Utah but is not in Indian Country,

1.1.2. The construction activity is related to residential building on an individual lot or parcel.

1.1.3. It disturbs a total of one acre or less over the duration of the construction project,

1.1.4. *Multiple site coverage:*

1.1.4.a. This permit may apply to multiple lots with the contingency that each lot be covered under a different permit tracking number (separate permit coverage for each lot). Lots do not necessarily need to be located within the same sub-division.

1.1.4.b. If multiple lot coverage is desired under one permit, it may be obtained under the General Permit for Discharges from UPDES Permit No. UTRC00000. Multiple lots may be covered under one tracking number (one permit coverage) provided that UTRC00000 is the controlling permit, and all lots covered under that tracking number are within the same sub-division.

1.2. Discharges Allowed. This permit allows discharges of storm water from construction activity at a project site, provided the storm water discharge meets the requirements within this permit.

1.3. Non-Storm Water Discharges. Other non-storm water discharges that are allowed are:

1.3.1. Flushings from potable or irrigation water sources where they have not been used for a washing or cleaning activity;

1.3.2. Water used for dust control;

1.3.3. Spring water and groundwater that have not been soiled with sediment or other pollutants from construction activity;

1.3.4. Emergency fire-fighting activities, and;

1.3.5. Footing drains that have not been soiled from construction activity.

1.4. How to Obtain Permit Coverage. The permit may be obtained online at the Utah Department of Environmental Quality (DEQ) UPDES Permits website at <http://www.waterquality.utah.gov/UPDES/stormwatercon.htm>. Click on "Application for a Storm Water Permit". Create an account, or if an account has already been created, proceed with providing the information requested. **The notice of intent (NOI) for this permit is the same NOI that is used for the UTRC00000 permit.** To complete the application process the permittee must pay a permit fee. The NOI may be filled out electronically using the online permit application system. The NOI can also be submitted using a paper form obtained from the same website cited above along with the permit fee. The paper form and fee can either be hand delivered to Utah Division of Water Quality [DWQ], 195 North 1950 West, Salt Lake City, Utah, 3rd floor in the MASOB building, or mailed to DWQ, P.O. Box 144870, Salt Lake City, Utah 84114-4870. When a party receives coverage under the permit, they will receive a permit

General Storm Water Permit for Construction Activity Connected with Single Lot Housing Projects
UPDES Permit No. UTRH00000

tracking number and the opportunity to copy the NOI for “proof of coverage.” A copy of this permit may be downloaded from the DEQ website at <http://www.deq.utah.gov/Permits/water/updes/stormwatercon.htm>.

- 1.5. Signature on the NOI. The owner and the general contractor, which in some cases could be the same party, must sign the paper copy of the NOI (see 5.16.1.a) and place it in the storm water pollution prevention plan (SWPPP) (see 4.2.8).
- 1.6. Permit Renewal. This permit must be renewed yearly on the anniversary date of the original permit application. This is done by logging onto the account created at the time of NOI application, refreshing the information on the NOI, and paying the yearly permit fee.
- 1.7. Start and end of Permit Coverage. Permit coverage begins immediately upon completion and submission of an NOI and the permit fee. If the NOI is submitted electronically on-line permit coverage begins on that day. If the NOI is submitted by mail permit coverage begins when the NOI is received and entered into the on-line data base by DWQ staff. For projects within the jurisdiction of a regulated MS4 (see definitions in Part 6; the list of regulated MS4’s is found on <http://www.deq.utah.gov/Permits/water/updes/stormwatermun.htm>), the permittee must also notify and receive approval for the project from the regulated MS4 having jurisdiction before the project may commence (see 4.2.10.). The permit fee is an annual fee that must be paid yearly on the anniversary date of permit issuance. The permit will remain effective until or unless any of the following occurs:
 - 1.7.1. The permittee completes the notice of termination (NOT) process, as outlined in section 1.8,
 - 1.7.2. The permittee fails to submit the yearly permit fee,
 - 1.7.3. Aside from permit coverage, which may be renewed annually by the permittee, as needed, this general permit expires every 5 years and normally is renewed through a public notice process by DWQ. In the event that the permit nears the end of its 5 year cycle, and the year of permit coverage for a construction site extends beyond the expiration date for the permit, the permittee must request continuing coverage through the permit renewal process. Otherwise permit coverage for a construction site will terminate when the general permit expires. Renewal of permit coverage can be done in the online electronic storm water data base up to 12 months prior to the expiration of the permit, or by letter received by DWQ before the expiration date of the specific permit coverage in question where concurrently all entries in the NOI can be updated as needed.
 - 1.7.3.a. If a renewal permit has been issued and is in place at the expiration date of this permit, this permit will terminate and coverage under the renewed permit will begin on the expiration date unless 1.7.1 has been invoked by the permittee.
 - 1.7.3.b. If a renewal permit has not been issued, this permit will be administratively extended until a renewal permit is issued or it is determined that this permit will not be continued. If a renewal permit is issued, and the permittee indicated a desire for continuing coverage under the new permit, coverage

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UPDES Permit No. UTRH00000

will continue for the permittee under the new permit coverage unless 1.7.1 is invoked. If the permit is discontinued, the permittee must continue coverage under another general permit or an individual permit.

- 1.7.4. Coverage under this permit is rescinded or revoked for administrative reasons. In this case, the permittee will be notified in writing from the Director and will be required to apply for coverage under a different general or individual UPDES permit. This permit is terminated on the day coverage under another permit begins.
- 1.8. Notice of Termination. The permittee must terminate the permit by submitting an NOT when the project is completed. The NOT must be filed and retained for 3 years after the permit has been terminated (see 3.7). To terminate the permit, the permittee must comply with either 1.8.1 or 1.8.2, outlined below, and must comply with 1.8.3 if the project is within the jurisdiction of a regulated MS4 (see <http://www.deq.utah.gov/Permits/water/updes/stormwatermun.htm> for regulated MS4s):
 - 1.8.1. The landscaping is completed and the site meets “final stabilization” requirements (see part 6, definitions, for final stabilization).
 - 1.8.2. When a project (residential building) is completed but ‘final stabilization’ is not established, the building must be in process of being sold and ready for homeowners to take possession. If built by the homeowners, they must be in the process of moving in or already have moved in the house. The lot must have perimeter controls on downslope boundaries and surface stabilization controls on all surfaces that are 20 % (1 to 5 slope, or 11.3 degrees) or greater to prevent erosion and soil migration offsite;
 - 1.8.3. The permittee must submit a paper copy of a NOT form to the MS4 of jurisdiction and schedule a final inspection (with the MS4). Termination is complete upon approval of the final inspection from the local MS4, or from DWQ if outside the jurisdiction of a regulated MS4.
- 1.9. Water Quality: Through the design of appropriate BMPs, it is expected that the permittee will achieve compliance with water-quality standards. If additional information becomes available indicating a project site is causing or is contributing to a violation of water quality standards or an existing total maximum daily load (TMDL), coverage under this permit may be revoked or rescinded, and the permittee may be required to get coverage under an individual UPDES permit or another UPDES general permit. If this occurs, the owner and the general contractor will be notified in writing by the Director and given instructions on how they must proceed.
- 1.10. Requirement to Post a Notice of Permit Coverage. The permittee must post a sign at the project site that includes the UPDES Permit tracking number, owner or general contractor contact name, a phone number for the owner or general contractor, an email address for the owner or general contractor, and in the case of an electronic SWPPP, a web address or information on how to access the electronic SWPPP. The notice must be posted with lettering large enough to be readable from a public right-of-way.

2. POLLUTION PREVENTION REQUIREMENTS

2.1. Structural Controls. Minimize sediment transport off the site as follows:

- 2.1.1. *Stockpiled Material*. Stockpiled material must not be stored on an impervious surface, except a material that will not be transported with precipitation, such as two-inch graded and washed gravel, unless it will be permanently placed and the holding area will be swept clean the same day it is dropped. If stored temporarily for more than a day, it must be placed as far as feasibly possible from roads or other impervious surfaces, storm water inlets, or water bodies, and with stockpile perimeter runoff controls utilized.
- 2.1.2. *Perimeter Controls*. Perimeter controls such as silt fences, straw wattles, other filter berms, cut back curbs, vegetative buffers, etc., must be properly placed on the downslope sides of the project to prevent sediment from leaving the site during a storm event. As perimeter controls become loaded to 1/3 of capacity, they must be cleaned.
- 2.1.3. *Inlet Protection*. Storm-drain inlets on the project site and on adjacent roads immediately down gradient from the site must be protected if they receive drainage from the active construction site. Protection may be, but is not limited to, rock wattles, sand bags, proprietary devices, or other. Rock wattles and sand bags are not advised for use in winter because they can be destroyed or removed by snow plows.

2.2. Protection of Critical or Sensitive Areas: Critical or sensitive areas such as preservation of the drip line around trees, wetlands, buffer zones by water bodies, etc., must be separated and isolated by clearly marking the areas with environmental fencing.

2.3. Managing the Site to Minimize Sediment Transport Offsite.

- 2.3.1. The total area of soil disturbance at any one time must be minimized by disturbing only the area necessary to complete that stage of construction in the construction process.
- 2.3.2. Soil disturbances on steep slopes must be minimized. For purposes of this permit a steep slope is 70% (or 1 to 1.66, or 35 degrees), or greater. This means avoiding a disturbance of soils on steep slopes or if disturbing the soil surface is necessary providing a robust surface stabilizing cover (such as geomats, environmental blankets, or other robust slope stabilizing control) to prevent erosion.
- 2.3.3. Storm water volume and velocity must be controlled to minimize soil erosion and sediment transport by methods such as allowing or not obstructing infiltration and using velocity-control devices to reduce energy in runoff flowing on slopes.
- 2.3.4. Storm water discharges leaving the site, including both peak flowrates and total storm water volume, must be controlled to minimize channel and stream-bank erosion and scour in the immediate vicinity of discharge points. This may be accomplished using experience, estimates, and good judgement; unless unusual or extraordinary site conditions present a potential for excessive erosion, hillside/impoundment collapse, environmental/safety hazards, or other site problems; for which a professional engineer must be consulted.

- 2.3.5. *Thirty-Foot Vegetative Buffer.* If a waterbody is adjacent to, within 30 feet from, or passing through the project boundaries, a 30-foot natural buffer between the waterbody and construction activity must be provided. If a 30-foot natural buffer cannot be provided, a substitute control measure equivalent to the 30-foot buffer must be provided, or the SWPPP must contain an explanation why neither is feasible. If it is not feasible to maintain a 30-foot natural buffer, as much natural buffer as is possible must be preserved and coupled with placement of additional erosion and sediment controls designed, implemented, and maintained to substitute and be equivalent to the 30-foot natural buffer.

The requirement for a natural buffer or substitute controls does not apply to any area outside of the project boundaries, but if a waterbody is within, for example, 20 feet from the project boundary, there must be 10 feet of natural vegetative buffer or substitute controls, or if within 25 feet from the project boundary, there must be 5 feet of natural vegetative buffer or substitute controls, and so forth.

- 2.3.5.a. Substitution for a natural buffer should be calculated with models such as USDA's RUSLE2 or WEPP, or by using SEDCAD, SEDIMOT, or other similar models. In lieu of using a model for calculation of a substitution buffer, the permittee shall deploy the following:

2.3.5.a.i. For every full 9 feet of natural buffer that is not provided on slopes up to 10 percent, one row of an effective perimeter control, such as a silt fence, staked straw wattle, proprietary or other filter berm, or other perimeter control, must be properly placed. For example, if only 15 feet of natural buffer can be provided, the permittee will substitute one row of a perimeter control in addition to the 15 feet of natural buffer to make up for the 15 feet of buffer that could not be preserved.

2.3.5.a.ii. In addition to the requirements above for substitutions in place of the 30-foot natural buffer, on slopes between 10 percent and 30 percent, five feet of surface stabilization must be placed down gradient of and between each perimeter control substituted. For slopes steeper than 30 percent, 6 feet of surface stabilization must be placed downgradient of and between each perimeter control substituted, such as mulch, hydromulch, wood chips, bark, compost, erosion mat, etc., but excluding tackifiers.

- 2.4. Good Housekeeping Measures. The permittee must address the following:

- 2.4.1. *Track Out.* Track-out pads (see definitions) and or rumble strips (see definitions) must be used to prevent dirt/mud tracked on streets as vehicles leave the site. If traffic onto and off the site is not frequent, a site operator may impose a blanket prohibition of vehicle traffic onto the site, allowing for the occasions to deliver and unload, but afterwards providing sweeping and/or cleaning of tracked out dirt (keep in mind that vehicles leaving a muddy site with no track out protection can track mud for several

- blocks – the operator is liable for all track out from the site except for a dirt stain after sweeping -- see note after 3.2.2.). Dirt or mud tracked out on the street must not be washed or hosed into a storm drain. Tracked out mud or dirt on the street must be swept and/or scraped up as needed every day (see 3.2.2).
- 2.4.2. *Curb Ramps*: This permit prohibits the intentional placement of dirt and/or mud on paved streets or sidewalks. Curb ramps may be crushed rock, wood or steel ramps, or another material that does not wash away with storm water.
- 2.4.3. *Waste and Debris*. The site must be cleaned of waste and debris daily (see daily self-inspection 3.2.2). Waste and debris must be contained and secured adequately to prevent scattering from wind until it is removed from the site and disposed of properly.
- 2.4.4. *Portable Toilet*. Portable toilets must be tied down, staked down, or secured using other measures to prevent turn over, and they must be placed away from a road gutter, storm water inlet, or waterbody.
- 2.4.5. *Washing of Concrete, Stucco, and Paint Equipment*. A plastic film-lined pit or sealed container must be provided for washout of equipment used for concrete, stucco, and water-based paint. After completion of concrete, stucco, and paint tasks, the permittee must dispose of the waste by drying and sending solids to a landfill. Oil-based paint cleanout must be done in containers, taken off-site, and disposed of separately.
- 2.5. Soil Compaction/Top Soil. Topsoil must be preserved and placed on areas to be landscaped or areas planned for receiving vegetative cover, unless infeasible. Soil compaction must be minimized on areas that will not be used for support of structural elements such as roads, parking areas, structures, etc., unless infeasible.
- 2.6. Stabilization Requirement. Stabilization requirements are as follows:
- 2.6.1. *Stabilization requirements for areas that receive 20 inches of rainfall annually or greater*: Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the site or have temporarily ceased on any portion of the site for greater than 14 calendar days. Stabilization can be sodding, planting, application of mulch (wood chips, rock, gravel, bark, compost, cat tracking on straw, hydromulch, etc.), application of geotextiles or erosion blankets, application of a tackifier, seeding (including preparation for germination and growth), a combination of these methods, or other method.
- 2.6.2. *Stabilization or equivalent requirements for arid and semi-arid areas (areas receiving less than 20 inches of rainfall annually)*: Stabilization for visually flat areas is not required (roughly up to 5 percent, 1 to 20 slope, or 2.3 degrees slope). Areas with slopes up to roughly 20 percent (1 to 5 slope or 11.3 degrees) must have, at minimum, velocity-control devices in every area where storm water collects and flows, spaced close enough across the flow to stop erosion (see also 2.3.3). Soil surface stabilization such as sodding, planting, hydromulch, compost, bark, cat tracking on straw, gravel,

geotextiles, erosion blankets, or other stabilization methods is required on all other sloped areas, increasing the robust nature of stabilizing cover commensurately with increasingly steeper slopes.

2.6.3. *Permanent Stabilization for Arid areas.*

2.6.3.a. In addition to requirements above (see 2.6.2), permanent stabilization requires seeding on all areas that are not covered with permanent stabilization elements or structural elements such as building structure or pavement, or that are engineered or intended for structural purposes like graveled parking or dirt roads.

2.6.3.b. Disturbed areas on projects located outside of populated and developed areas and where no irrigation water is available and where future periodic landscaping maintenance is not planned must be reclaimed with a seed mix of plants indigenous to the area or tolerant to the local climatic conditions that does not include invasive species. Velocity-control devices may be permanent or temporary. If velocity-control devices are intended for temporary use, they must be biodegradable and designed durable enough to withstand extreme weather.

2.7. Construction Dewatering. Construction dewatering can occur onsite without an additional UPDES permit if it is infiltrated or contained onsite and is not discharged offsite. Otherwise, construction dewatering discharges must be permitted under the General Permit for Construction Dewatering and Hydrostatic Testing UPDES Permit UTG070000, which can be obtained online through submittal of an NOI at <https://secure.utah.gov/waterquality>.

2.8. Pollution Prevention Measures. The permittee must design, install, implement, and maintain effective pollution prevention measures to minimize the discharge of pollutants. At a minimum, such measures must address the following:

2.8.1. *Vehicle, Wheel, and Other Washing.* Minimize the discharge of pollutants from equipment and vehicle washing, wheel-wash water, and other wash waters. Wash waters must be treated in a sediment basin or alternative control that provides equivalent or better treatment prior to discharge

2.8.2. *Exposure to Pollutants.* Minimize the exposure of building materials, building products, construction wastes, trash (see 2.4.3), landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste (see 2.4.4), and other materials present on the site to precipitation and to storm water. Minimization of exposure is not required in cases where the exposure to precipitation and to storm water will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk of storm water contamination (e.g., final products and materials intended for outdoor use).

2.8.3. *Leaks and Spills.* Minimize the discharge of pollutants from spills and leaks and implement chemical spill and leak prevention and response procedures.

2.9. Prohibited Discharges. The following discharges are prohibited:

2.9.1. Wastewater from washout or cutting of concrete (see 2.4.5),

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- 2.9.2. Wastewater from washout and cleanout of stucco, paint, form release oils, curing compounds, and other construction materials (see 2.4.5),
- 2.9.3. Fuels, oils, or other pollutants used in vehicle and equipment operation and maintenance,
- 2.9.4. Soaps or solvents used in vehicle and equipment washing.

