

WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

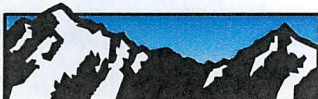
**June 28, 2016
4:00-5:00 p.m.**

1. Consideration and action on a request for final approval for the Summit Eden Phase 1A Amendment 3 Subdivision. The proposed amendment is to combine lots 7a and 7b into one residential lot in the Summit Eden Phase 1A Subdivision.
2. Consideration and action on a request for final approval for the Summit Eden Phase 1A Amendment 4 Subdivision. The proposed amendment is to combine lots 19, 20, 22(R) and 23(R) into three development parcels in the Summit Eden Phase 1A Subdivision.
3. Consideration and action on a request for final approval for the Summit Eden Ridge Nests Amendment 2 Subdivision. The proposed amendment is to rotate the building pad for Lot 5
4. Consideration and action on a request for approval of Conditional Use Permit (CUP 2016-09) for an amendment to include a caretaker's home at Camp UTABA located at approximately 7005 N North Fork Road, Liberty UT, in the Forest (F-5) Zone. (Scott Blank Representative of Camp UTABA)
5. Consideration and action on a request for approval of Condition Use Permit (CUP 2016-14) and a proposed site plan to make minor changes to the parking layout and landscaping to the North entrance of the facility located at approximately 2010 Rulon White Blvd, Ogden UT, in the Manufacture (M-1) Zone. (Mike Brunner Representative of Kimberly Clark)
6. Adjournment

The meeting will be held in the Weber County Planning Division Conference Room, Suite 240, in the Weber Center, 2nd Floor, 2380 Washington Blvd., Ogden, Utah unless otherwise posted



In compliance with the American with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8791



Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on final plat approval of Summit Eden Phase 1A Amendment 3, combining Lots 7a & 7b that were previously platted in the Summit Eden Phase 1A into one building lot to be platted as Lot 119

Type of Decision: Administrative

Agenda Date: Tuesday, June 28, 2016

Applicant: SMHG Phase 1, LLC

Authorized Representative: Rick Everson

File Number: UVS061916

Property Information

Approximate Address: 7543 East Horizon Run Eden, UT

Project Area: 1.656 Acres

Zoning: DRR-1 Zone

Existing Land Use: Resort Development/Open Space

Proposed Land Use: Resort Development/Open Space

Parcel ID: 23-128-0003 & 23-128-0004

Township, Range, Section: Township 7 North, Range 2 East, Section 5, 6, 7 & 8

Adjacent Land Use

North:	Ski Resort	South:	Ski Resort
East:	Ski Resort	West:	Ski Resort

Staff Information

Report Presenter: Ronda Kippen
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: RG

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1)
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 106, Subdivisions, Chapter 1-8 as applicable

Background and Summary

The applicant has submitted a request for final plat approval of Summit Eden Phase 1A Amendment 3, a small subdivision consisting of one residential lot. The proposed subdivision is located at approximately 7543 East Horizon Run, and is in the DRR-1 zone. Summit Eden Phase 1A was initially approved as a PRUD in 2013 and platted in 2014 (see Exhibit A). A rezone petition along with a Zoning Development Agreement was finalized and approved in January 2015. The PRUD and the Zoning Development Agreement Master Plan have identified the proposed area as an area anticipated for residential development.

The applicant would now like to combine all of Lot 7a and 7b into one building lot and remove the building envelope and private drive to a future lot that were identified on the previous plat (see Exhibit B). The proposed amendment will consist of 1.656 acres and is located in the DRR-1 Zone. The proposed subdivision and lot configuration is in conformance with the approved PRUD, current zoning and the Zoning Development Agreement Master Plan (see Exhibit C) as well as the applicable subdivision requirements as required in the Uniform Land Use Code of Weber County (LUC).

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by encouraging development within the existing resort-related commercial areas.

Zoning: The subject property is located in the Ogden Valley Destination and Recreation Resort Zone more particularly described as the DRR-1 zone. The purpose and intent of the DRR-1 zone is identified in the LUC §104-29-1 as:

"The purpose of this chapter is to provide flexible development standards to resorts that are dedicated to preserving open space and creating extraordinary recreational resort experiences while promoting the goals and objectives of the Ogden Valley general plan. It is intended to benefit the residents of the county and the resorts through its ability to preserve the valley's rural character, by utilizing a mechanism that allows landowners to voluntarily transfer development rights to areas that are more suitable for growth when compared to sensitive land areas such as wildlife habitats, hazardous hillsides or prime agricultural parcels. Resorts that lie within an approved destination and recreation resort zone shall, by and large, enhance and diversify quality public recreational opportunities, contribute to the surrounding community's well-being and overall, instill a sense of stewardship for the land."

As part of the subdivision process, the proposal has been reviewed against the current subdivision ordinance in LUC §106, the approved PRUD and the standards in the DRR-1 zone in LUC §104-29. Small subdivisions as defined in LUC §101-7 can be administratively approved per LUC §106-1-5(b)(1) and the proposal has been reviewed against the adopted zoning and subdivision ordinances to ensure that the regulations and standards have been adhered to. The proposed subdivision is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: The combination of Lot 7a and 7b will create a 1.656 acre residential building lot to be platted as Lot 119 with an address of 7543 East Horizon Run and will not create additional density in the area. The lot is not considered to be a restricted or "R" lot due to the existing slopes not exceeding 25% or more.