3. SELF-INSPECTION REQUIREMENTS.

3.1. Inspector Qualifications. Weekly inspections (see 3.2.1 below) must be done by a qualified person. A qualified person means a person knowledgeable in the principles and practices of erosion and sediment control that possesses the skills to:

3.1.1. Assess conditions at the construction site that could impact storm water quality,

3.1.2. Assess the effectiveness of a storm water control measure selected to control the quality of storm water discharges from the construction activity.

3.2. Self-Inspections.

3.2.1. *Weekly Self Inspections:* Self-inspections must occur every 7 days. A written report is required (see 3.4).

3.2.2. *Daily Site Check:* Each day of construction activity, the site must be inspected for dirt in the street and trash on the site. Streets must be swept clean (see note below), if soiled. Dirt must be removed off the street (not swept or washed into the storm drain system). Trash on the site must be picked up and disposed of into trash containers (see 2.4.3.) or disposed of off-site (e.g., municipal/private garbage collection service or construction waste landfill). Sub-contractors must be held responsible by the permit holder to perform these duties in accordance with this paragraph for the activities they are contracted to perform. A written report is not required, however the operator will keep a daily log (for the active construction days) listing the initials of the person doing the site check.

Note: Swept clean means sweeping and scraping. Scraping if there is dirt left behind that is crusted and that sweeping will not pick up. This does not mean removing the microscopic layer of dust or the minute amounts of dirt in the cracks and crevices of the surface left behind staining the pavement.

3.3. Weekly Self-Inspection Requirements.

3.3.1. *Areas to check include the following:*

3.3.1.a. Areas that have been cleared, graded, or excavated that are not stabilized,

3.3.1.b. All storm water control measures, including perimeter controls,

3.3.1.c. Material piles, waste-disposal containers, sanitary facilities, loose trash, litter, washout areas, portable toilets, track out pad, egress points (if any), etc.,

3.3.1.d. Storm water conveyances through the site, treatment areas, and drainages,

3.3.1.e. All storm water discharge points, street gutters, storm water inlets,

3.3.1.f. Areas that have been temporarily stabilized,

3.3.1.g. Areas that have been permanently stabilized and are completed do not need further inspections.

3.3.2. *Items to check include the following:*

3.3.2.a. All erosion and sediment controls and other pollution prevention controls

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have been installed, are operational, and are working as intended to minimize pollutant discharges. Determine if any controls need to be replaced, repaired, or maintained.

3.3.2.b. Identify any locations where new or modified storm water controls are necessary.

3.3.2.c. Signs of visible erosion and sedimentation (i.e., sediment deposits) that have occurred and are attributable to discharges from your site,

3.4. Weekly Inspection Reports. The weekly self-inspection report must be written within 24 hours of inspection and must include:

3.4.1. The initials of the person doing the inspection,

3.4.2. The date of the inspection,

3.4.3. The weather during the inspection,

3.4.4. The problems that were found needing correction (as they pertain to 3.3.1 and 3.3.2 above),

3.4.5. The date when corrective action is completed,

3.4.6. All self-inspection reports must be filed with other permit records regarding the permit. Inspection reports must be available during an oversight inspection.

3.5. Corrective Action: Corrective action must be completed before the next weekly inspection.

3.6. Inspections by an Oversight Authority. A copy of an oversight inspection report must be filed and be available for review during other oversight inspections.

3.7. Record Keeping. Records regarding this permit, the NOI, the NOT, the SWPPP, inspection reports, other related information and documents must be preserved for 3 years after the submission of the NOT (see 5.10).

4. STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

4.1. SWPPP Requirement. The permittee must prepare a SWPPP before the NOI for the project is submitted. The SWPPP must address all the applicable requirements in Part 2.

4.1.1. *SWPPP Site Design*. The design, installation, and maintenance of erosion and sediment controls must address factors such as the amount, frequency, intensity and duration of precipitation; the nature of resulting storm water runoff; and soil characteristics, including the range of soil particle sizes expected to be present onsite. These may be accomplished using experience, estimates, and good judgement, unless unusual or extraordinary site conditions create hazards for which a professional engineer must be consulted.

4.1.2. *Surface Outlets*: When discharging from basins and impoundments, utilize outlet structures that withdraw water from the surface, unless infeasible.

4.2. Contents of a SWPPP. A SWPPP must contain the following:

4.2.1. *Contacts*. The contacts for the site with contact information (name, address, telephone, email) including owner, general contractor, and any other party that significantly affects the implementation of the SWPPP or has responsibilities over the SWPPP.

4.2.2. *Sequence and Estimated Dates of Construction Activities*. Listed in the sequence with estimated dates including the following:

4.2.2.a. Start and end of excavation activities, initial excavation, backfill excavation and final grading,

4.2.2.b. Any temporary or permanent cessation of earth-disturbing activities,

4.2.2.c. Start and end of landscaping if this is done as part of the construction activity before the home is sold.

4.2.3. *Site Map or Chart*. A site map may be hand drawn (as close to scale as possible) or may be a copy of an architect drawing including the following information:

4.2.3.a. Boundaries of the property,

4.2.3.b. Boundaries of soil surface disturbances, including any outside the boundaries of the property,

4.2.3.c. Slopes, including areas of steep slopes,

4.2.3.d. Locations of stockpiles of soils, storage of construction materials, portable toilets, trash containers, concrete washout pits or containers, egress points, and track out pads,

4.2.3.e. Waterbodies, wetlands, and natural buffer areas,

4.2.3.f. Locations and types of BMPs or storm water control measures for the control and/or treatment of storm water flowing onto, through, and/or offsite,

4.2.3.g. Locations of storm water inlets, storm water discharge points going off site,

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- 4.2.3.h. Areas that will be temporarily or permanently stabilized during the construction period.
- 4.2.4. *Thirty-Foot Natural Buffer.* The SWPPP must show the dimensions and placement of the 30-foot natural buffer, the substitute control measures, or a detailed explanation of why a natural buffer or substitute control measure could not be applied.
- 4.2.5. *Pollutants.* A list of construction site pollutants including the pollutant-generating activity, and an inventory of pollutants for each pollutant generating activity (e.g., paints, solvents, form oil, fuels, and other chemicals; applications, materials, and liquids that if released could pollute storm water).
- 4.2.6. *Waste Management.* Waste management procedures including soil removal, clearing debris removal, demolition removal, trash disposal, construction-waste disposal, and sanitary-waste disposal.
- 4.2.7. *Training.* The permittee will ensure that each subcontractor or utility provider is aware of their responsibilities for keeping soil on the site and preventing pollution. The permittee must keep in mind that they are responsible for and may be issued fines for poor performances by their subcontractors and utility providers. Consideration will be given if the permittee can document when and what instructions were given to the subordinate party.
- 4.2.8. *NOI and Permit.* The SWPPP must contain a copy of this permit and a copy of the NOI for the project.
- 4.2.9. *SWPPP Signature and Certification.* The SWPPP must be signed and certified by both the Owner and the General Contractor in accordance with 5.16.1.a.
- 4.2.10. *MS4 Approval of Project.* For areas where projects are within a regulated MS4's jurisdiction (see definitions in Part 6; the list of regulated MS4's is found on <http://www.deq.utah.gov/Permits/water/updes/stormwatermun.htm>), the SWPPP must contain the signature and date of the MS4 reviewer who has approved the proposed project for construction (see 1.7.).
- 4.2.11. *Availability of the SWPPP.* The SWPPP must be available at the construction site covered under this permit during onsite construction activity, unless the SWPPP is available online. If the SWPPP is available online there must be a sign (see 1.10) that describes where the SWPPP can be accessed online. The SWPPP is a plan for the site, and workers must be able to refer to the SWPPP and update it as needed to manage the site (including SWPPPs found on the internet). The SWPPP is not required to be on the site when construction workers leave for the day or when there is no activity occurring on the site, but at all times there must be posted contact information where the SWPPP can be obtained (see Part 1.10). The SWPPP must be made available within 24 hours to DWQ representatives or other oversight inspectors, e.g., U.S. Environmental Protection Agency [EPA] or a local MS4, on request, or immediately during an inspection on the site when there are workers and activity at the site.

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- 4.2.12. *Required Modifications of the SWPPP.* The SWPPP must be modified as follows:
- 4.2.12.a. During inspections when it is determined from observations of site conditions that storm water control measures are:
 - 4.2.12.a.i. Not adequate or not shown in the SWPPP, or
 - 4.2.12.a.ii. Changes in the SWPPP are necessary for compliance with this permit.
 - 4.2.12.b. When an oversight authority determines that the SWPPP is not adequate based on missing a required SWPPP or permit item, not addressing pollutants properly, not being up to date and reflecting current site conditions, or not being clear, thorough, and understandable.
- 4.2.13. *SWPPP Modifications Deadline.* Modifications to the SWPPP from inspections or oversight authority direction must occur before or during the next weekly inspection.

5. STANDARD PERMIT CONDITIONS.

5.1. Duty to Comply.

5.1.1. The permittee must comply with all conditions of this permit. Any permit noncompliance constitutes a violation of the Utah Water Quality Act (the Act) and is grounds for enforcement action; for permit termination, revocation and reissuance, or modification; or for denial of a permit renewal application.

5.1.2. *Penalties for Violations of Permit Conditions*

5.1.2.a. *Violations.* The Act provides that any person who violates the Act, Utah wastewater or storm water rules, or conditions of a permit issued under the Act, is subject to a fine of \$10,000 per day.

5.1.2.b. *Willful or Gross Negligence.* The Act provides that any person who discharges a pollutant to waters of the State as a result of criminal negligence or who intentionally discharges is criminally liable and is subject to imprisonment and a fine of up to \$50,000 per day (Utah Code Annotated 19-5-115).

5.1.2.c. *False Statements.* The Act provides that any person who knowingly makes any false material statement, representation, or certification in any application, record, report, plan, or other document filed or required to be maintained under the Act, the rules, or this permit, or who knowingly falsifies, tampers with, or renders inaccurate, any monitoring device or method required to be maintained under the Act shall upon conviction, be punished by a fine of not more than \$10,000 or by imprisonment for 6 months, or by both (Utah Code Annotated 19-5-115(4)).

5.2. Duty to Reapply. If a permittee wishes to continue an activity regulated by this permit after the expiration date of this permit, the permittee must apply for and obtain a new permit except as provided in 1.6 and 1.7 of this permit.

5.3. Need to Halt or Reduce Activity not a Defense. It shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the permitted activity in order to maintain compliance with the conditions of this permit.

5.4. Duty to Mitigate. The permittee shall take all reasonable steps to minimize or prevent any discharge in violation of this permit that has a reasonable likelihood of adversely affecting human health or the environment.

5.5. Duty to Provide Information. The permittee shall furnish to the Director or an authorized representative, within a reasonable time, any information that is requested to determine compliance with this permit. The permittee must also furnish to the Director or an authorized representative copies of records to be kept by this permit.

5.6. Other Information. When the permittee becomes aware that he or she failed to submit any relevant facts or submitted incorrect information in the NOI or in any other report to the Director, he or she shall promptly submit such facts or information.

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- 5.7. Oil and Hazardous Substance Liability. Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is or may be subject under the Act.
- 5.8. Property Rights. The issuance of this permit does not convey any property rights of any sort, nor any exclusive privileges, nor does it authorize any injury to private property nor any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations.
- 5.9. Severability. The provisions of this permit are severable, and if any provision of this permit, or the application of any provision of this permit to any circumstance, is held invalid, the application of such provision to other circumstances, and the remainder of this permit shall not be affected thereby.
- 5.10. Record Retention. The permittee shall retain copies of SWPPPs and all reports required by this permit, and records of all data used to complete the NOI to be covered by this permit, for a period of at least three years from the date that the permit for the site is terminated (see 3.7). This period may be extended by request of the Director at any time.
- 5.11. Addresses. All written correspondence under this permit shall be directed to the DWQ at the following address:
- Department of Environmental Quality
Division of Water Quality
195 North 1950 West
P.O. Box 144870
Salt Lake City, Utah 84114-4870
- 5.12. State Laws. Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable State law or regulation under authority preserved by Utah Code Annotated 19-5-117.
- 5.12.1. No condition of this permit shall release the permittee from any responsibility or requirements under other environmental statutes or regulations.
- 5.13. Proper Operation and Maintenance. The permittee shall at all times properly operate and maintain all facilities and systems of treatment and control and related appurtenances which are installed or used by the permittee to achieve compliance with the conditions of this permit and with the requirements of SWPPPs. Proper operation and maintenance also includes adequate laboratory controls and appropriate quality assurance procedures. Proper operation and maintenance requires the operation of backup or auxiliary facilities or similar systems, installed by a permittee only when necessary to achieve compliance with the condition of the permit.
- 5.14. Inspection and Entry. The permittee shall allow, upon presentation of credentials, the Director or an authorized representative to:
- 5.14.1. Enter upon the permittee's premises where a regulated facility or activity is located or conducted or where records must be kept under the conditions of this permit;

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- 5.14.2. Have access to and copy at reasonable times, any records that must be kept under the conditions of this permit.
- 5.14.3. Inspect at reasonable times any facilities, equipment (including monitoring and control equipment), practices or operations regulated or required under this permit; and
- 5.14.4. Sample or monitor at reasonable times for the purposes of assuring permit compliance or as otherwise authorized by law, any substances or parameters at any location.

5.15. Reopener Clause.

- 5.15.1. *Reopener Due to Water Quality Impacts.* If there is evidence indicating that the storm water discharges authorized by this permit cause, have the reasonable potential to cause, or contribute to a violation of a water-quality standard, the discharger may be required to obtain an individual permit or an alternative general permit in accordance with 1.7.4 of this permit or the permit may be modified to include different limitations and/or requirements.
- 5.15.2. *Reopener Guidelines.* Permit modification or revocation will be conducted according to Utah Administrative Code R317-8-5.6 and UAC R317-8-6.2.
- 5.15.3. *Permit Actions.* This permit may be modified, revoked and reissued, or terminated for cause. The filing of a request by the permittee for a permit modification revocation and reissuance, termination, a modification of planned changes or anticipated noncompliance does not stay any permit condition.

5.16. Signatory Requirements.

- 5.16.1. All NOIs, SWPPPs, reports, certifications or information submitted to the Director, or that this permit requires be maintained by the permittee, shall be signed as follows:
 - 5.16.1.a. All NOIs and SWPPPs shall be signed by both the owner or lessee of the project/property and the general contractor.
 - 5.16.1.b. All reports required by the permit and other information requested by the Director or by an authorized representative of the Director shall be signed by a person described above or by a duly authorized representative of that person. A person is a duly authorized representative only if:
 - 5.16.1.b.i. The authorization is made in writing by a person described above and submitted to the Director; and
 - 5.16.1.b.ii. The authorization specifies either an individual or a position having such as the position of manager, operator, superintendent, or position of equivalent responsibility or an individual or position having overall responsibility for environmental matters for the company. A duly authorized representative may therefore be either a named individual or any individual occupying a named position.
 - 5.16.1.c. *Certification.* Any person signing documents under 5.16 shall make the following certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information including the possibility of fine and imprisonment for knowing violations.

- 5.16.2. If a document is to be signed electronically, the Division's rules regarding electronic transactions govern, if applicable.

6. DEFINITIONS

Arid Areas: Areas with an average annual rainfall of 10 inches or less.

Common Plan of Development (or sale): A plan to subdivide a parcel of land into separate parts for separate sale. This can be for a residential, commercial, or industrial development. The plan originates as a single parcel that is separated into parts. This usually goes through an approval process by a local governmental unit, but in some cases, it may not require that process. The original plan is considered the “common plan of development or sale” whether phased or completed in steps.

Additional information related to *Common Plan of Development for Permit Purposes:*

For UPDES storm water permit purposes, a common plan must have been initiated after October, 1992. A common plan of development or sale remains so until each lot or section of the development has fulfilled its planned purposes (e.g. in a residential development as homes are completed, stabilized, and sold or occupied). As lots or separated sections of the development are completed, the lot or section is stabilized, and the plan purposes are fulfilled for that area, lot, or section, it is no longer part of the common plan of development or sale (e.g. if a home is sold in a development and the owner decides to add a garage somewhere on the lot, that garage project is not part of the common plan of development or sale.

In this process a common plan of development or sale may become reduced in size and/or separated by completed areas which are no longer part of the common plan of development or sale, but all unfinished lots remain part of the same common plan development or sale until they are completed, stabilized, and fulfilled according to the purposes of the plan.

Construction Activity: Earth-disturbing activities, such as the clearing, grading, and excavation of land.

Construction Waste: Discarded material such as packaging materials, scrap construction materials, masonry products, timber, steel, pipe, and electrical cuttings, plastics, and Styrofoam.

Corrective Action: For the purposes of the permit, any action taken to 1) repair, modify, or replace any storm water control used at the site; 2) clean up and dispose of spills, releases, or other deposits found on the site; and 3) remedy a permit violation.

Dewatering: The act of draining rainwater and/or groundwater from building foundations, vaults, and trenches (Note: if dewatering is occurring on a construction site and it causes a discharge to waters of the State, it must be permitted separately under the General Permit for Construction Dewatering and Hydrostatic Testing , UPDES Permit UTG070000).

Director: The director of the Division of Water Quality.

Discharge Point: For the purposes of this permit, the location where collected and concentrated storm water flows are discharged from the construction site.

Final Stabilization: All disturbed areas must be covered by permanent structures such as pavement, concrete slab, building, etc., or for areas not covered by permanent structures but that are receiving 20 inches or more of average annual precipitation, vegetation has been established with a uniform (e.g.,

APPENDIX D: Acknowledgement Letter from ~~City~~ Name Here. *Eden, UT*

STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF WATER QUALITY
195 North 1950 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870 (801) 536-4300

NOI

Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under the UPDES General Permit No. UTR375687
SEE REVERSE FOR INSTRUCTIONS

Submission of this Notice of Intent constitutes notice that the party(s) identified in Section I of this form intends to be authorized by UPDES General Permit No. UTR375687 issued for storm water discharges associated with construction activity in the State of Utah. Becoming a permittee obligates such discharger to comply with the terms and conditions of the permit. ALL NECESSARY INFORMATION MUST BE PROVIDED ON THIS FORM.

Is this NOI seeking continuation for previously expired permit coverage at the same site? Y N
If yes, what is the number of the previous permit coverage? Permit No.

Permit Start Date 06/17/2016 Permit Expiration Date: 06/17/2017

I. OPERATOR INFORMATION

Name (Owner): Ryan and Talya Matheson Phone: 801-644-2864
Address: PO Box 12892 Status of Owner/Operator: PRIVATE
City: OGDEN State: UT Zip: 84412
Contact Person: Talya Matheson Phone: 801-644-2864

Name (Operator): Phone:
Address: Status of Owner/Operator:
City: State: UT Zip:
Contact Person: Phone:

II. FACILITY SITE / LOCATION INFORMATION

Name: Matheson Residence
Project No. (if any):
Address: 5837 E 2500 N County: WEBER
City: EDEN State: UT Zip: 84310
Latitude: 41.3034555 Longitude: -111.8093661
Method (check one): USGS Topo Map, Scale EPA Web site GPS Other

Is the facility located in Indian Country?

Y N

III. SITE INFORMATION

Municipal Separate Storm Sewer System (MS4) Operator Name: NA
Receiving Water Body: Ground Water guess this is known this is a guess
Estimate of distance to the nearest water body? 150 ft. miles.
Is the receiving water an impaired or high quality water body (see <http://wq.deq.utah.gov/>)? Yes No
List the Number of any other UPDES permits at the site:

IV. TYPE OF CONSTRUCTION (Check all that apply)

1. Residential 2. Commercial 3. Industrial 4. Road 5. Bridge 6. Utility
7. Contouring, Landscaping 8. Pipeline 9. Other (Please list)

INSTRUCTIONS

Notice Of Intent (NOI) For Permit Coverage Under the UPDES General Permit For Storm Water Discharges From Construction Activities

Who Must File A Notice Of Intent (NOI) Form State law at UAC R317-8-3.9 prohibits point source discharges of storm water from construction activities to a water body(ies) of the State without a Utah Pollutant Discharge Elimination System (UPDES) permit. The operator of a construction activity that has such a storm water discharge must submit a NOI to obtain coverage under the UPDES Storm Water General Permit. If you have questions about whether you need a permit under the UPDES Storm Water program, or if you need information as to whether a particular program is administered by EPA or a state agency, contact the storm water coordinator at (801) 536-4300.

Where To File NOI Form The preferred method of submitting an NOI to apply for the construction general storm water permit (CGP) is electronically on-line at <http://www.waterquality.utah.gov/UPDES/stormwatercon.htm>. The fee can be submitted on line also. If on-line is not an option for you send a paper form of the NOI to the following address:

Department of Environmental Quality
Division of Water Quality
P.O. Box 144870
Salt Lake City, UT 84114-4870

Beginning of Coverage CGP coverages are issued immediately after submitting an NOI with the permit fee. The permittee should be aware that though you may not have a permit in hand, if you have submitted a completed NOI with the permit fee you are covered by the conditions in the permit and will be expected to comply with permit conditions. You can print a copy of the CGP from the DWQ web site.

Permit Fees. The permit fee is \$150.00 per year. The fee is paid by Visa/Master Card on-line when an NOI is filed (by check if submitted with a paper NOI). If the project continues for more than one year the fee must be submitted again in a renewal process on-line. CGP coverage will not be issued until the fee is paid.

Length of Coverage: CGP coverage starts the day that the NOI and fee is received at DWQ and expires a year from issuance. All CGP coverages must be renewed within 60-days after the yearly expiration date, or be terminated with a notice of termination (NOT) before the expiration date. To terminate the permit the site must meet the permit conditions for final stabilization (see permit definitions), or must continue under a different permit holder. In most cases the DWQ or municipality of jurisdiction will perform a final inspection when a CGP coverage submits a NOT. If the site passes the final inspection the permit is terminated.

The Storm Water General Permit for Construction Activities UTRC00000 will expire on May 30, 2019. The Clean Water Act requires that all UPDES permits be renewed every 5 years. If a project extends beyond the expiration date of the Permit it must continue coverage under the renewed permit that will subsequently be developed to continue the same or similar permit coverage for construction activity.

SECTION I - FACILITY OPERATOR INFORMATION Supply the legal name(s) of the person(s), firm(s), public organization(s), or any other entity(ies) that qualifies as the owner of the project (see permit definitions). Do the same for the operator (most commonly the general contractor) that conducts the construction operation at the facility or site to be permitted. The owner and the general contractor of the project may be the same.

Enter the complete address and telephone number of the owner and operator and a contact person and number for each. Enter the appropriate letter to indicate the legal status of the operator of the facility.

F = Federal M = Public (other than Fed or State) S = State P = Private

SECTION II - FACILITY/SITE LOCATION INFORMATION Enter the facility name or legal name and project number (if any) of the site and complete street address, including city, state and ZIP code. The latitude and longitude of the facility must be included to the approximate centroid of the site, and the method of how the Lat/Long was obtained (USGS maps, GPS, Internet Map sites [such as Google Earth], or other).

Indicate whether the facility is located in Indian Country. If the facility is located in Indian Country, do not complete this NOI, instead submit an application for coverage under a storm water permit to EPA Region VIII except for facilities on the Navajo Reservation or on the Goshute Reservation which should submit an application to EPA Region IX.

SECTION III - SITE ACTIVITY INFORMATION If the storm water discharges to a municipal separate storm sewer system (MS4), enter the name of the operator of the MS4 (e.g., the name of the City or County of jurisdiction) and the receiving water of the discharge from the MS4 if it is known (if it is not known please estimate or guess and indicate so). (An MS4 is defined as a conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels, or storm drains) that is owned or operated by a state, city, town, county, district, association or other public body which is designed or used for collecting or conveying storm water).

For Impaired Waters: Go to <http://wq.deq.utah.gov> and identify the water body that will receive the storm water discharge from the permitted site, on the map provided at the web site (zoom in for easier resolution). On the left hand side of the page you will see "2010 Assessment" or "2013 Assessment" depending on the year you refer to the web site (the assessment is done every 3 years). The **20XX Assessment** the will indicate if the water is impaired. If there is nothing after **20XX Assessment** or the narrative after does not include the word "impaired", your receiving water is not impaired.

For High Quality Waters: On the web page referred to in the paragraph above on the left hand side of the page you will see "Anti-Degradation Category". Under **Anti-Degradation Category** you will see the category of the water body. Only categories 1 and 2 are high quality water bodies. Some waters may be both categories 1 and 3. If your water body is both category 1 and 3 it means the headwaters of your water body is within Forest Service boundaries, and because it is within Forest Service boundaries it is category 1. If your project is within Forest Service boundaries then your water body is category 1 and it is "high quality". If your project is not within Forest Service boundaries then your water body is category 3 and is not "high quality". Again, category 1 waters are high quality waters, category 3 waters are not high quality waters.

SECTION IV - TYPE OF CONSTRUCTION Check each type of construction that applies to this application.

SECTION V - BEST MANAGEMENT PRACTICES Check each type of best management practice that will be used to control storm water runoff at the job site.

SECTION VI – GOOD HOUSEKEEPING PRACTICES Check each type of good housekeeping practice that you will use on the site any time during construction activities.

SECTION VII – ADDITIONAL Provide an estimate of the total number of acres of the site on which soil will be disturbed (to the nearest hundredth of an acre). An email address is required of the best contact associated with the project for the communication needs.

SECTION VIII – CERTIFICATION State statutes provide for severe penalties for submitting false information on this application form. State regulations require this application to be signed as follows:

For a corporation: by a responsible corporate officer, which means: (i) president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision making functions, or (ii) the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures;

For a partnership or sole proprietorship: by a general partner or the proprietor; or

For a municipality, state, Federal, or other public facility: by either a principal executive officer or ranking elected official.

POLLUTION PREVENTION PLAN A storm water pollution prevention plan (SWP3) is required to be in hand before the NOI can be submitted. It is important to know SWP3 requirements (contained in the permit) even during the design portion of the project. A copy of the permit can be obtained from the Division of Water Quality's storm water construction web site. Guidance material for developing a SWP3 can be obtained from the Division of Water Quality's storm water construction web site.

V. BEST MANAGEMENT PRACTICES

Identify proposed Best Management Practices (BMPs) to reduce pollutants in storm water discharges (Check all that apply):

- 1. Silt Fence/Straw Wattle/Perimeter Controls
- 2. Sediment Pond
- 3. Seeding/Preservation of Vegetation
- 4. Mulching/Geotextiles
- 5. Check Dams
- 6. Structural Controls (Berms, Ditches, etc.)
- 7. Other (Please list)

VI. GOOD HOUSEKEEPING PRACTICES

Identify proposed Good Housekeeping Practices to reduce pollutants in storm water discharges (Check all that apply even if they apply only during a part of the construction time):

- 1. Sanitary/Portable Toilet
- 2. Washout Areas
- 3. Construction Chemicals/Building Supplies Storage Area
- 4. Garbage/Waste Disposal
- 5. Non-Storm Water
- 6. Track Out Controls
- 7. Spill Control Measures

VII. ADDITIONAL

Estimated Area to be Disturbed (in Acres): 1.00

Total Area of Plot (in Acres): 1.00

A storm water pollution prevention plan has been prepared for this site and is to the best of my knowledge in Compliance with State and/or Local Sediment and Erosion Plans and Requirements. Y N
(A pollution prevention plan is required to be on hand before submittal of the NOI.)

Enter the best e-mail address to contact the permittee: ryantalya@hotmail.com

VIII. CERTIFICATION: I certify under penalty of law that I have read and understand the Part 1 eligibility requirements for coverage under the general permit for storm water discharges from construction activities. I further certify that to the best of my knowledge, all discharges and BMPs that have been scheduled and detailed in a storm water pollution prevention plan will satisfy requirements of this permit. I understand that continued coverage under this storm water general permit is contingent upon maintaining eligibility as provided for in Part 1.

I also certify under penalty of law that this document and all attachments were prepared under the direction or supervision of those who have placed their signature(s) below, in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print Name (Owner): Talya Matheson

Date: 6/17/14

Ryan and Talya Matheson

Signature:

Talya Matheson

Print Name (Operator):

Date:

Signature:

Amount of Permit Fee Enclosed: \$ 150.00

paid

Stormwater Pollution Prevention Plan Template (SWPPP)
Common Plan Permit

APPENDIX E: Inspection Reports

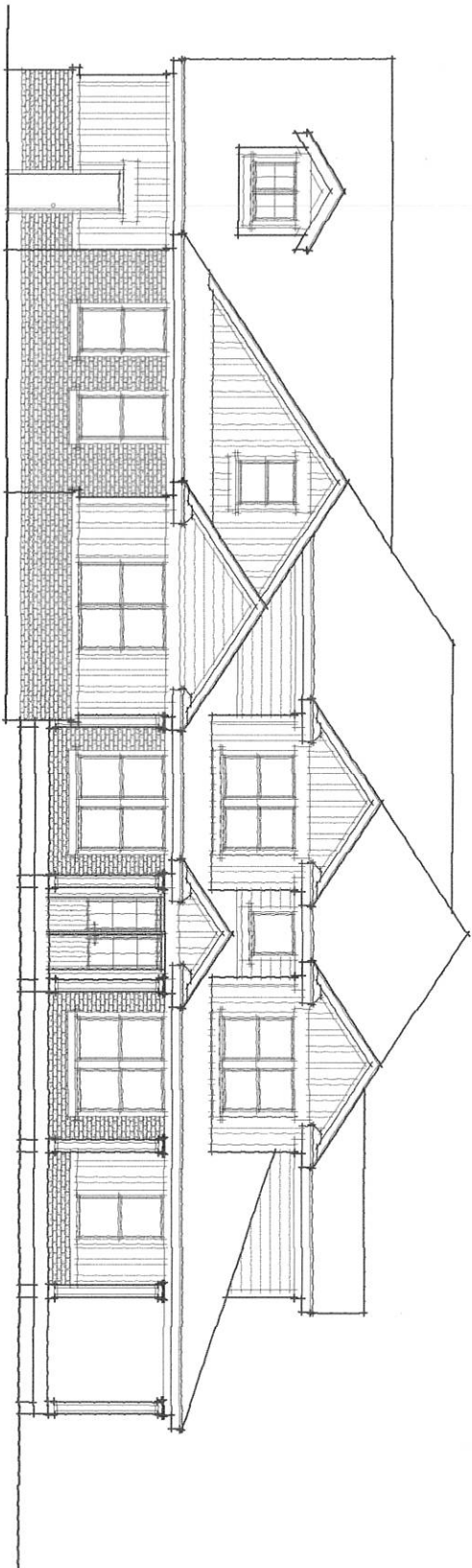
INSPECTION REPORT				SITE NAME: John Doe Project	
INSPECTION PERIOD: 2012.03.01-2012.03.07				LAST RAIN EVENT: 2012.03.01	
INSPECTOR: jd				CURRENT WEATHER: clear	
BMP	DATE	OK/NOT OK?	BMP CONDITION	CORRECTIVE ACTION REQUIREMENTS	
Are all pollution sources controlled? Do any other problems exist?	3/7/2012	OK	no	All pollution sources are controlled. No new BMPs are necessary.	
4.7.2 LOT Curb/dam	3/7/2012	OK	In place		
4.7.1 Silt Fencing	3/7/2012	not OK	Silt fence at south boundary was buried by excavator.	Informed xyz excavating by phone this must be repaired including the sediment washed onto the adjacent lot, no later than two days or before the next storm event which ever comes first. Sediment had washed onto the south property	
4.9.1 Drop Inlet Rags	3/7/2012	OK	Only about 4" of sediment		
4.9.2 Gutter Dam	3/7/2012	OK	Gutter dams are tight to the curb and free of sediment	Gutter dams were clean March 3rd in anticipation of the forecast storm on March 4th. The dams were also cleared on the 5th following the storm.	
4.10.1 Dust Controls	3/7/2012	OK	Water and hose are ready. No wind today.	Wind did blow the morning of March 3rd before the storm. City warned my excavator. The excavator began watering as he was loading.	
5.1.2 Gravel Parking	3/7/2012	na	not scheduled per SWPPP	The gravel pad area is covered with excavation from the footing and foundation.	
5.1.3 Tpost and Tape	3/7/2012	OK	fence post and tape in place.	Excavation ceased during the March 4th storm. Excavator needed to access at a point not shown on SWPPP. Ground was dry and hard, so tape was put back.	
5.1.4 Sq Nose Shovel and Broom	3/7/2012	OK	Minor tracking today	Minor tracking occurred on March 5th. The excavator's laborer cleaned the road with a hand broom and shovel in the middle of the day and at the end.	
5.2.1 Dumpster	3/7/2012	na	not scheduled per SWPPP	Subs have been told to carry out any trash.	
5.2.3 Portable Toilet	3/7/2012	OK	In place		
5.2.5 Concrete Washout	3/7/2012	OK	In place. About 75% full.		
5.3.1 Material Storage	3/7/2012	OK	No materials being stored		
5.3.3 Construction Staging	3/7/2012	not OK	not scheduled per SWPPP		
5.3.4 Soil Waste Limits	3/7/2012	not OK	see 2.5	see 2.5	
5.5 Spill Kit	3/7/2012	OK	In place		
5.8.1 Erosion Swale	3/7/2012		not scheduled per SWPPP		

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name: John Doe
 Signature: [Signature]
 Title: Owner
 Date: 2012-03-07

APPENDIX H: Certifications, Agreements, and Delegation of Authority

APPENDIX J: Construction Plans



MATHESON RESIDENCE

AN RML DESIGN PROJECT

GENERAL NOTES

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE CONSTRUCTION METHODS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

PROFESSIONALS



DESIGNER
RML DESIGN
RANDALL M. LEWIS
1433 S. LEGEND HILLS DR. #209
CLEARFIELD, UTAH 84015
801-711-3727

OWNER
RYAN & TALYA MATHESON

ADDRESS
LOT # 4
SANDHILL CRANE CLUSTER
BENJ. UTAH

SQUARE FOOTAGE

UPPER LEVEL	1620 SQ. FT.
MAIN LEVEL	2188 SQ. FT.
TOTAL	3808 SQ. FT.

CRUISE SPACE 2079 SQ. FT.
BONUS ROOM 878 SQ. FT.
GARAGE 1419 SQ. FT.

BUILDING INFORMATION

DRAWING INDEX

- A01 COVER SHEET
- A02 GENERAL NOTES
- A03 GENERAL NOTES
- A04 SITE
- A05 ELEVATIONS
- A06 ELEVATIONS
- A07 ELEVATIONS
- A08 ELEVATIONS
- A09 BASEMENT FLOOR PLAN
- A10 MAIN FLOOR PLAN
- A11 UPPER FLOOR PLAN
- A12 HOUSE SECT. DETAILS
- A13 SECTIONS & DETAILS
- A14 SECTIONS & DETAILS
- A15 MAIN FLOOR FOUNDATION PLAN
- A16 UPPER FLOOR FOUNDATION PLAN
- A17 ROOF FLOOR PLAN
- A18 STRUCTURAL DETAILS
- A19 STRUCTURAL DETAILS
- A20 STRUCTURAL DETAILS

LIGHT AND VENTILATION NOTES

- 1. ALL LIGHTING IS TO BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...
5. THE CONTRACTOR SHALL PROVIDE...

GLASS & GLAZING NOTES

- 1. ALL GLASS SHALL BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

A
GENERAL NOTES
SCALE: N/A

FOUNDATION DRAINAGE NOTES

- 1. FOUNDATION DRAINAGE SHALL BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

PLUMBING NOTES

- 1. ALL PLUMBING SHALL BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

PLUMBING NOTES CONT.

- 1. THE CONTRACTOR SHALL PROVIDE...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

ELECTRICAL NOTES

- 1. ALL ELECTRICAL SHALL BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

ELECTRICAL NOTES CONT.