The developer would like to vacate the self imposed "building envelope" that was part of the initial plat to allow the new property owner the flexibility to build their home anywhere they desire on the amended lot. A private drive that was to be used to access a future lot is also being vacated as part of this plat amendment.

The DRR-1 Zone does not have a minimum lot area or a minimum lot width requirement per LUC §104-29-2(h) for a single family residential dwelling. The following development standards will be reviewed upon submittal for single family building permit:

- Front yard setback: 0 feet
- Side yard setback: 8 feet with a total of two required side yards of not less than 18 feet
- Rear yard setback: 10 feet
- Average building height: 35 feet

The proposed lot configuration meets the area and width standards in the DRR-1 Zone. The proposal is in conformance with previous approvals and updates to the PRUD and the Zoning Development Agreement.

Natural Hazards Overlay Zone: The proposed subdivision is located in a Zone "D" as determined by FEMA to be an area of undetermined flood hazards. Areas designated as Zone "D" are typically areas in which no analysis of flood hazards has been conducted.

The proposed lot is located within a potential geologic hazard unit per the UGS published Ogden 30 x 60 Quadrangle map. The geologic unit is identified as "Qms" and a geologic site reconnaissance will be required to or the necessary geologic investigation/studies will need to be completed to identify the correct development measures that will be necessary for the development of the lot prior to submitting the building permit to Weber County for review. All site development will need to adhere to the recommendations of any reports and a "Natural Hazards Disclosure" document will be required to be recorded prior to receiving final occupancy to provide adequate notice of any geotechnical and geological recommendations to future property owners.

Culinary water and sanitary sewage disposal: Culinary and sewer services are provided by Powder Mountain Water and Sewer Improvement District. Based on the original approvals, additional proof of culinary and sanitary sewage services will not be required at this time. A letter and connect fee from Powder Mountain Water and Sewer District will be required to be submitted with the building permit application.

Review Agencies: The Weber County Surveyor's Office has reviewed and provided the applicant with the necessary corrections for approval. It appears that the Surveyor's comments have been addressed in the most recent submittal from the applicant on June 20, 2016 and it is anticipated that the proposal will be approved upon re-review. To date, the Weber County Engineering Division and the Weber Fire District have not reviewed the application. A condition of approval has been included to ensure that all applicable review agencies requirements will be met prior to recording the subdivision Mylar.

Additional design standards and requirements: The applicant has opted to add a plat note that states that the proposed Lot 119 will vacate the designated building envelopes from Lots 7a and 7b along with a 20 foot private driveway noted on the original plat as "Note 18" as recorded on subdivision plat entry# 2672943 book 75 page 28-31. A plat note stating the amendment is subject to all the plat notes that were part of the original Summit Eden Phase 1A including a temporary slope easement as defined as "Note #14" on the original plat will remain in place and will not be vacated with the proposed amendment.

There may be additional site preparation in conjunction with an approved building permit. The proposed subdivision does not require the realignment of or the creation of a new street system. With the exception of the recommended conditions identified in this staff report additional standards and requirements are unnecessary at this time.

Tax clearance: The 2015 property taxes have been paid in full. The 2016 property taxes will be due in full on November 1, 2015.

Public Notice: The required noticing for the final subdivision plat approval has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed small subdivision per noticing requirements outlined in LUC §106-1-6(c).

Staff Recommendation

Staff recommends final plat approval of Summit Eden Phase 1A Amendment 3, combining Lots 7a & 7b that were previously platted in Summit Eden Phase 1A, into one building lot to be platted as Lot 119. This recommendation for approval is subject to all applicable review agency requirements and is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. With the recommended conditions, the proposed subdivision complies with all previous approvals and the applicable County ordinances.
3. The proposed subdivision will not be detrimental to the public health, safety, or welfare.
4. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Administrative Approval

Administrative final plat approval of Summit Eden Phase 1A Amendment 3, combining Lots 7a & 7b that were previously platted in the Summit Eden Phase 1A into one building lot to be platted as Lot 119, is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and is based on the findings listed in this staff report.

Date of Administrative Approval: _____

Rick Grover
Weber County Planning Director

Exhibits

- A. Summit Eden Phase 1A-Original plat
- B. Summit Eden Phase 1A Amendment 3
- C. Approved Conceptual Plans

Map 1



Exhibit A-Summit Eden Phase 1A- Original Plat

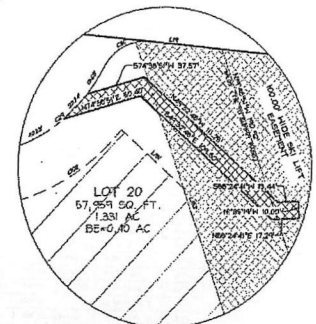
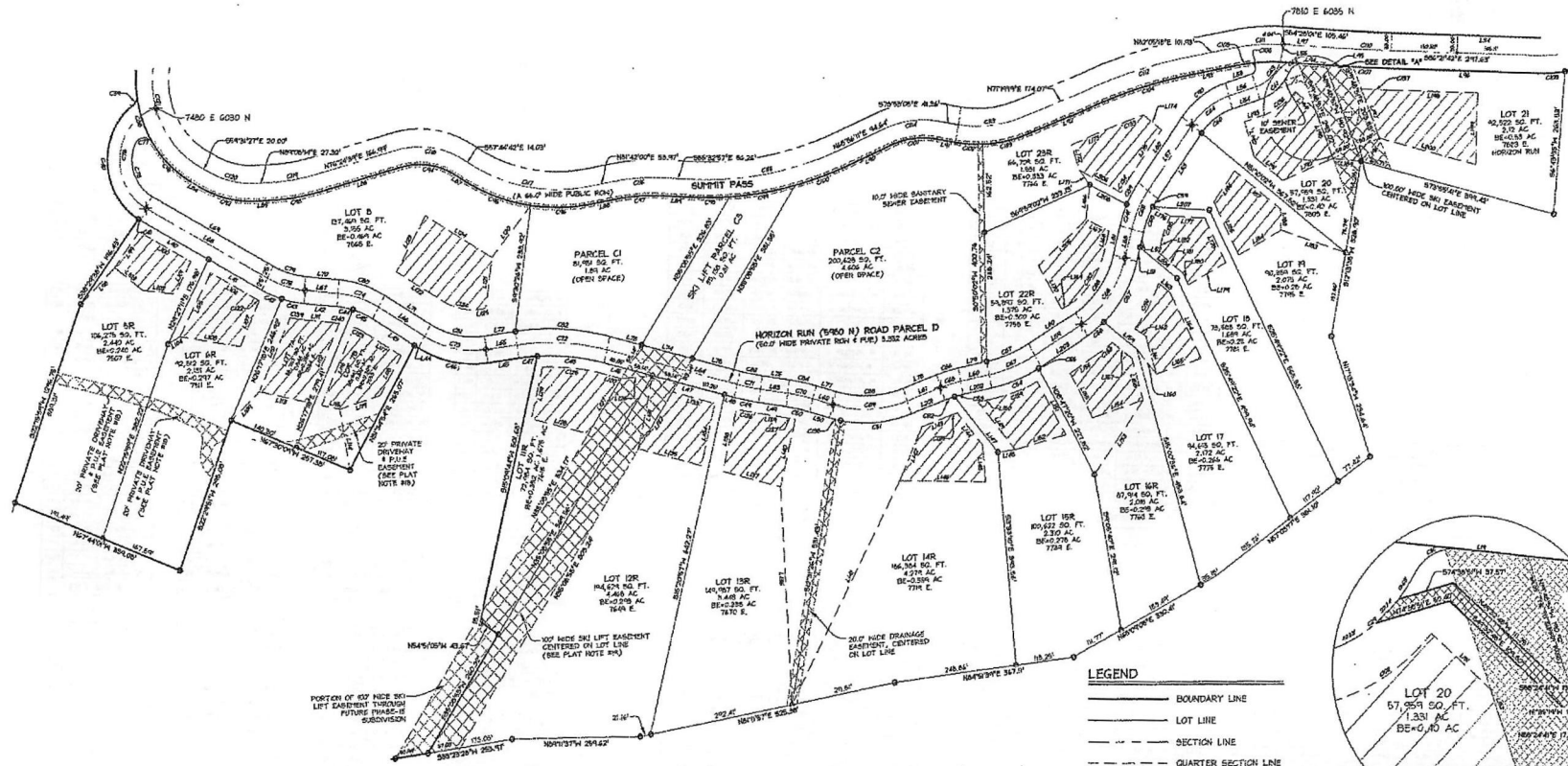
75-29

LINE TABLE			LINE TABLE		
LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION
L1	32.05"	N 89°53'30"E	L54	1.39"	N 102°00'00"E
L2	27.52"	N 89°53'30"E	L55	205.07'	N 73°54'54"E
L3	66.69'	N 73°24'30"E	L56	237.80'	N 67°00'00"E
L4	14.05'	N 57°54'42"E	L57	268.00'	S 32°28'00"E
L5	53.87'	N 57°54'42"E	L58	254.00'	N 67°40'00"E
L6	16.24"	S 57°33'57"E	L59	189.88'	N 67°00'00"E
L7	17.41"	S 57°33'57"E	L60	76.42'	N 67°00'00"E
L8	0.28"	N 70°00'00"E	L61	10.00'	N 32°34'00"E
L9	73.67'	N 71°00'00"E	L62	46.14"	S 67°57'30"E
L10	101.63'	N 82°00'00"E	L63	10.17'	N 70°00'00"E
L11	16.17'	S 84°50'00"E	L64	24.61'	N 70°00'00"E
L12	297.43'	S 54°52'42"E	L65	106.42'	N 67°00'00"E
L13	85.57"	N 72°46'42"E	L66	251.14'	N 67°00'00"E
L14	10.00'	N 72°46'42"E	L67	10.00'	N 67°00'00"E
L15	145.17'	N 70°00'00"E	L68	133.55'	S 34°23'00"E
L16	240.01'	S 82°27'36"E	L69	10.00'	N 67°00'00"E
L17	528.49'	S 69°53'30"E			
L18	238.14'	N 87°45'00"E			
L19	8.02'	S 47°59'30"E			
L20	10.84'	S 47°59'30"E			
L21	80.74'	N 87°00'00"E			
L22	50.74'	N 87°00'00"E			
L23	83.29'	S 84°27'22"E			

0E-9L

SUMMIT EDEN PHASE 1A

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 6,
NORTH 1/2 SECTION 7 AND NORTHWEST 1/4 SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SLEB1, WEBER COUNTY, UTAH,
JANUARY 2014