- 1. THE CONTRACTOR SHALL PROVIDE...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

MECHANICAL NOTES

- 1. ALL MECHANICAL SHALL BE PROVIDED BY THE CONTRACTOR...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

ELECTRICAL NOTES CONT.

- 1. THE CONTRACTOR SHALL PROVIDE...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

MECHANICAL NOTES CONT.

- 1. THE CONTRACTOR SHALL PROVIDE...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

MECHANICAL NOTES CONT.

- 1. THE CONTRACTOR SHALL PROVIDE...
2. THE CONTRACTOR SHALL PROVIDE...
3. THE CONTRACTOR SHALL PROVIDE...
4. THE CONTRACTOR SHALL PROVIDE...

DESIGN
1413 S LEGION BLVD, SUITE 200
CLEVELAND, OHIO 44115
951.217.3727

PROJECT NAME:
MATHESON RESIDENCE
LOCATION INFO:
SILVERSPRING, SANDHILL CRANE CLUSTER, CITY, EDEN UTAH
CLIENT NAME:
RYAN & TALYA MATHESON
PLAN NAME:
CUSTOM
ORIGINAL RELEASE:
MAY 27, 2016
REVISION DATES:
XXXX/XXXX
XXXX/XXXX
XXXX/XXXX
XXXX/XXXX

GENERAL NOTES
A02
PAGE 2 OF 25

EXCAVATION EDUCATION NOTES

1. EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
2. ALL EXCAVATION SHALL BE PROTECTED BY SHIELDING, SHIELDING SHALL BE MAINTAINED AT ALL TIMES.
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4. ALL EXCAVATION SHALL BE PROTECTED BY SHIELDING, SHIELDING SHALL BE MAINTAINED AT ALL TIMES.
5. ALL EXCAVATION SHALL BE PROTECTED BY SHIELDING, SHIELDING SHALL BE MAINTAINED AT ALL TIMES.

FLASHING NOTES

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FORMS & EXITS NOTES

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OCCUPANCY SEPARATION NOTES

1. ALL OCCUPANCY SEPARATION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
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CRAMM SPACES

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FIRE SAFETY NOTES

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INSULATION NOTES

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EXTENSION FINISH NOTES

1. ALL EXTENSION FINISH SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
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3. ALL EXTENSION FINISH SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
4. ALL EXTENSION FINISH SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
5. ALL EXTENSION FINISH SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).

BATHROOM NOTES

1. ALL BATHROOM NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
2. ALL BATHROOM NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
3. ALL BATHROOM NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
4. ALL BATHROOM NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
5. ALL BATHROOM NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).

WINDOW NOTES

1. ALL WINDOW NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
2. ALL WINDOW NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
3. ALL WINDOW NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
4. ALL WINDOW NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).
5. ALL WINDOW NOTES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OSHA REGULATIONS (29 CFR 1926.650-652).

DESIGN

1483 S LEGGEND HILLS DR #202
 601.271.2727

ATTENTION

ALL RIGHTS RESERVED
 MATHESON
 RESIDENCE
 LOCATION INFO:
 LOT #
 4
 SUPERSON
 SANDY CRANE
 SANDY CRANE
 CITY
 EDEN
 STATE
 UTAH
 CLIENT NAME:
 RYAN & TALYA
 MATHESON
 PLAN NAME:
 CUSTOM
 ORIGINAL RELEASE:
 JAN 27, 2016
 REVISION DATES
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX

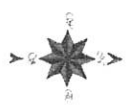
NOTE:
 LOT SHALL BE GRASSED TO DRAIN SURFACE WATER AWAY FROM CONCRETE WALLS. THE GRADE MAY VARY WITHIN THE FIRST 10 FEET (3M).

NOTE:
 DIRT AND GRAVEL SHALL BE CONTROLLED BY MATTERS BEING NECESSARY AND THE ROADWAY SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES.

NOTE:
 DRAINAGE SHALL REPLACE ANY EXISTING DRAINAGE. THE CONTRACTOR SHALL PROVIDE THAT A PROTECTIVE WALL SHALL BE INSTALLED TO PROTECT THE EXISTING DRAINAGE FROM THE CONSTRUCTION OF THE FOUNDATION ON THE GRADE.

NOTE:
 ALL STORM WATER AND DIRT SHALL BE KEPT ON SITE DURING CONSTRUCTION. FINAL LANDSCAPING IS DONE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AFTER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AFTER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AFTER CONSTRUCTION.

2500 N.



A
 SITE PLAN
 SCALE: 1" = 40'

DESIGN
 1433 S. LEGEND HILLS DR #200
 SALT LAKE CITY, UT 84119
 801.471.7320

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT # 4
 SUBDIVISION
 SANDHILL CRANE
 CLUSTER

CITY:
 EDEN
 STATE:
 UTAH

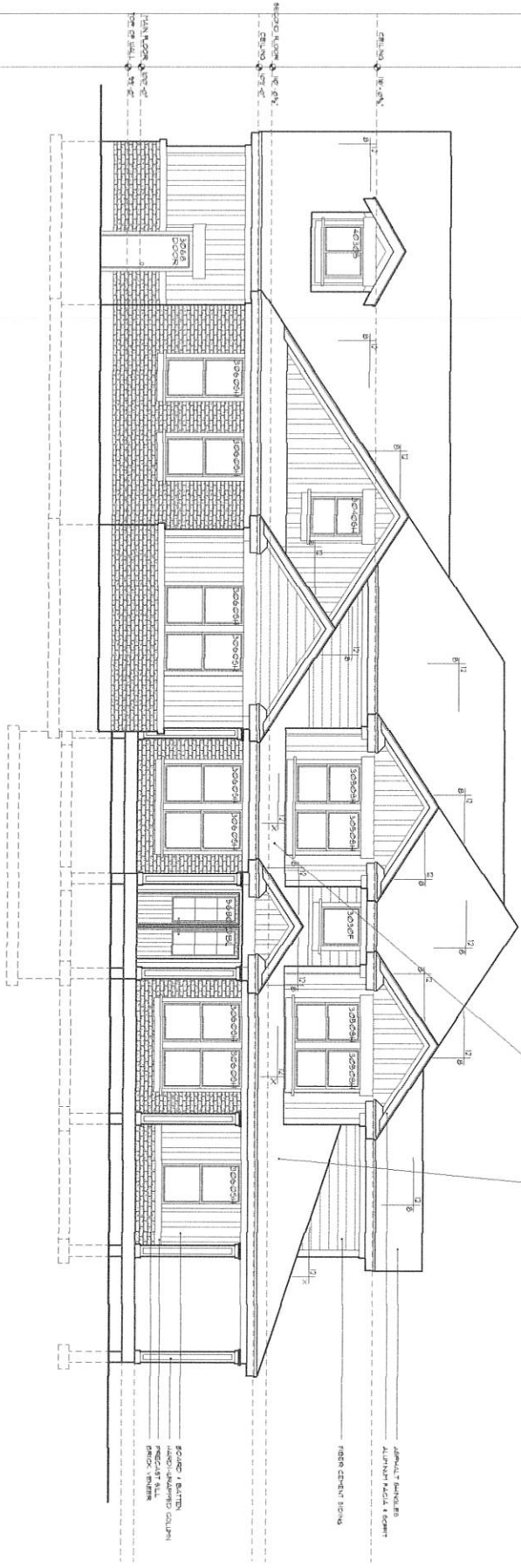
CLIENT NAME:
 RYAN & TAL YA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2018
 XXXXXXXXXX
 XXXXXXXXXX
 XXXXXXXXXX
 XXXXXXXXXX

SITE PLAN
A1 | 1

SHED ROOF NOTE
 THIS SHED ROOF IS TO BE CONSTRUCTED WITH A 12/12 PITCH. THE ROOF SHALL BE FINISHED WITH 1/2" OSB SHEATHING AND 1" X 6" RAFTERS. THE ROOF SHALL BE FINISHED WITH 1/2" OSB SHEATHING AND 1" X 6" RAFTERS.



A
FRONT ELEVATION
 SCALE 1/8" = 1'-0"



4433 LEGEND HILLS DR #229
 CLEARFIELD, UTAH 84705
 801.217.3272

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT #
 SUBDIVISION:
 SANDHILL CRANE
 CITY
 EDEN
 STATE
 UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2016

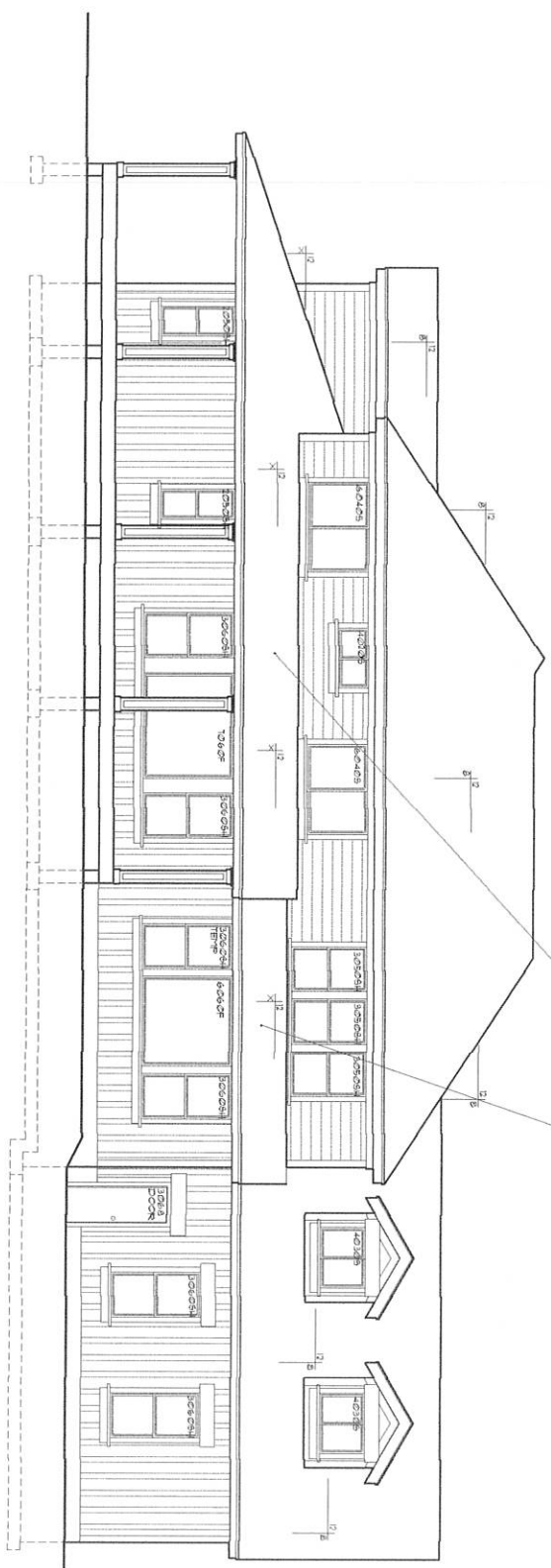
REVISION DATES
 XXXXX/XXXX
 XXXXX/XXXX
 XXXXX/XXXX

**FRONT
 REAR
 ELEVATIONS**

A2 | 1

PAGE 5 OF 25

SHED ROOF NOTE
 SHED ROOF CONDITIONS AND JAMB
 CONDITION VARYING UP TO 1/2" FROM
 ROOF EDGE MUST BE CORRECTED



A
 REAR ELEVATION
 SCALE 1/8" = 1'-0"



DESIGN
 443 S LEGEND HILLS DR. #20
 SALT LAKE CITY, UT 84119
 801.271.9222

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 THE ARCHITECT SHALL NOT BE RESPONSIBLE
 FOR ANY DELAYS OR COSTS INCURRED AS A
 RESULT OF THE CLIENT'S FAILURE TO
 OBTAIN NECESSARY PERMITS AND APPROVALS.
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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT # 4
 SUBDIVISION
 SANDHURST L CRANE
 CITY
 EDEN
 STATE
 UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2018
 XXXXXX
 XXXXXX
 XXXXXX
 XXXXXX

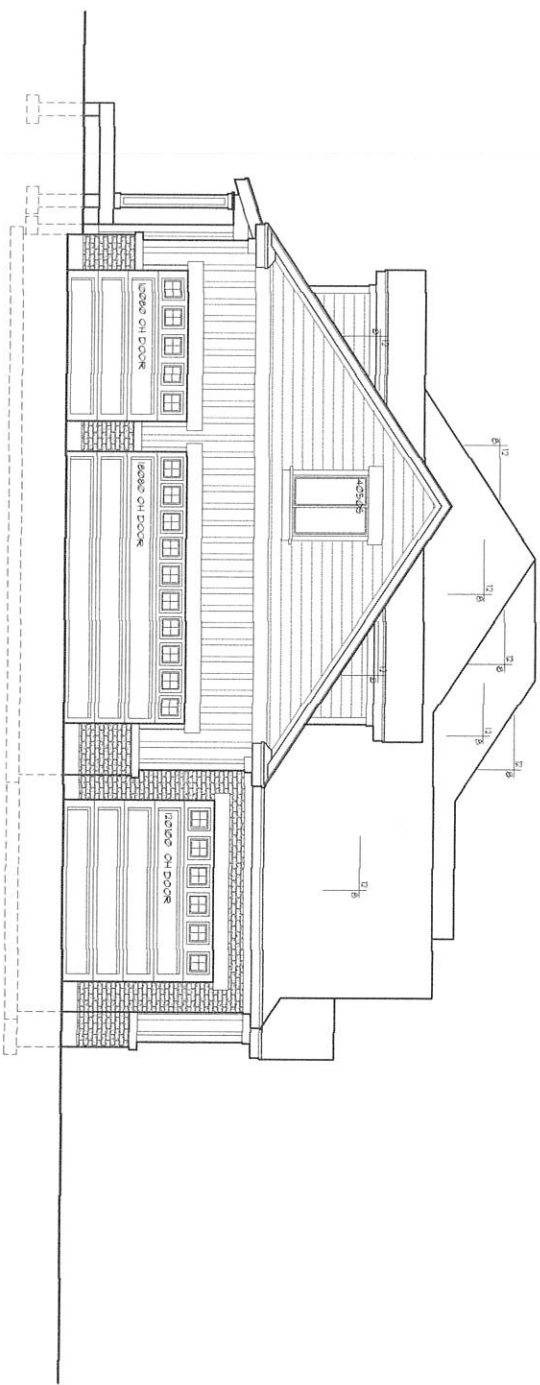
REAR ELEVATION

A2 | 2

PAGE 9 OF 25

A

LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



DESIGN
 409 S. LEGEND HILLS DR. #200
 OREM, UT 84058
 801.221.3222

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:

LOT #
 4
 SUBDIVISION:
 STANFORD CRANE
 CLUSTER
 CITY:
 EDEN
 STATE:
 UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2016

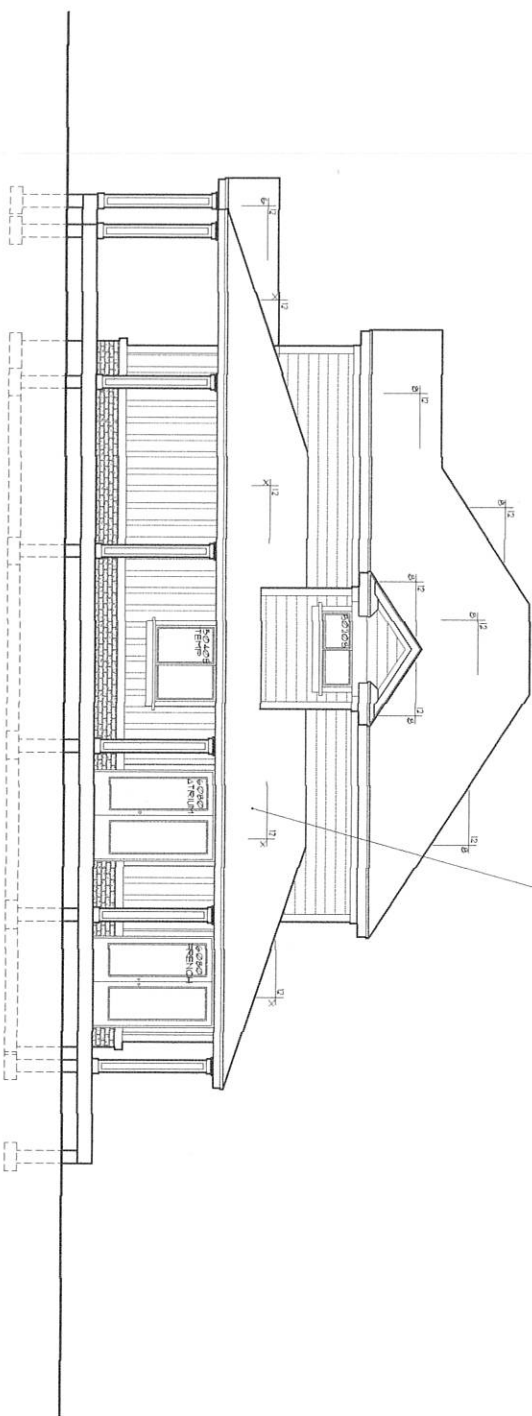
REVISION DATES:
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX

LEFT
 ELEVATION

A2 | 3

PAGE 7 OF 25

SHED ROOF NOTE
 SHED ROOF CONDITIONS AND VARIATIONS
 SHALL BE DETERMINED BY THE ARCHITECT
 AND SHALL BE SHOWN ON THE SHED ROOF
 PLAN AND SECTION DRAWINGS.