- LEGEND**
- BOUNDARY LINE
 - LOT LINE
 - SECTION LINE
 - QUARTER SECTION LINE
 - COUNTY LINE
 - ADJONER DEED LINES
 - NO ACCESS LINE
 - AREA TIE LINES
 - CALCULATED SECTION CORNER AS NOTED
 - SECTION CORNER AS NOTED
 - SET 5/8" X 2" REBAR WITH PLASTIC CAP STAMPED "NOLTE ASSOC."
 - STREET MONUMENT
 - BUILDING ENVELOPE
 - EASEMENT
 - FUTURE SKI LIFT EASEMENT PHASE 1E

SUMMIT EDEN PHASE 1A
LOTS 5 TO 21, PARCELS C1, C2 AND C3

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 6,
NORTH 1/2 SECTION 7 AND NORTHWEST 1/4 SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SLEB1, WEBER COUNTY, UTAH

Sheet 3 of 4

NV5
NOLTE VERTICAL FIVE

RECORDED &
STATE OF UTAH, COUNTY OF WEBER,
RECORDED AND FILED AT THE
REQUEST OF:
SUBMITTER: **2472943**
DATE: _____ TIME: _____
BOOK: **75** PAGE: **20 of 31**
FEE: \$ _____
WEBER COUNTY RECORDER

LOCATED IN SOUTHWEST ¼ SECTION 5, SOUTH ½ SECTION 6,
NORTH ½ SECTION 7 AND NORTHWEST ¼ SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, 518M., WEEBER COUNTY, UTAH.
JANUARY 2014

SUMMIT EDEN PHASE 1A, ADMENDMENT 3 AMENDING LOTS 7A AND 7B

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 5 SECTION 6,
NORTH 5 SECTION 7 AND NORTHWEST 1/4 SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, 58TH, HEBER COUNTY, UTAH
MAY 2016

SURVEYOR'S CERTIFICATE

I, RICHARD H. MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 8A, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-117 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED IN THIS PLAT, AND THAT THIS PLAT SUPPORTS EDEN PHASE 1A, AMENDMENT 3, IN HEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDING SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE HEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF HEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

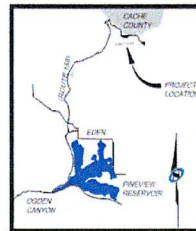


RICHARD H. MILLER
PROFESSIONAL LAND SURVEYOR
UTAH CERTIFICATE NO. 15564

LEGAL DESCRIPTION: SUMMIT EDEN PHASE 1A, LOT 119 (LOTS 7A/7B AMENDED)

BEGINNING AT THE NORTHEAST CORNER OF LOT 64, SUMMIT EDEN PHASE 1A, AS RECORDED IN THE OFFICE OF THE HEBER COUNTY RECORDER, SAID POINT ALSO BEING ON THE SOUTH LINE OF HORIZON RUN, SAID POINT LIES WEST 2,528.14 FEET AND SOUTH 1.87% FEET FROM THE EAST QUARTER CORNER OF SECTION 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARINGS BEING NORTH 88°55'10" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE SET HEBER COUNTY MONUMENT ON THE INTERSECTION OF THE HEBER/CACHE COUNTY LINE AND THE SECTION LINE), AND RUNNING THENCE ALONG THE SOUTHERLY LINE OF SAID HORIZON RUN THE NEXT FOUR COURSES AND DISTANCES 1) SOUTHEASTERLY 48.00 FEET ALONG THE ARC OF A 225.00 RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 114°24'01" (CHORD BEARS SOUTH 77°31'04" EAST A DISTANCE OF 46.92 FEET), 2) SOUTH 83°22'30" EAST 67.47 FEET, 3) SOUTH EASTERLY 76.23 FEET ALONG THE ARC OF A 175.00 RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 24°57'00" (CHORD BEARS SOUTH 70°59'00" EAST A DISTANCE OF 76.63 FEET), 4) SOUTH 84°25'00" EAST 76.53 FEET, THENCE SOUTH 84°45'00" WEST 266.07 FEET TO THE SOUTH EAST CORNER, THENCE NORTH 67°30'00" WEST 257.30 FEET TO THE SOUTH WEST CORNER, THENCE NORTH 24°17'00" EAST 246.92 FEET TO THE POINT OF BEGINNING.

CONTAINING 72.03 SQUARE FEET OR 1.65 ACRES



Vicinity Map
N.T.S.

SURVEY NARRATIVE

1-THIS SURVEY WAS PERFORMED TO AMEND THE LOT LINE BETWEEN LOT 7A AND 7B, NOW KNOWN AS LOT 119.

2-BASIS OF BEARINGS FOR THIS PLAT IS NORTH 88°55'10" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE SET HEBER COUNTY MONUMENT ON THE INTERSECTION OF THE HEBER/CACHE COUNTY LINE AND THE SECTION LINE. THIS BASIS DIFFERS FROM HEBER COUNTY SURVEYORS BASIS BY 0°00'04" AS SHOWN ON PLAT BOOK 74, PAGE 64.

PLAT NOTES:

1- THIS PLAT IS SUBJECT TO ALL LEGALLY ENFORCEABLE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES THAT APPEAR ON SAID ORIGINAL SUBDIVISION PLAT, ENTRY # 2672M3 BOOK 75, PAGE 28-31 UNLESS OTHERWISE NOTED ON THIS PLAT.

2- THE TEMPORARY SLOPE EASEMENTS AS DEFINED IN PLAT NOTE #4 ON THE ORIGINAL SUMMIT EDEN PHASE 1A SUBDIVISION PLAT, ENTRY # 2672M3, BOOK 75, PAGES 28-31, REMAIN IN PLACE AND ARE NOT INTENDED TO BE VACATED BY THIS PLAT AMENDMENT.

3- THIS PLAT VACATES THE DESIGNATED BUILDING ENVELOPES FROM PREVIOUSLY LOTS 7A AND 7B, NOW AMENDED LOT 119, AND DEFAULTS TO CURRENT ZONING SETBACKS.

4- THIS PLAT VACATES A 20 FOOT PRIVATE DRIVEWAY EASEMENT NOTED AS PLAT NOTE #10 SUMMIT EDEN PHASE 1A, AS RECORDED IN THE HEBER COUNTY RECORDER'S OFFICE AS ENTRY NUMBER 2672M3 IN BOOK 75 AT PAGES 25-31.

OWNER'S DEDICATION

SPMG PHASE 1, LLC ("DECLARANT") AS THE OWNER OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBSIDIZE THE SAME INTO LOTS TO BE KNOWN HEREAFTER AS SUMMIT EDEN PHASE 1A AMENDMENT 3.

IN WITNESS WHEREOF, DECLARANT HAS EXECUTED THIS OWNER'S DEDICATION AS OF THE _____ DAY OF _____, 2016.

SPMG PHASE 1 LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY: SPMG INVESTMENTS LLC, A DELAWARE LIMITED LIABILITY COMPANY
ITS: SOLE MEMBER

BY: _____
NAME: JEFF HERDELOHN
BZ: TITLE: AUTHORIZED SIGNATORY

ACKNOWLEDGEMENT

STATE OF UTAH _____
COUNTY OF _____, 55

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY JEFF HERDELOHN, AUTHORIZED SIGNATORY OF SPMG INVESTMENTS LLC, THE SOLE MEMBER OF SPMG PHASE 1 LLC.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

RESIDING AT: _____

Sheet 1 of 2

NIV5
NOTICE VERTICAL FIVE

2016 UTAH COUNTY RECORDS ACT
BY: JEFF HERDELOHN, NIV5, 2016-2018

RECORDED

STATE OF UTAH, COUNTY OF HEBER
RECORDED AND FILED AT THE

REQUEST OF: _____

ENTRY NO. _____

DATE: _____ TIME: _____

BOOK: _____ PAGE: _____

FEE \$ _____

HEBER COUNTY RECORDER

OWNER	HEBER COUNTY ATTORNEY	HEBER COUNTY SURVEYOR	HEBER COUNTY ENGINEER	HEBER COUNTY PLANNING COMMISSION APPROVAL	HEBER COUNTY COMMISSION ACCEPTANCE
SPMG PHASE 1, LLC 3632 N. WOLF CREEK DR. EDEN, UT 84310	I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT. SIGNED THIS _____ DAY OF _____, 20____ _____ SIGNATURE	I HEREBY CERTIFY THAT THE HEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN THE COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE HEBER COUNTY SURVEYORS DOES NOT RELIEVE THE LICENSED LAND SURVEYOR AND EXECUTED THIS PLAT FROM RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS _____ DAY OF _____, 20____ _____ COUNTY SURVEYOR	I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE ATTENT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS. SIGNED THIS _____ DAY OF _____, 20____ _____ SIGNATURE	THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS ONLY APPROVED BY THE HEBER COUNTY PLANNING COMMISSION ON THE DAY OF _____, 20____ _____ CHAIRMAN-HEBER COUNTY PLANNING COMMISSION	THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WORKS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, HAS BEEN REVIEWED AND APPROVED AND ACCEPTED BY THE COMMISSIONERS OF HEBER COUNTY, UTAH. THIS _____ DAY OF _____, 20____ _____ ATTEND TITLE: _____

Exhibit B-Summit Eden Phase 1A Amendment 3

SUMMIT EDEN PHASE 1A, AMENDMENT 3 AMENDING LOTS 7A AND 7B

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 8 SECTION 6,
NORTH 1/4 SECTION 7 AND NORTHWEST 1/4 SECTION 8, T27N
R10E, S40E, HARRIS COUNTY, TEXAS
MAY 2016

BOUNDARY OF HARRIS COUNTY
STATE PLAT 4000 PER HARRIS COUNTY SHERRIFF OFFICE
NORTHWEST CORNER SECTION 5
SALT LAKE BASIN AND TERRAIN
NORTHWEST CORNER SECTION 6
SALT LAKE BASIN AND TERRAIN
EAST QUARTER CORNER SECTION 6
SALT LAKE BASIN AND TERRAIN
EAST QUARTER CORNER SECTION 7
SALT LAKE BASIN AND TERRAIN
EAST QUARTER CORNER SECTION 8
SALT LAKE BASIN AND TERRAIN