A
 RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



1439 S LEGEND HILLS DR #220
 CLEARFIELD, UTAH 84015
 801.271.9221

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 MATHESON
 RESIDENCE

LOCATION INFO:

LOT #
 4
SUBDIVISION
 SANDHILL CRANE
 CLUSTER
EDEN
STATE
 UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2016

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 XXXXXXXX
 XXXXXXXX
 XXXXXXXX

**RIGHT
 ELEVATION**

A2 | 4



1430 S. LEBRON BLVD. SUITE 200
CLEVELAND, OHIO 44115
801.217.3727

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PROJECT NAME:
MATHESON
RESIDENCE

LOCATION INFO:
LOT #
4

SUPERVISOR:
SANDHILL CRANE
CLUSTER
CITY
EDEN
STATE
UTAH

CLIENT NAME:
RYAN & TALYA
MATHESON

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 27, 2016

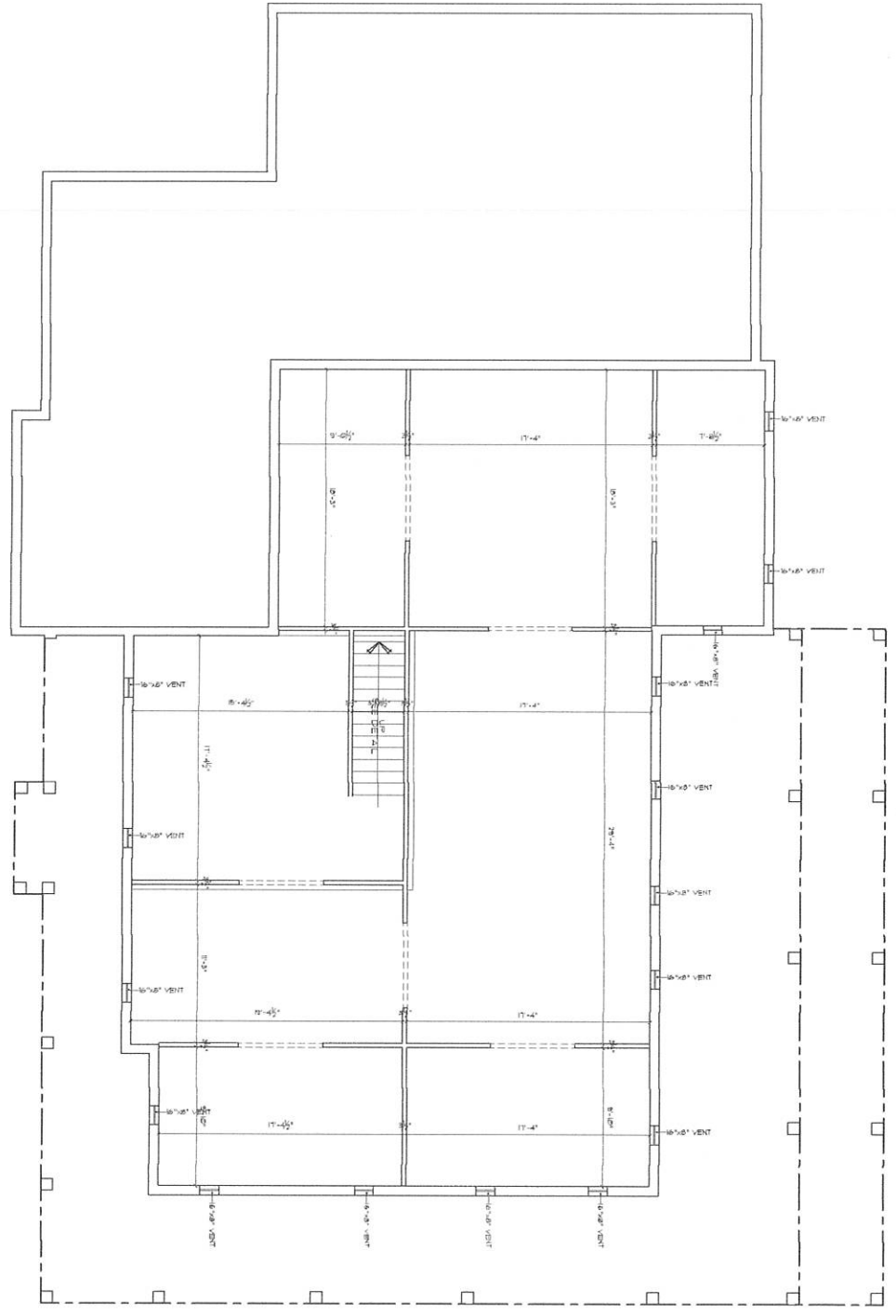
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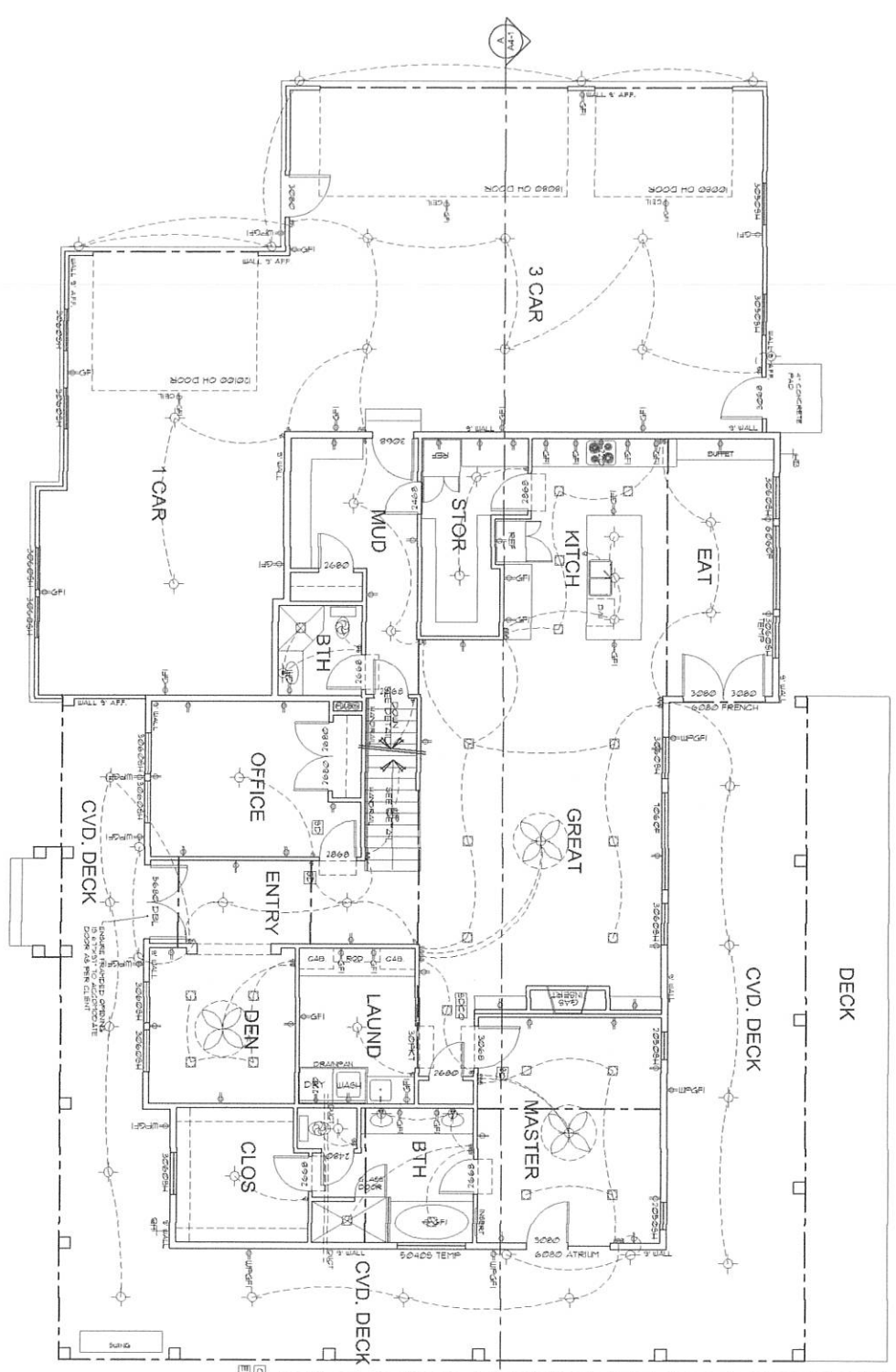
BASEMENT
WALL FRAMING
PLAN

A3 | 2

PAGE 10 OF 25

A
SCALE: 1/8" = 1'-0"
BASEMENT WALL FRAMING PLAN





ELECTRICAL SCHEDULE	
⊕	CEILING MOUNTED RECESSED
⊖	WALL MOUNTED NONRECESSED
⊙	RECESSED PULL COVER LIGHT
⊠	SMALL APPELLATIVE RECESSED LIGHT
⊡	LARGE APPELLATIVE RECESSED LIGHT
⊢	FRONTIER RECESSED FLOOD LIGHT
⊣	RECESSED 4x6 PIRE SOWER
⊤	FLUORESCENT LIGHT
⊥	TRACER BALL ON STAKE LIGHT
⊦	TRACER LIGHTS
⊧	CEILING FAN W/ LIGHT
⊨	EVALUATOR FAN
⊩	EVALUATOR FAN W/ LIGHT
⊪	EVALUATOR FAN W/ HEATING
⊫	SPOKE DETECTOR LIGHT BACKUP
⊬	CLASSIC HORIZONTAL SWITCHES
⊭	16 VOLT DIMMER OUTLET
⊮	220 VOLT DIMMER
⊯	NO GFCI GROUND FAULT INTERRUPTER
⊰	120 VOLT INTERRUPTER ON OUTLET
⊱	PHONE JACK
⊲	TELEPHONE CABLE JACK
⊳	TELEPHONE CABLE JACK (CAN BE SHARED W/ FLOOR OUTLET)
⊴	INDOOR SWITCH

WINDOW TYPE NOTE
ALL WINDOWS AND SLAB DOORS ARE TO BE
AS SHOWN UNLESS OTHERWISE NOTED. SEE
SECTION 05050 FOR WINDOW AND DOOR
SCHEDULE. SEE SECTION 05060 FOR
PARTITION SCHEDULE. SEE SECTION 05070
FOR CEILING SCHEDULE. SEE SECTION 05080
FOR FLOOR SCHEDULE. SEE SECTION 05090
FOR WALL SCHEDULE.

DECK
CVD. DECK
DECK
CVD. DECK

MASTER
BTH
CLOS
LAUND
DEN
ENTRY
OFFICE
MUD
STOR
KITCH
EAT
GREAT

3 CAR
1 CAR

PROJECT NAME:
MATHESON
RESIDENCE

LOCATION INFO:
LOT # 4
SANDHILL CRANE
CLUSTER
EDEN
STATE
UTAH

CLIENT NAME:
RYAN & TALYA
MATHESON

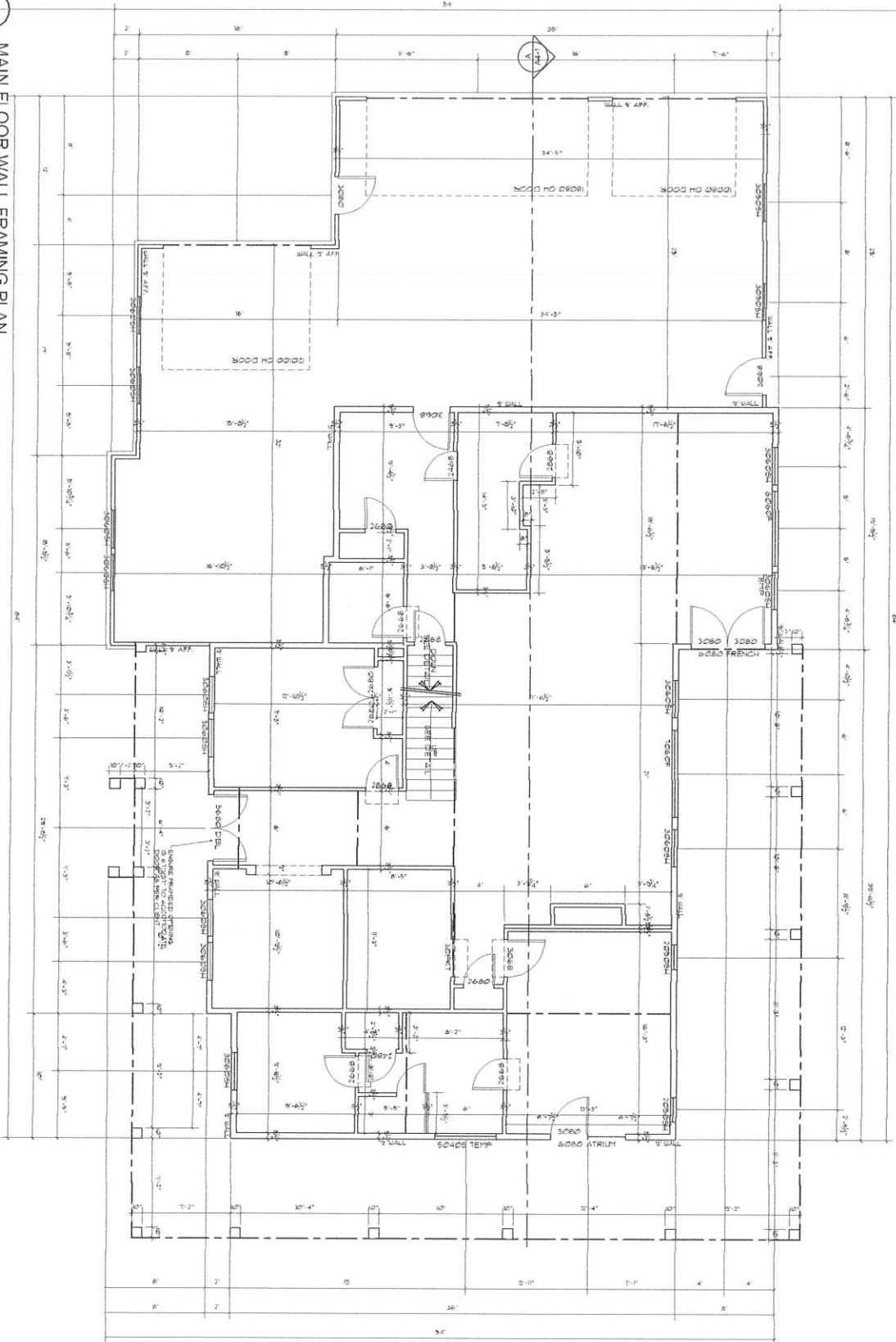
PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 27, 2016

REVISION DATES
XXXXXXXXXX
XXXXXXXXXX
XXXXXXXXXX
XXXXXXXXXX

ATTENTION

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DESIGN OF THE ELECTRICAL SYSTEM
ONLY. IT IS NOT TO BE USED FOR
CONSTRUCTION. THE ELECTRICAL
SYSTEM SHALL BE DESIGNED BY A
LICENSED ELECTRICAL ENGINEER
IN ACCORDANCE WITH THE
NATIONAL ELECTRICAL CODE AND
ALL APPLICABLE LOCAL CODES.



A
MAIN FLOOR WALL FRAMING PLAN
 SCALE: 1/8" = 1'-0"



1400 S. LEGION HILLS DR. #200
 CLEARFIELD, UTAH 84015
 801.271.3222

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT # 4

SUBDIVISION:
 SANDHILL CRANE
 CLUSTER
 EDEN
 STATE
 UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

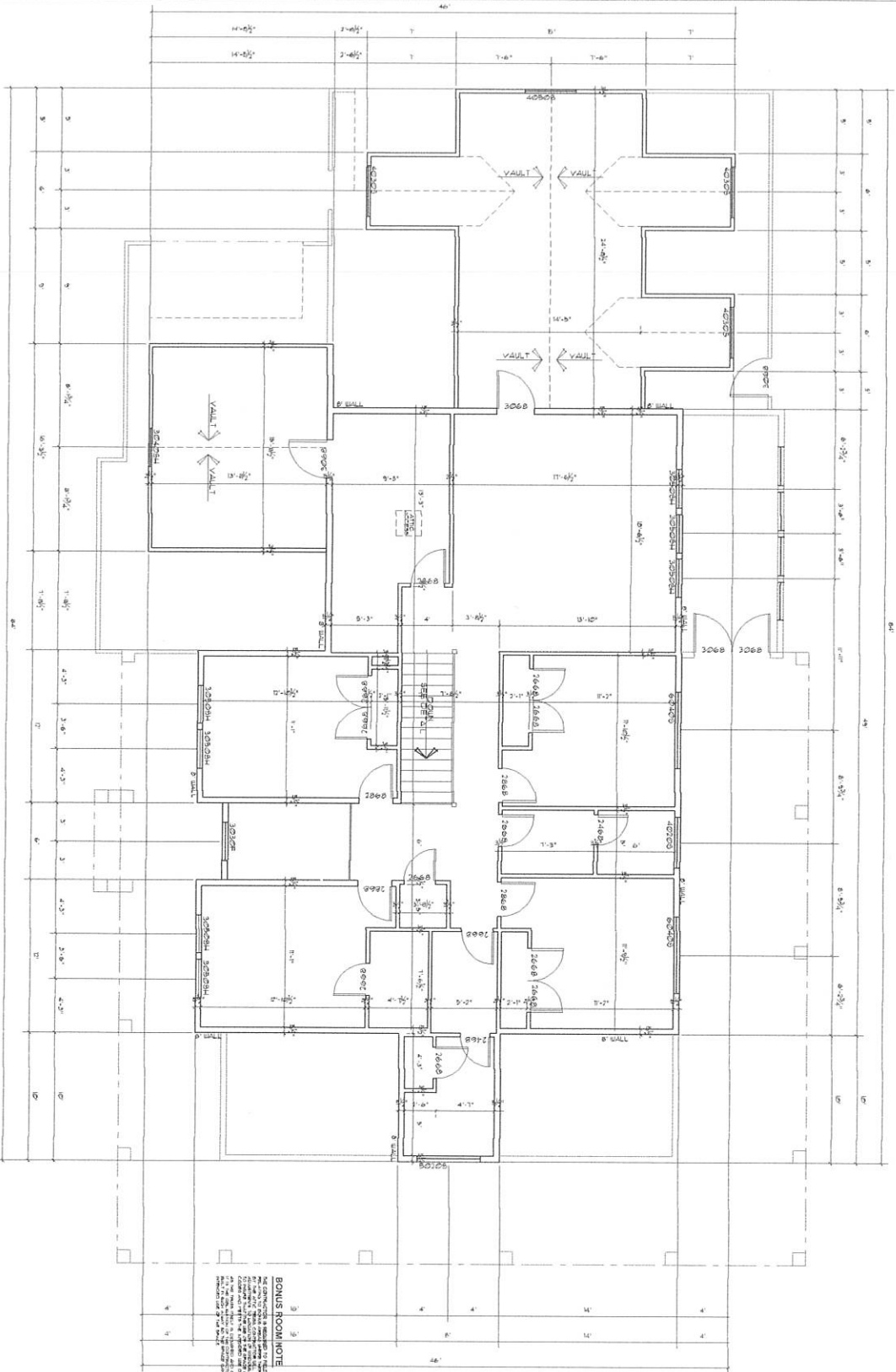
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 XXXXX
 XXXXX
 XXXXX
 XXXXX
 XXXXX
 XXXXX

**MAIN FLOOR
 WALL FRAMING
 PLAN**

A3 | 4

UPPER FLOOR WALL FRAMING PLAN
SCALE: 1/8" = 1'-0"



BONUS ROOM NOTE
THE CONSTRUCTION OF THIS BONUS ROOM IS SUBJECT TO THE CITY OF SANDHILL CRANE CLUSTER ORDINANCE. THE BONUS ROOM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SANDHILL CRANE CLUSTER ORDINANCE. THE BONUS ROOM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SANDHILL CRANE CLUSTER ORDINANCE. THE BONUS ROOM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SANDHILL CRANE CLUSTER ORDINANCE.