CURVE TABLE	
CURVE LENGTH	RADIUS DELTA LONG CHORD LENGTH
0.25	228.00' 100.00' 9.4000' E - 49.60'
0.50	456.00' 200.00' 18.8000' E - 99.20'
0.75	684.00' 300.00' 28.2000' E - 148.80'
1.00	912.00' 400.00' 37.6000' E - 198.40'
1.25	1140.00' 500.00' 47.0000' E - 248.00'
1.50	1368.00' 600.00' 56.4000' E - 297.60'
1.75	1596.00' 700.00' 65.8000' E - 347.20'
2.00	1824.00' 800.00' 75.2000' E - 396.80'
2.25	2052.00' 900.00' 84.6000' E - 446.40'
2.50	2280.00' 1000.00' 94.0000' E - 496.00'
2.75	2508.00' 1100.00' 103.4000' E - 545.60'
3.00	2736.00' 1200.00' 112.8000' E - 595.20'
3.25	2964.00' 1300.00' 122.2000' E - 644.80'
3.50	3192.00' 1400.00' 131.6000' E - 694.40'
3.75	3420.00' 1500.00' 141.0000' E - 744.00'
4.00	3648.00' 1600.00' 150.4000' E - 793.60'
4.25	3876.00' 1700.00' 159.8000' E - 843.20'
4.50	4104.00' 1800.00' 169.2000' E - 892.80'
4.75	4332.00' 1900.00' 178.6000' E - 942.40'
5.00	4560.00' 2000.00' 188.0000' E - 992.00'
5.25	4788.00' 2100.00' 197.4000' E - 1041.60'
5.50	5016.00' 2200.00' 206.8000' E - 1091.20'
5.75	5244.00' 2300.00' 216.2000' E - 1140.80'
6.00	5472.00' 2400.00' 225.6000' E - 1190.40'
6.25	5700.00' 2500.00' 235.0000' E - 1240.00'
6.50	5928.00' 2600.00' 244.4000' E - 1289.60'
6.75	6156.00' 2700.00' 253.8000' E - 1339.20'
7.00	6384.00' 2800.00' 263.2000' E - 1388.80'
7.25	6612.00' 2900.00' 272.6000' E - 1438.40'
7.50	6840.00' 3000.00' 282.0000' E - 1488.00'
7.75	7068.00' 3100.00' 291.4000' E - 1537.60'
8.00	7296.00' 3200.00' 300.8000' E - 1587.20'
8.25	7524.00' 3300.00' 310.2000' E - 1636.80'
8.50	7752.00' 3400.00' 319.6000' E - 1686.40'
8.75	7980.00' 3500.00' 329.0000' E - 1736.00'
9.00	8208.00' 3600.00' 338.4000' E - 1785.60'
9.25	8436.00' 3700.00' 347.8000' E - 1835.20'
9.50	8664.00' 3800.00' 357.2000' E - 1884.80'
9.75	8892.00' 3900.00' 366.6000' E - 1934.40'
10.00	9120.00' 4000.00' 376.0000' E - 1984.00'

LEGEND

- BOUNDARY LINE
- LOT LINE
- SECTION LINE
- QUARTER SECTION LINE
- COUNTY LINE
- ADJACENT DEED LINES
- NO ACCESS LINE
- AREA TIE LINES
- CALCULATED SECTION CORNER AS NOTED
- SECTION CORNER AS NOTED
- SET 5/8" X 7" REBAR WITH 1/2" DIA. STEEL W/ 1/2" DIA. STEEL TO BE CONSTRUCTED

AMENDED NOTE

LOTS 7A AND 7B ARE BEING AMENDED FROM ORIGINAL PLAT AS SHOWN HEREON

DATE

SHHG PHASE 1, LLC
3432 N. WOLF CREEK DR.
EDEN, UT 84301

Sheet 2 of 2

NV5

NOTE VERTICAL LINE

RECORDED & RETURNED TO COUNTY OF HARRIS
RECORDED AND FILED AT THE
DATE _____ OFFICE NO. _____ FILE NO. _____
FILE NO. _____

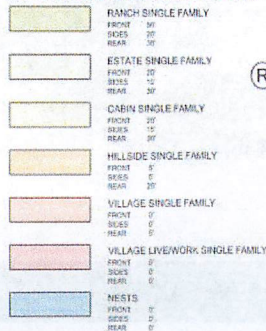


SUMMIT EDEN
PHASE 1 PRUD SUBMITTAL

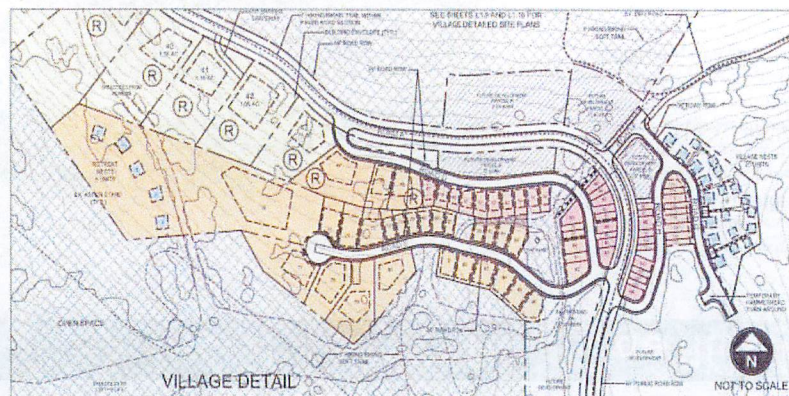
POWDER MOUNTAIN, WEBER COUNTY, UTAH



DATE:	MARCH 15, 2013
PROJECT:	5015006.AB
DRAWN BY:	EL
REVIEW BY:	
VERSION:	PRUG
REVISIONS:	
SHEET TITLE:	OVERALL SITE PLAN
SHEET NUMBER:	L1.2