DESIGN
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CLEVELAND, UTAH 84015
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PROJECT NAME:
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RESIDENCE

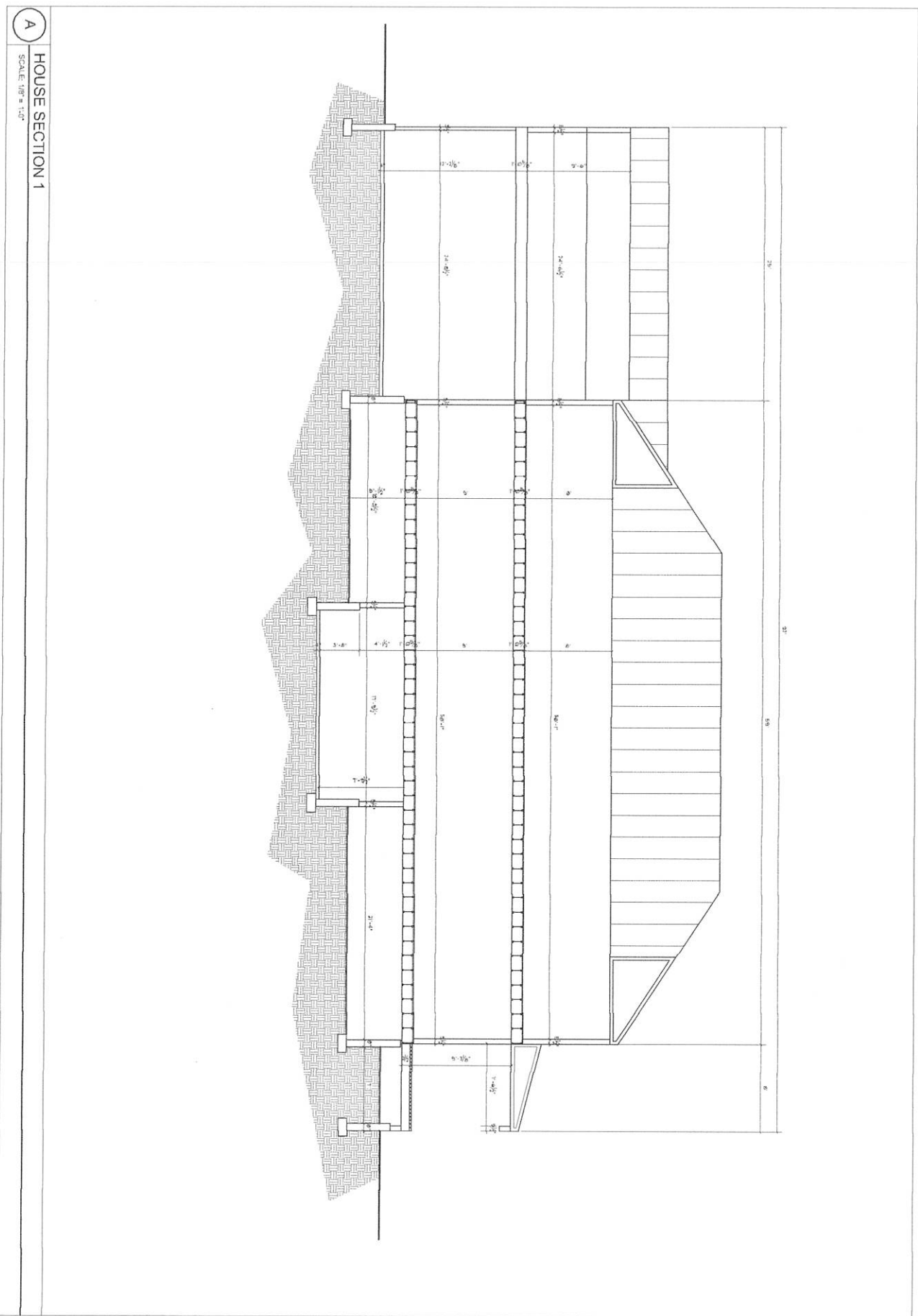
LOCATION INFO:
LOT # 4
BENEFIT
SANDHILL CRANE
CLUSTER
CITY
EDEN
STATE
UTAH

CLIENT NAME:
RYAN & TALYA
MATHESON

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 27, 2016

REVISION DATES:
XXXXXX
XXXXXX
XXXXXX
XXXXXX



A HOUSE SECTION 1
SCALE: 1/8" = 1'-0"

DESIGN
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SALT LAKE CITY, UT 84119

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PROJECT NAME:
MATHESON
RESIDENCE

LOCATION INFO:
LOT # 4
SERRIVSON
SANDYVILLE CRANE
CITY
EDEN
STATE
UTAH

CLIENT NAME:
RYAN & TALYA
MATHESON

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 27, 2018

REVISION DATES
XXXXXXXXXX
XXXXXXXXXX
XXXXXXXXXX
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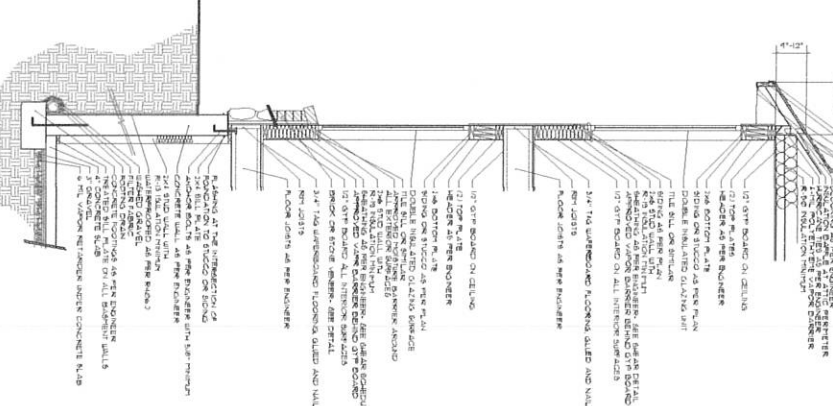
HOUSE SECTIONS

A4 | 1

PAGE 15 OF 25

FASHING NOTES

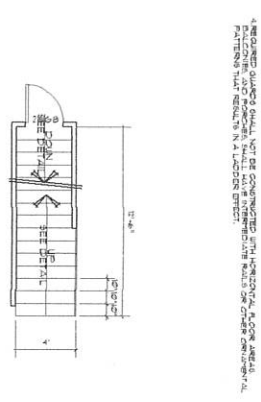
1. APPROVED CONCRETE REINFORCING SHALL BE 40% OR GREATER FASHION N.A. UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
2. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
3. APPROVED CONCRETE REINFORCING SHALL BE 40% OR GREATER FASHION N.A. UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
4. APPROVED CONCRETE REINFORCING SHALL BE 40% OR GREATER FASHION N.A. UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
5. APPROVED CONCRETE REINFORCING SHALL BE 40% OR GREATER FASHION N.A. UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.



A WALL SECTION
SCALE: 1/8" = 1'-0"

HANDRAIL NOTES

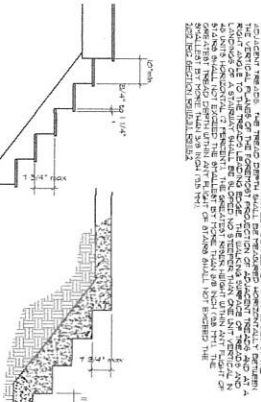
1. HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED. ALL HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED.
2. HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED. ALL HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED.
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4. HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED. ALL HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED.
5. HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED. ALL HANDRAILS SHALL BE 1 1/2" DIA. UNLESS OTHERWISE NOTED.



B STAIR PLAN AND SECTION
SCALE: 1/8" = 1'-0"

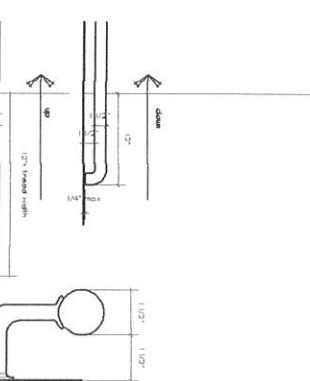
STAIRWAY AND RAILING NOTES

1. STAIRWAYS SHALL HAVE A MINIMUM CLEARANCE OF 8'-0" UNLESS OTHERWISE NOTED.
2. STAIRWAYS SHALL HAVE A MINIMUM CLEARANCE OF 8'-0" UNLESS OTHERWISE NOTED.
3. STAIRWAYS SHALL HAVE A MINIMUM CLEARANCE OF 8'-0" UNLESS OTHERWISE NOTED.
4. STAIRWAYS SHALL HAVE A MINIMUM CLEARANCE OF 8'-0" UNLESS OTHERWISE NOTED.
5. STAIRWAYS SHALL HAVE A MINIMUM CLEARANCE OF 8'-0" UNLESS OTHERWISE NOTED.

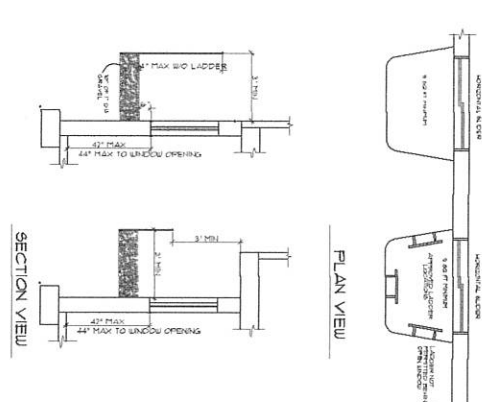


C STAIR TREAD DETAIL
NTS

RAILING TERMINATION DETAIL



D RAILING TERMINATION DETAIL
NTS



E WINDOW WELL DETAIL
NTS

ESCAPE OR RESCUE WINDOW WITH A FINISH SILL HEIGHT OF 42" TO THE FINISH FLOOR. THE WINDOW SHALL BE 20" WIDE BY 20" HIGH. THE WINDOW SHALL BE 20" WIDE BY 20" HIGH. THE WINDOW SHALL BE 20" WIDE BY 20" HIGH.

CLIENT NAME: RYAN & TALYA MATHESON

PLAN NAME: CUSTOM

ORIGINAL RELEASE: MAY 27, 2016

REVISION DATES: XXXXXXXX
XXXXXXXX
XXXXXXXX
XXXXXXXX

PROJECT NAME: MATHESON RESIDENCE

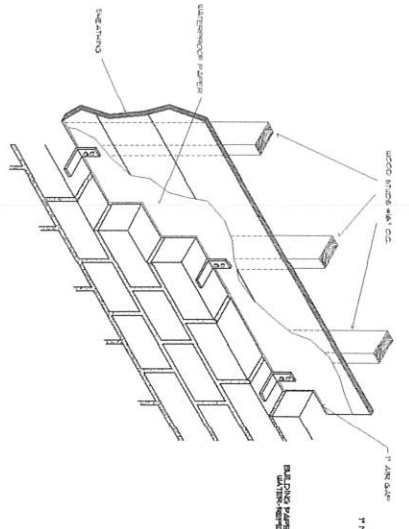
LOCATION INFO: LOT # 4, SANDHILL CRANE CLUSTER, EDEN STATE UTAH

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DESIGN: MATHESON

SCALE: 1/8" = 1'-0"

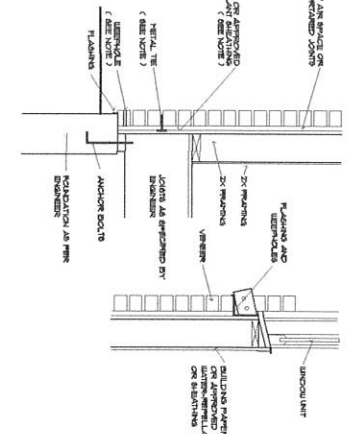
PAGE: 16 OF 25



METAL TEENOTE
 1. THE WEATHER PROOF FLASHING SHALL BE 1/2 IN. THICK, 1 IN. WIDE, AND 1/2 IN. HIGH. IT SHALL BE INSTALLED OVER THE MORTAR JOINT AND SHALL BE ANCHORED TO THE CONCRETE BLOCK WALL AT LEAST 12 IN. FROM THE FACE OF THE CONCRETE BLOCK WALL. THE FLASHING SHALL BE INSTALLED OVER THE WEATHER PROOF SHEATHING.

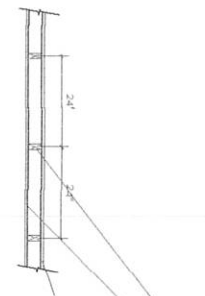
WEEDHOLE AND FLASHING NOTE
 1. WEEDHOLES SHALL BE 1/2 IN. DIAMETER AND SHALL BE INSTALLED AT LEAST 12 IN. FROM THE FACE OF THE CONCRETE BLOCK WALL. THE WEEDHOLES SHALL BE INSTALLED OVER THE WEATHER PROOF FLASHING AND SHALL BE ANCHORED TO THE CONCRETE BLOCK WALL AT LEAST 12 IN. FROM THE FACE OF THE CONCRETE BLOCK WALL.

WEATHER PROOF SHEATHING NOTE
 1. THE WEATHER PROOF SHEATHING SHALL BE 1/2 IN. THICK AND SHALL BE INSTALLED OVER THE CONCRETE BLOCK WALL. THE WEATHER PROOF SHEATHING SHALL BE ANCHORED TO THE CONCRETE BLOCK WALL AT LEAST 12 IN. FROM THE FACE OF THE CONCRETE BLOCK WALL. THE WEATHER PROOF SHEATHING SHALL BE INSTALLED OVER THE WEATHER PROOF FLASHING AND SHALL BE ANCHORED TO THE CONCRETE BLOCK WALL AT LEAST 12 IN. FROM THE FACE OF THE CONCRETE BLOCK WALL.



A MASONRY VENEER ANCHORING DETAIL

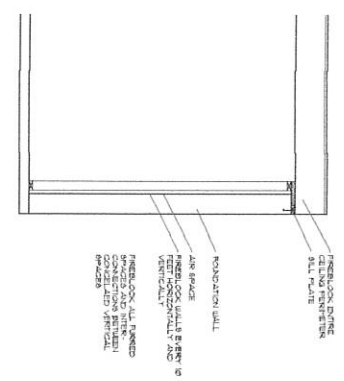
FIRE RESISTANCE RATINGS - ANSUL 253



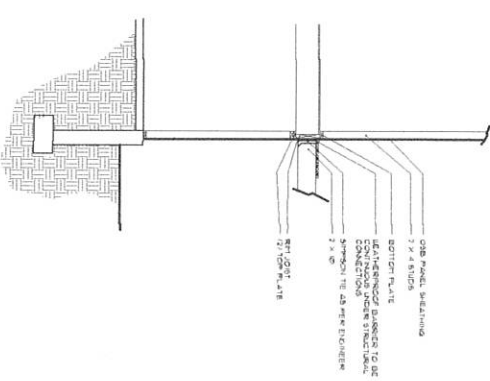
FIRE RESISTANCE RATINGS - ANSUL 253
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C UL FIRE RESISTANCE RATINGS

E FIREBLOCKING DETAIL



B CONT. WEATHERPROOFING DETAIL



F XXX

DESIGN
 1431 S LEGEND HILLS DR, #202
 SALT LAKE CITY, UT 84115
 801.571.5222

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PROJECT NAME: MATHESON RESIDENCE
LOCATION INFO: LOT F
CLIENT NAME: RYAN & TALYA MATHESON
PLAN NAME: CUSTOM
ORIGINAL RELEASE: MAY 27, 2016
REVISION DATES: XXXXXXXXXX
 XXXXXXXXXX
 XXXXXXXXXX
 XXXXXXXXXX

SECTION
 SECTIONS AND DETAILS

A4 | 3

PAGE 17 OF 25



141 S. LEGION, SUITE 200
 CLEARFIELD, UTAH 84705
 801.217.5272

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT #

SUBDIVISION:
 SANDHILL CRANE
 CLUSTER
CITY:
 EDEN
STATE:
 UTAH

CLIENT NAME:
 RYAN & TALVA
 MATHESON
PLAN NAME:
 CUSTOM

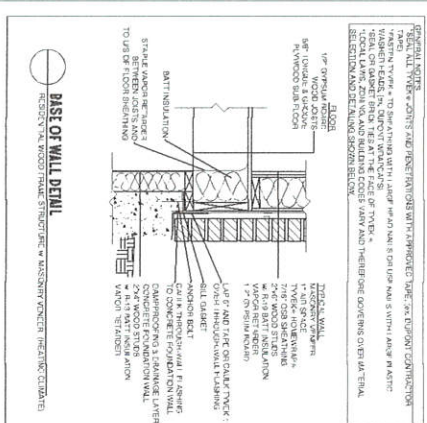
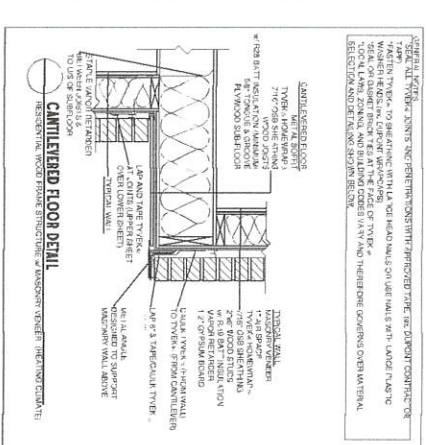
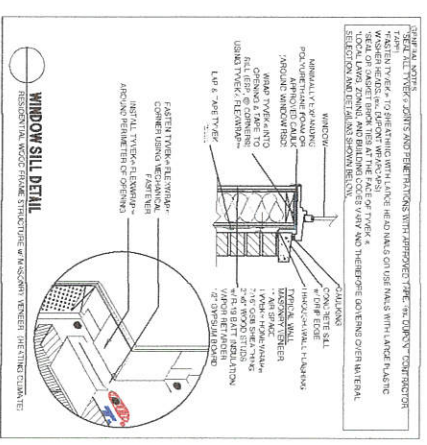
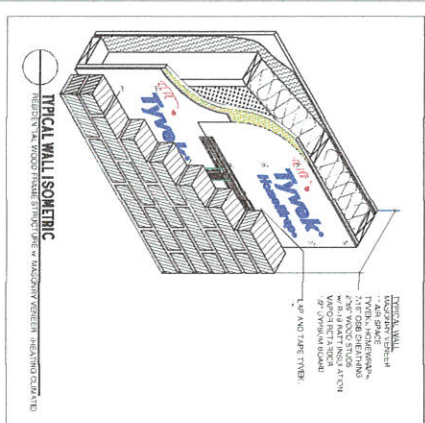
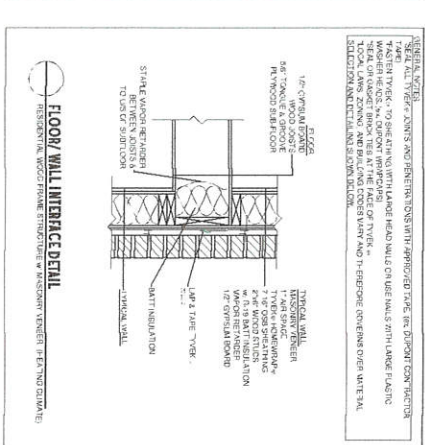
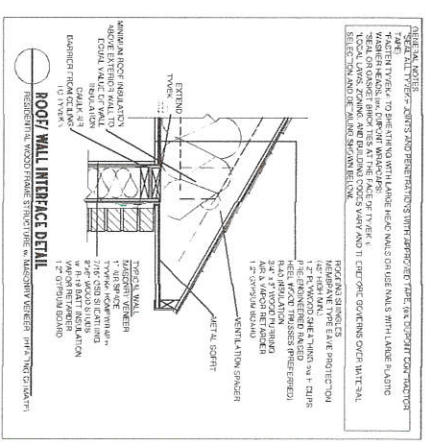
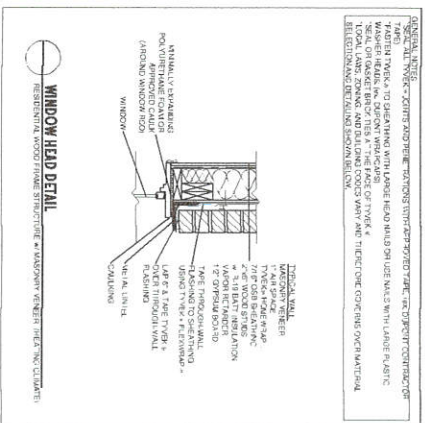
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 MAY 27, 2016

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 XXXXXX

SECTIONS AND DETAILS

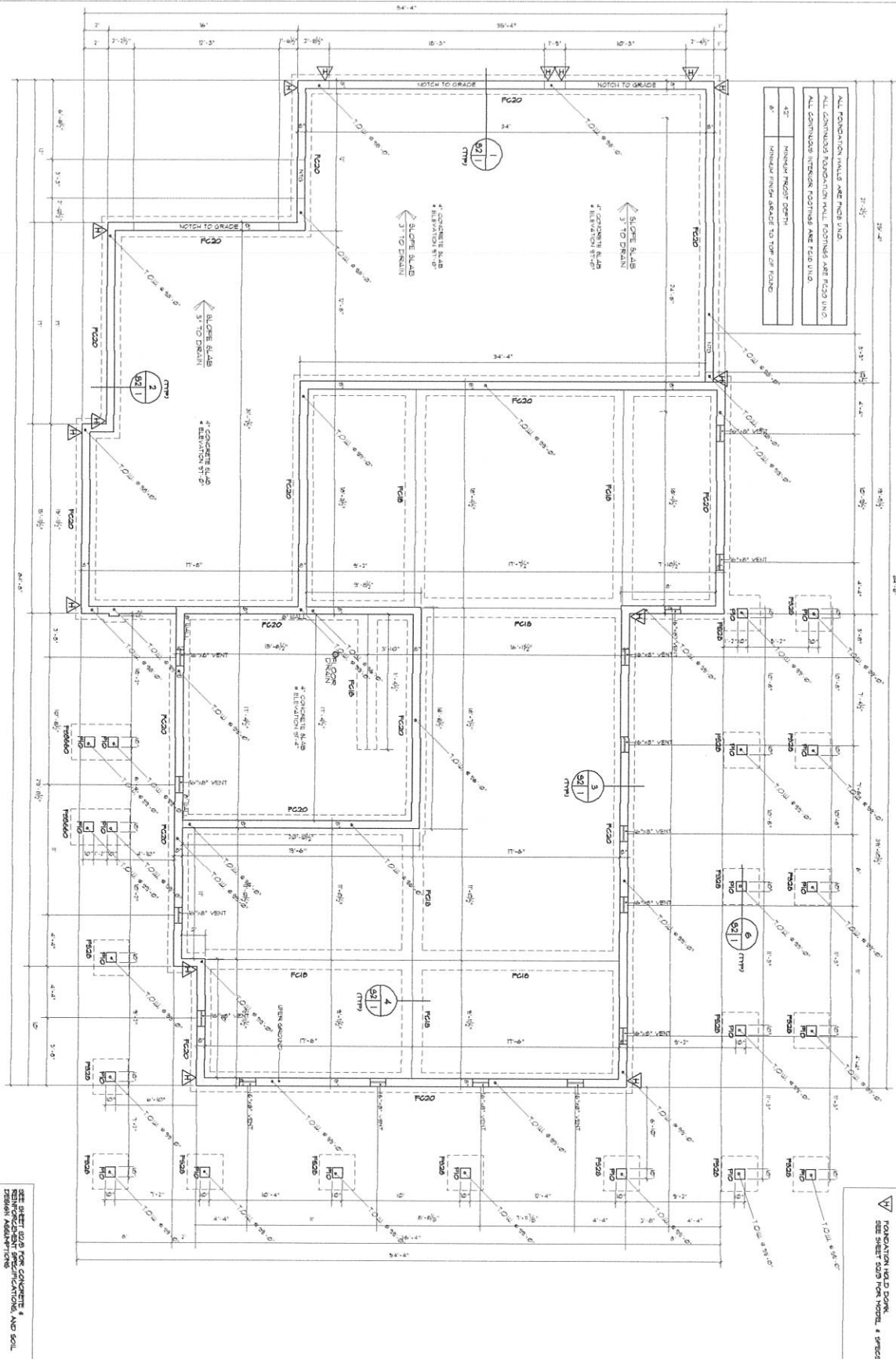
A4 | 4

PAGE 18 OF 25



A
 TWEK DETAILS
 SCALE: NTS

A FOOTING/FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



ALL FOUNDATION WALLS ARE F100 UNLESS NOTED OTHERWISE.
ALL FOUNDATION FOOTINGS ARE F100 UNLESS NOTED OTHERWISE.
ALL FOUNDATION INTERIOR FOOTINGS ARE F100 UNLESS NOTED OTHERWISE.
MINIMUM FOOTING DEPTH: 48"
MINIMUM FINISH GRADE TO TOP OF FOOTING: 1'-0"

SEE SHEET F020 FOR CONCRETE & REBAR SCHEDULE AND SOIL REMAINING UNDER F100

FOUNDATION WALL DORMER: SEE SHEET F020 FOR HOIST & BRACE



DESIGN
1400 S. LEGION HILLS DR. #200
SALT LAKE CITY, UT 84119
TEL: 201-272-7272

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PROJECT NAME:
MATHESON
RESIDENCE

LOCATION (IN-C):
LOT # 4
SERRINSON
SANDHILL CRANE
CITY CENTER
EDEN
EDEN
STATE
UTAH

CLIENT NAME:
RYAN & TALYA
MATHESON

PLAN NAME:
CUSTOM

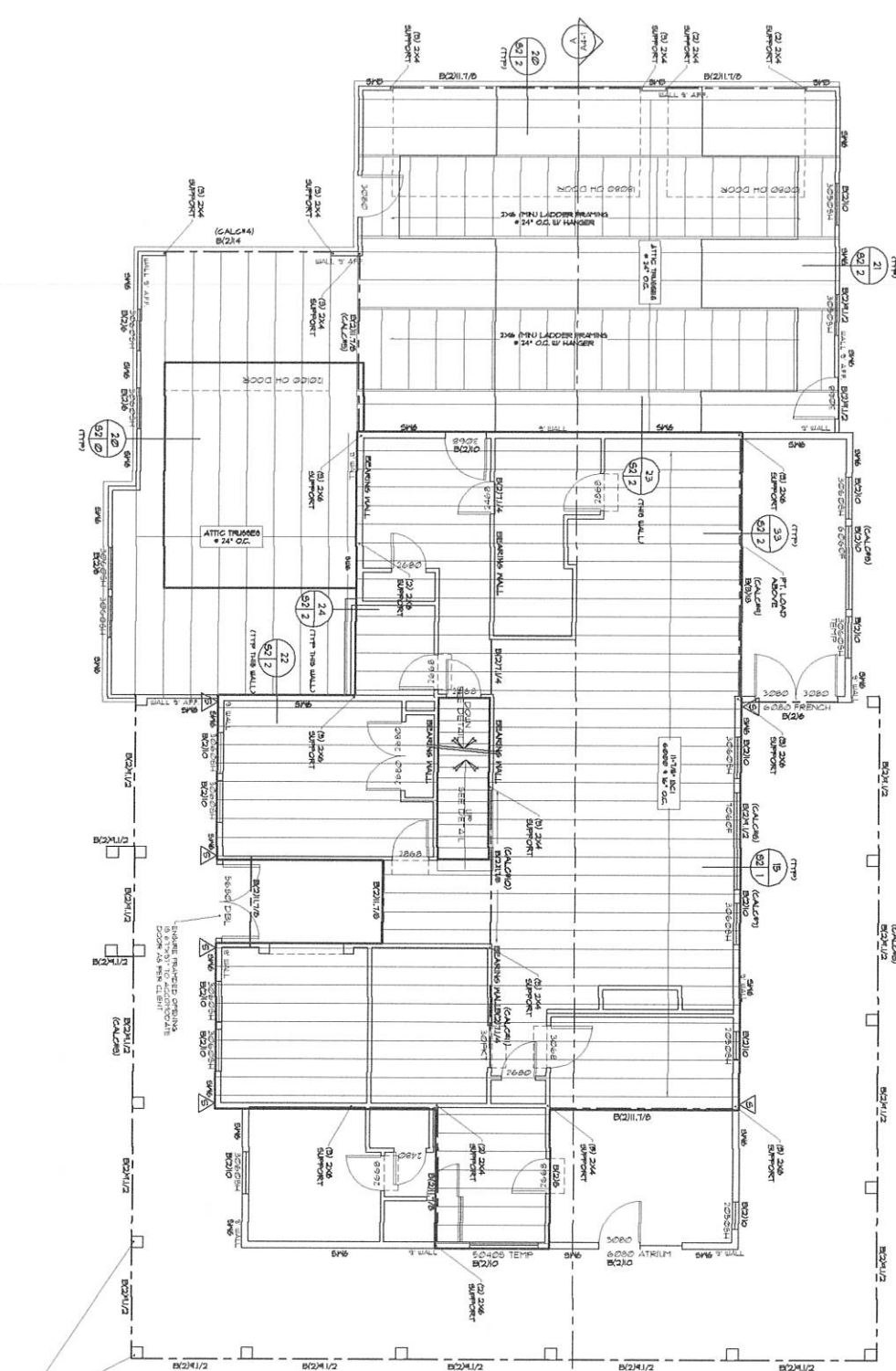
ORIGINAL RELEASE:
MAY 21, 2018

REVISION DATES:
22/02/XXXX
22/02/XXXX
22/02/XXXX
22/02/XXXX

FOOTING/FOUNDATION PLAN
S1 | 1

UPPER FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



SEE SHEET S05 FOR WOOD FRAMING SPEC'S AND NOTES.
 SWR SHEAR WALL. SEE SHEET S04.
 VERTICAL FRAMING STUDS
 LARGER STUDS ON TYPICAL BEAMS OR
 BRIDGES SHALL BE 12\"/>

SEE SHEET S05 FOR WOOD FRAMING SPEC'S AND NOTES.
 SWR SHEAR WALL. SEE SHEET S04.
 VERTICAL FRAMING STUDS
 LARGER STUDS ON TYPICAL BEAMS OR
 BRIDGES SHALL BE 12\"/>

DESIGN

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 SALT LAKE CITY, UT 84119
 801.277.3722

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DATE: 05/27/2018
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 DESIGNED BY: J. HARRIS

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PROJECT NAME:
 MATHESON
 RESIDENCE

LOCATION INFO:
 LOT # 4
 SANDHILL CRANE
 CLUSTER
 CITY EDEN
 STATE UTAH

CLIENT NAME:
 RYAN & TALYA
 MATHESON

PLAN NAME:
 CUSTOM

ORIGINAL RELEASE:
 MAY 27, 2018

REVISION DATES
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX
 XXXXXXXX

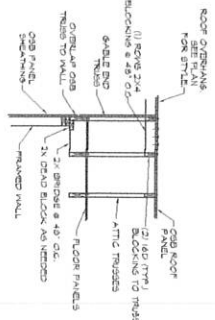
UPPER FLOOR
 FLOOR FRAMING
 PLAN

S13

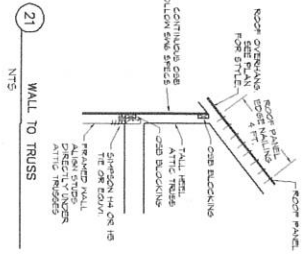
PAGE 21 OF 25

UPPER FLOOR FRAMING PLAN

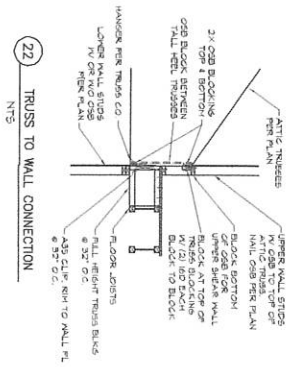
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20 WALL TO TRUSS
NTS



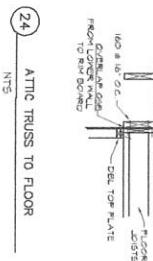
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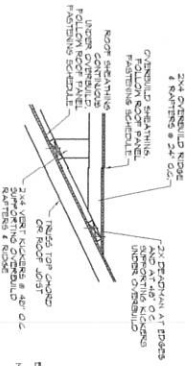
22 TRUSS TO WALL CONNECTION
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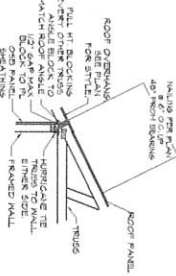
23 TRUSS TO MID WALL
NTS



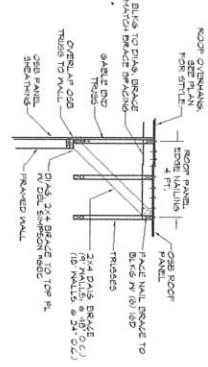
24 ATTIC TRUSS TO FLOOR
NTS



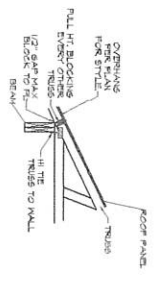
25 ROOF OVERBUILD
NTS



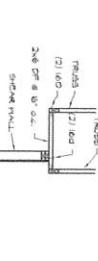
26 WALL TO TRUSS
NTS



27 WALL TO GABLE TRUSS
NTS



28 BEAM TO TRUSS
NTS

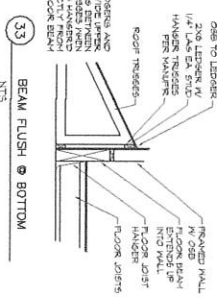


29 WALL TO TRUSS
NTS

30 NO DETAIL
NTS

31 NO DETAIL
NTS

32 NO DETAIL
NTS



33 BEAM FLUSH @ BOTTOM
NTS

<h1 style="margin: 0;">S21/2</h1>	<h2 style="margin: 0;">STRUCTURAL FRAMING DETAILS</h2>	Date / Revision 05/18/16	 PRICE ENGINEERING INC. 01 (800) 771-0542 N (800) 790-6574 price.engineer@gmail.com
	PROJECT: RML MATHESON CUSTOM EDEN RYAN & TAYLA MATHESON	ADDRESS: XXXXXX #X XXXXX EDEN, UT	

APPENDIX K: Additional Information (i.e. permits such as local permits, dewatering, stream alteration, wetland, and out of date SWPPP documents, etc.)