TOTAL PRUD BOUNDARY AREA	5542.25 ACRES
ZONE FV-3 AREA	392.04 ACRES
ZONE F-40 AREA	199.83 ACRES
ZONE CVR-1 AREA	2.46 ACRES
CACHE COUNTY AREA	4.90 ACRES
ROAD ROW AREA	18.90 ACRES
SLOPES > 40%	111.85 ACRES
NET DEVELOPABLE AREA	463.42 ACRES
PROPOSED LOTS	116 LOTS
PROPOSED UNITS	154 UNITS
RANCH SINGLE FAMILY	8 UNITS
ESTATE SINGLE FAMILY	25 UNITS
CABIN SINGLE FAMILY	11 UNITS
HILLSIDE SINGLE FAMILY	37 UNITS
VILLAGE SINGLE FAMILY	24 UNITS
VILLAGE LIVING/WORK SF	21 UNITS
NESTS	40 UNITS
PROPOSED DENSITY	1 UNIT/3.85 ACRES
PROPOSED OPEN SPACE	384.19 ACRES (69.6%)



The Ridge Illustrative Plan



Placement of development within the Ridge area has been sensitive to the existing ski experience at Powder Mountain with future hotels and multi family units designed to be within ski access to the existing mountain while maintaining the existing ski accesses. Single family units have been located on the mountain within existing tree massing to provide visual and physical protection as well as to maintain those important open meadow and hillsides for the remainder of the Resort.

KEY MAP





Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on final plat approval of Summit Eden Phase 1A Amendment 4, adjusting the lot line between Lots 19 & 20 and combining Lots 22R & 23R that were previously platted in the Summit Eden Phase 1A, into three building lots to be platted as Lots 120, 121 & 122R

Type of Decision: Administrative

Agenda Date: Tuesday, June 28, 2016

Applicant: SMHG Phase 1, LLC

Authorized Representative: Rick Everson

File Number: UVS060216

Property Information

Approximate Address: 7758 East Horizon Run Eden, UT

Project Area: 6.312 Acres

Zoning: DRR-1 Zone

Existing Land Use: Resort Development/Open Space

Proposed Land Use: Resort Development/Open Space

Parcel ID: 23-128-0014, 23-128-0015, 23-128-0017 & 23-128-0018

Township, Range, Section: Township 7 North, Range 2 East, Section 5, 6, 7 & 8

Adjacent Land Use

North:	Ski Resort	South:	Ski Resort
East:	Ski Resort	West:	Ski Resort

Staff Information

Report Presenter: Ronda Kippen
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: RG

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1)
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 106, Subdivisions, Chapter 1-8 as applicable

Background and Summary

The applicant has submitted a request for final plat approval of Summit Eden Phase 1A Amendment 4, a small subdivision consisting of three lots. The proposed subdivision is located at approximately 7758 East Horizon Run, and is in the DRR-1 zone. Summit Eden Phase 1A was initially approved as a PRUD in 2013 and platted in 2014 (see Exhibit A). A rezone petition along with a Zoning Development Agreement was finalized and approved in January 2015. The PRUD and the Zoning Development Agreement Master Plan have identified the proposed area as an area anticipated for residential development.

The applicant would now like to adjust the lot line between Lot 19 & 20 and combine all of Lot 22R and 23R into one building lot (see Exhibit B). The proposed amendment will consist of 6.312 acres and is located in the DRR-1 Zone. The proposed subdivision and lot configuration is in conformance with the approved PRUD, current zoning and the Zoning Development Agreement Master Plan (see Exhibit C) as well as the applicable subdivision requirements as required in the Uniform Land Use Code of Weber County (LUC).

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by encouraging development within the existing resort-related commercial areas.

Zoning: The subject property is located in the Ogden Valley Destination and Recreation Resort Zone more particularly described as the DRR-1 zone. The purpose and intent of the DRR-1 zone is identified in the LUC §104-29-1 as:

"The purpose of this chapter is to provide flexible development standards to resorts that are dedicated to preserving open space and creating extraordinary recreational resort experiences while promoting the goals and objectives of the Ogden Valley general plan. It is intended to benefit the residents of the county and the resorts through its ability to preserve the valley's rural character, by utilizing a mechanism that allows landowners to voluntarily transfer development rights to areas that are more suitable for growth when compared to sensitive land areas such as wildlife habitats, hazardous hillsides or prime agricultural parcels. Resorts that lie within an approved destination and recreation resort zone shall, by and large, enhance and diversify quality public recreational opportunities, contribute to the surrounding community's well-being and overall, instill a sense of stewardship for the land."