Weber County Stormwater Construction Activity Permit

Application submittals will be accepted by appointment only. (801) 399-8374. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted <i>6/17/16</i>	Fees (Office Use) <i>✓</i>	Receipt Number (Office Use) <i>✓</i>	Priority Site (Office Use) <input type="radio"/> Yes <input checked="" type="radio"/> No	Permit Number (Office Use) <i>2016-73</i>
----------------------------------	-------------------------------	---	---	--

Property Owner/Authorized Representative Contact Information	Project Information
Name of Property Owner(s)/Authorized Representative(s) <i>Talya & Ryan Matheson</i>	Project Name <i>500 P St Matheson Home</i>
Phone <i>801-644-2804</i>	Project Address <i>5037 E. 2500 N. Eden, UT 84310</i>
Fax	
Email Address <i>Ryantalya@hotmail.com</i>	Estimated Project Length (mo) <i>12</i>
Mailing Address of Property Owner(s)/Authorized Representative(s) <i>Po Box 12892 Ogden, UT 84412</i>	Previous Permit No. (if applicable)
	Estimated Start Date <i>JULY 2016</i>
	Actual Start Date

Submittal Checklist

The application shall include a Storm Water Pollution Prevention Plan which meets the criteria set forth in Section 33-3-4 of the county ordinances.

The applicant shall file the application on or before the following dates:

Subdivision: The date that the applicant submits the preliminary subdivision development plat application.

Site Plan: The date that the applicant submits a site plan application or amended site plan.

Building Permit: The date that the applicant submits a building permit application if the applicant proposes to construct a building on an existing lot or parcel.

Land Use Permit: The date that the applicant submits a land use permit application.

Other: At least two (2) weeks before the developer intends to perform any type of work not listed above that would require a Storm Water Construction Activity Permit pursuant to this Chapter.

Failure to acquire a required Storm Water Construction Activity Permit is grounds for tabling a related subdivision application, site plan application, conditional use permit application, or building permit application. It is unlawful to commence work (move dirt) on a development site before obtaining a required Storm Water Construction Activity Permit.

Note: A pre-construction meeting is required before performing any on-site earth work, unless waived by the county engineer.

Applicant Narrative

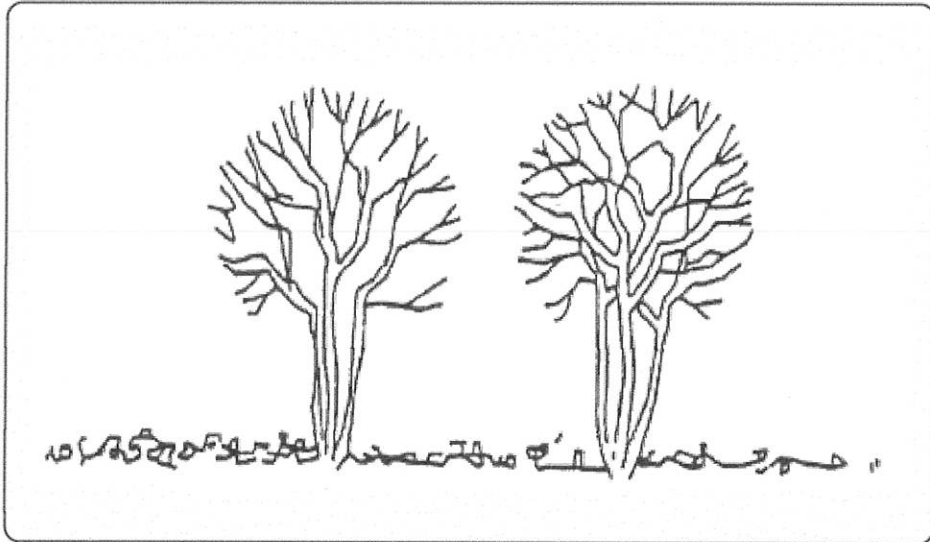
Please explain your request.

Authorization

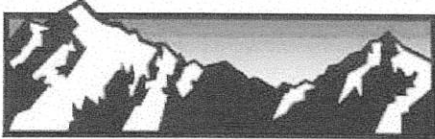
By signing below the Owner / Representative authorizes the county to enter the property to perform inspections.

Owner or Authorized Representative Signature <i>Talya Matheson</i>	Date <i>6/17/16</i>
Signature of Approval <i>Rocky</i>	Date <i>6-22-16</i>

APPENDIX L: BMP Specifications and Details (label BMPs to match the sections identified in this document.)



- ### OBJECTIVES
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion



WEBER COUNTY

ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240
 Ogden, UT 84401
 (801) 399-8374

DESCRIPTION:

Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs and/or grasses that serve as erosion controls.

APPLICATIONS:

- ▶ This technique is applicable to all types of sites. Areas where preserving vegetation can be particularly beneficial are floodplains, wetlands, stream banks, steep slopes, and other areas where erosion controls would be difficult to establish, install, or maintain.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Clearly mark, flag or fence vegetation or areas where vegetation should be preserved.
- ▶ Prepare landscaping plans which include as much existing vegetation as possible and state proper care during and after construction.
- ▶ Define and protect with berms, fencing, signs, etc. a setback area from vegetation to be preserved.
- ▶ Propose landscaping plans which do not include plant species that compete with the existing vegetation.
- ▶ Do not locate construction traffic routes, spoil piles, etc. where significant adverse impact on existing vegetation may occur.

LIMITATIONS:

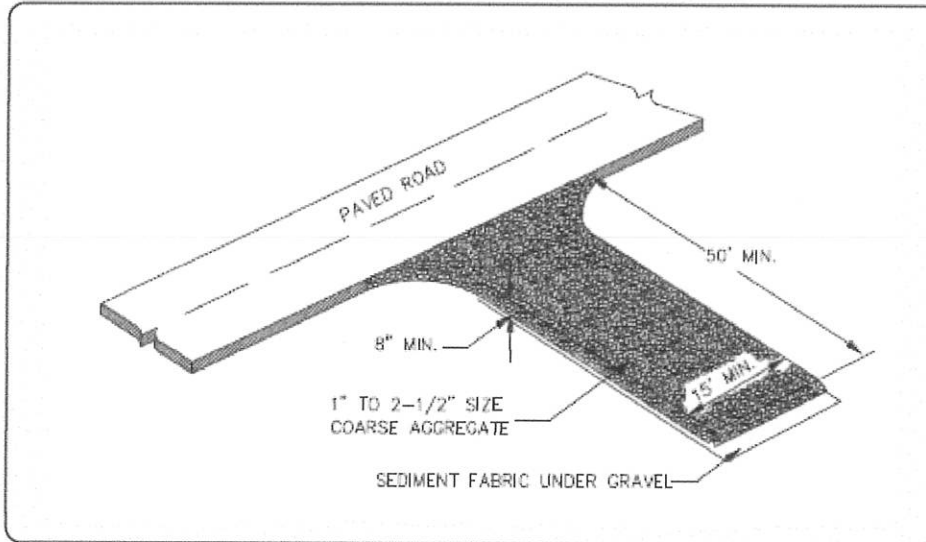
- ▶ Requires forward planning by the owner/developer, contractor and design staff.
- ▶ For sites with diverse topography, it is often difficult and expensive to save existing trees while grading the site satisfactorily for the planned development.
- ▶ May not be cost effective with high land costs.

MAINTENANCE:

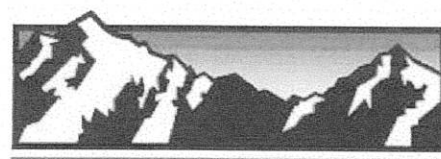
- ▶ Inspection and maintenance requirements for protection of vegetation are low.
- ▶ Maintenance of native trees or vegetation should conform to landscape plan specifications.

- ### TARGETED POLLUTANTS
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste
-
- High Impact
 - Medium Impact
 - Low or Unknown Impact

- ### IMPLEMENTATION REQUIREMENTS
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training
-
- High
 - Medium
 - Low



- ### OBJECTIVES
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion



WEBER COUNTY

ENGINEERING DEPARTMENT
 2380 Washington Blvd., Suite 240
 Ogden, UT 84401
 (801) 399-8374

DESCRIPTION:

A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATIONS:

- ▶ At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Clear and grub area and grade to provide maximum slope of 2%.
- ▶ Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- ▶ Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

LIMITATIONS:

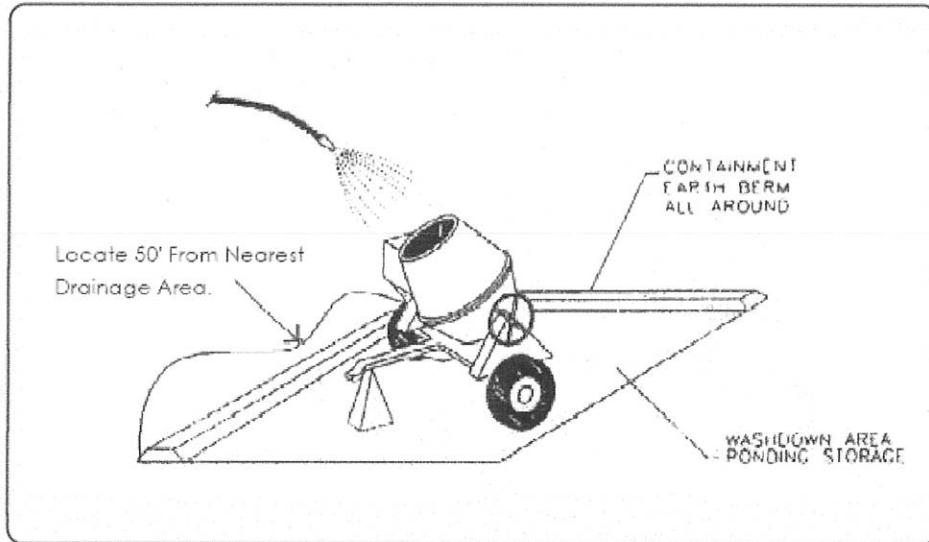
- ▶ Requires periodic top dressing with additional stones.
- ▶ Should be used in conjunction with street sweeping on adjacent public right-of-way.

MAINTENANCE:

- ▶ Inspect daily for loss of gravel or sediment buildup.
- ▶ Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
- ▶ Repair entrance and replace gravel as required to maintain control in good working condition.
- ▶ Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

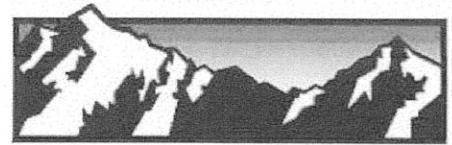
- ### TARGETED POLLUTANTS
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste
-
- High Impact
 - Medium Impact
 - Low or Unknown Impact

- ### IMPLEMENTATION REQUIREMENTS
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training
-
- High
 - Medium
 - Low



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



WEBER COUNTY

ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240
 Ogden, UT 84401
 (801) 399-8374

DESCRIPTION:

Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:

- ▶ This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Store dry and wet materials under cover, away from drainage areas.
- ▶ Avoid mixing excess amounts of fresh concrete or cement on-site.
- ▶ Perform washout of concrete trucks off-site or in designated areas only.
- ▶ Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- ▶ Do not allow excess concrete to be dumped on-site, except in designated areas.
- ▶ When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- ▶ Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

- ▶ Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- ▶ Inspect subcontractors to ensure that concrete wastes are being properly managed.
- ▶ If using a temporary pit, dispose hardened concrete on a regular basis.

TARGETED POLLUTANTS

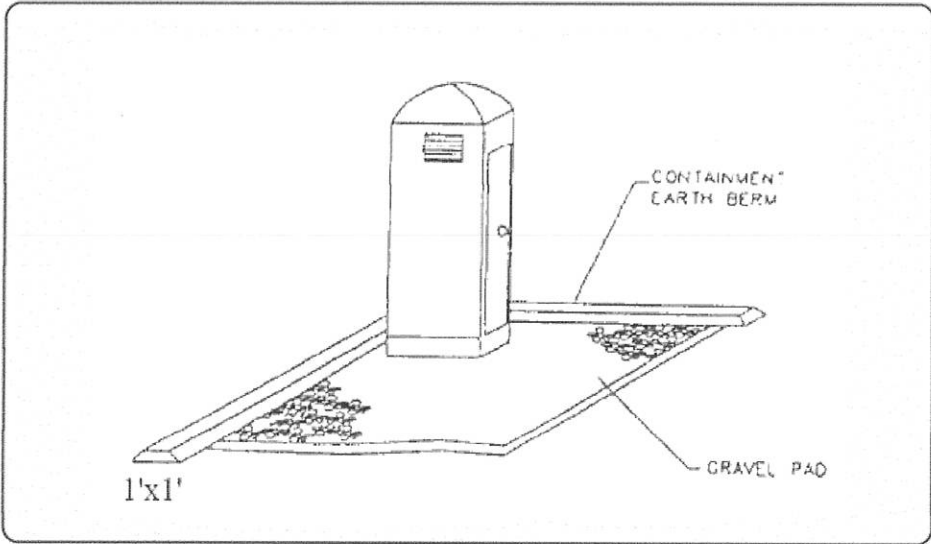
- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



DESCRIPTION:

Temporary on-site sanitary facilities for construction personnel.

APPLICATION:

- ▶ All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Locate portable toilets in convenient locations throughout the site.
- ▶ Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- ▶ Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:

No limitations.

MAINTENANCE:

- ▶ Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- ▶ Regular waste collection should be arranged with licensed service.
- ▶ All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



WEBER COUNTY

ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240
Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

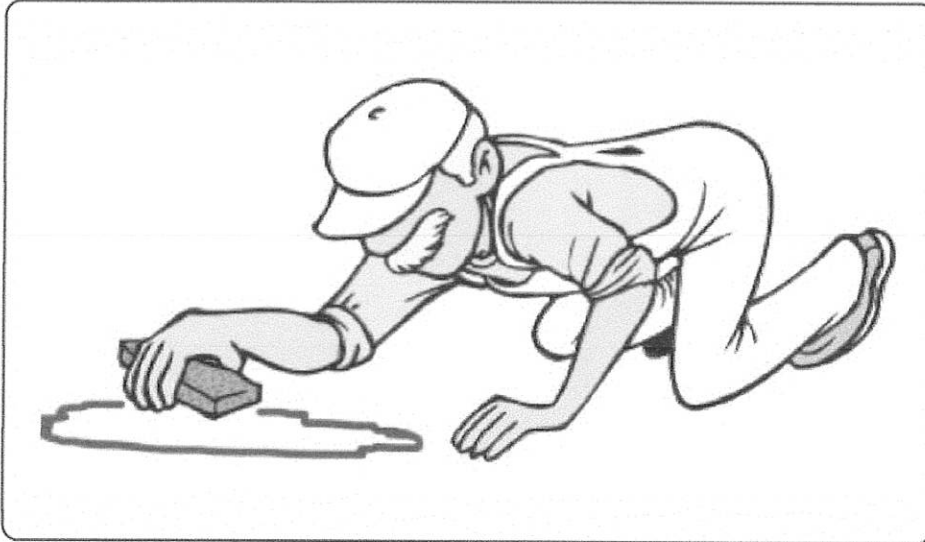
- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



DESCRIPTION:

Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:

- ▶ All sites

GENERAL:

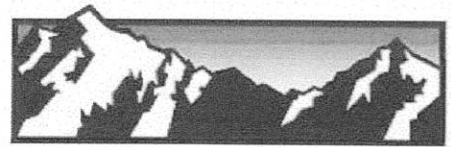
- ▶ Store controlled materials within a storage area.
- ▶ Educate personnel on prevention and clean-up techniques.
- ▶ Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- ▶ Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- ▶ Clean-up spills/leaks immediately and remediate cause.
- ▶ Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- ▶ Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- ▶ Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- ▶ Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



WEBER COUNTY

ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240
Ogden, UT 84401
(801) 399-8374

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



HAZARDOUS MATERIAL

OBJECTIVES

- New Development
- Residential
- Commercial Activities
- Industrial Activities
- Municipal Facilities
- Illegal Discharges

DESCRIPTION:

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

APPLICATION:

Many of the chemicals used on-site can be hazardous materials which become hazardous waste upon disposal. These wastes may include:

- ▶ Paints and solvents; petroleum products such as oils; fuels and greases; herbicides and pesticides; acids for cleaning masonry; and concrete curing compounds.

In addition, sites with existing structures may contain wastes which must be disposed of in accordance with federal, state and local regulations, including:

- ▶ Sandblasting grit mixed with lead, cadmium or chromium based paints, asbestos, and PCBs.

INSTALLATION/APPLICATION CRITERIA:

The following steps will help reduce stormwater pollution from hazardous wastes:

- ▶ Use the entire product before disposing of the container.
- ▶ Do not remove the original product label; it contains important safety and disposal information.
- ▶ Do not over-apply herbicides and pesticides. Prepare only the amount needed. Follow the recommended usage instructions. Over-application is expensive and environmentally harmful. Apply surface dressings in several smaller applications, as opposed to one large application, to allow time for infiltration and to avoid excess material being carried off-site by runoff. Do not apply these chemicals just before it rains. People applying pesticides must be certified in accordance with federal and state regulations.

LIMITATIONS:

- ▶ Hazardous waste that cannot be reused or recycled must be disposed of by a licensed hazardous waste collector.

MAINTENANCE:

- ▶ Inspect hazardous waste receptacles and areas regularly.
- ▶ Arrange for regular hazardous waste collection.



WEBER COUNTY

ENGINEERING DEPARTMENT

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TARGETED POLLUTANTS

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oxygen Demanding Substance
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Regulatory
- Training
- Staffing
- Administrative
- High
- Medium
- Low