As part of the subdivision process, the proposal has been reviewed against the current subdivision ordinance in LUC §106, the approved PRUD and the standards in the DRR-1 zone in LUC §104-29. Small subdivisions as defined in LUC §101-7 can be administratively approved per LUC §106-1-5(b)(1) and the proposal has been reviewed against the adopted zoning and subdivision ordinances to ensure that the regulations and standards have been adhered to. The proposed subdivision is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: The adjustment to the lot line between Lot 19 & 20 and combination of Lot 22R and 23R into one building lot will create three building lots ranging in size from 0.89 acres to 2.91 acres to be platted as Lot 120, 121 & 122(R) and will not create additional density in the area. Lot 122R is considered to be a restricted or "R" lot due to the existing slopes exceeding 25% or more.). A note to provide the required "Notice to Purchasers of Restricted (R) Lots" has been added to the plat notes to ensure adequate notification of the required Hillside Review process. The developer would like to vacate the self imposed "building envelope" on all four lots that were part of the initial plat to allow the development flexibility that the DRR-1 Zone permits.

The DRR-1 Zone does not have a minimum lot area or a minimum lot width requirement per LUC §104-29-2(h) for a single family residential dwelling. The following development standards will be reviewed upon submittal for single family building permit:

- Front yard setback: 0 feet
- Side yard setback: 8 feet with a total of two required side yards of not less than 18 feet
- Rear yard setback: 10 feet
- Average building height: 35 feet

A lodge is being proposed to be located on the future Lot 120 as part of the future development of the resort. Prior to receiving land use approval for a building permit application, the applicant will need to submit plans for review and approval per LUC §108-1-2(a) which requires "Design Review" of all applications for building permits including but not limited to recreation resort uses, businesses and commercial structures. The review will include the considerations relating to the building location, major exterior elevations, building materials, color schemes, landscaping, screening and parking for all site development. The Planning Director may review and approve structures located above 6,200 feet above sea level with a total footprint of less than 75,000 square feet.

The DRR-1 Zone does not have a minimum lot area or a minimum lot width requirement per LUC §104-29-2(h) for multi-family, commercial or mixed use structures. The following development standards will be reviewed upon submittal for the design review and building permit of the future lodge:

- Front yard setback: 0 feet
- Side yard setback: 0 feet
- Rear yard setback: 0 feet
- Average building height: 75 feet

The proposed lot configuration meets the area and width standards in the DRR-1 Zone. The proposal is in conformance with previous approvals and updates to the PRUD and the Zoning Development Agreement.

Natural Hazards Overlay Zone:: The proposed subdivision is located in a Zone “D” as determined by FEMA to be an area of undetermined flood hazards. Areas designated as Zone “D” are typically areas in which no analysis of flood hazards has been conducted.

The proposed lot is located within a potential geologic hazard unit per the UGS published Ogden 30 x 60 Quadrangle map. The geologic units identified on the site are “Tw” and “Qms”. A geologic site reconnaissance or any required geologic reports based on the investigation/studies that may be deemed necessary by the applicant’s consultant to provide the correct development measures that will be necessary for the development of the lots will be required to be submitted with any application for building permit approval. All site development will need to adhere to the recommendations of any reports and a “Natural Hazards Disclosure” document will be required to be recorded prior to receiving final occupancy to provide adequate notice of any geotechnical and geological recommendations to future property owners.

Culinary water and sanitary sewage disposal: Culinary and sewer services are provided by Powder Mountain Water and Sewer Improvement District. Based on the original approvals, additional proof of culinary and sanitary sewage services will not be required at this time. A letter and connect fee from Powder Mountain Water and Sewer District will be required to be submitted with the building permit application.

Review Agencies: The Weber Fire District has reviewed and approved the proposed subdivision amendment. The Weber County Surveyor’s Office has reviewed and provided minor corrections that the applicant will need to correct prior to receiving approval from the County Surveyor’s Office. To date, the Weber County Engineering Division has not reviewed the application. A condition of approval has been included to ensure that all applicable review agencies requirements will be met prior to recording the subdivision Mylar.

Additional design standards and requirements: A plat note stating the amendment is subject to all the plat notes that were part of the original Summit Eden Phase 1A including a temporary slope easement as defined as “Note #14” on the original plat will remain in place and will not be vacated with the proposed amendment. The applicant has also provided the required “Notice to Purchaser of Restricted (R) Lots” as “Note #4” on the proposed amendment.

There may be additional site preparation in conjunction with an approved building permit. The proposed subdivision does not require the realignment of or the creation of a new street system. With the exception of the recommended conditions identified in this staff report additional standards and requirements are unnecessary at this time.

Tax clearance: The 2015 property taxes have been paid in full. The 2016 property taxes will be due in full on November 1, 2015.

Public Notice: The required noticing for the final subdivision plat approval has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed small subdivision per noticing requirements outlined in LUC §106-1-6(c).

Staff Recommendation

Staff recommends final plat approval of Summit Eden Phase 1A Amendment 4, adjusting the lot line between Lots 19 & 20 and combining Lots 22R & 23R that were previously platted in the Summit Eden Phase 1A, into three building lots to be platted as Lots 120, 121 & 122R. This recommendation for approval is subject to all applicable review agency requirements and is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. With the recommended conditions, the proposed subdivision complies with all previous approvals and the applicable County ordinances.
3. The proposed subdivision will not be detrimental to the public health, safety, or welfare.
4. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Administrative Approval

Administrative final plat approval of Summit Eden Phase 1A Amendment 4, adjusting the lot line between Lots 19 & 20 and combining Lots 22R & 23R that were previously platted in the Summit Eden Phase 1A, into three building lots to be platted as Lots 120, 121 & 122R, is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and is based on the findings listed in this staff report.

Date of Administrative Approval: _____

Rick Grover
Weber County Planning Director

Exhibits

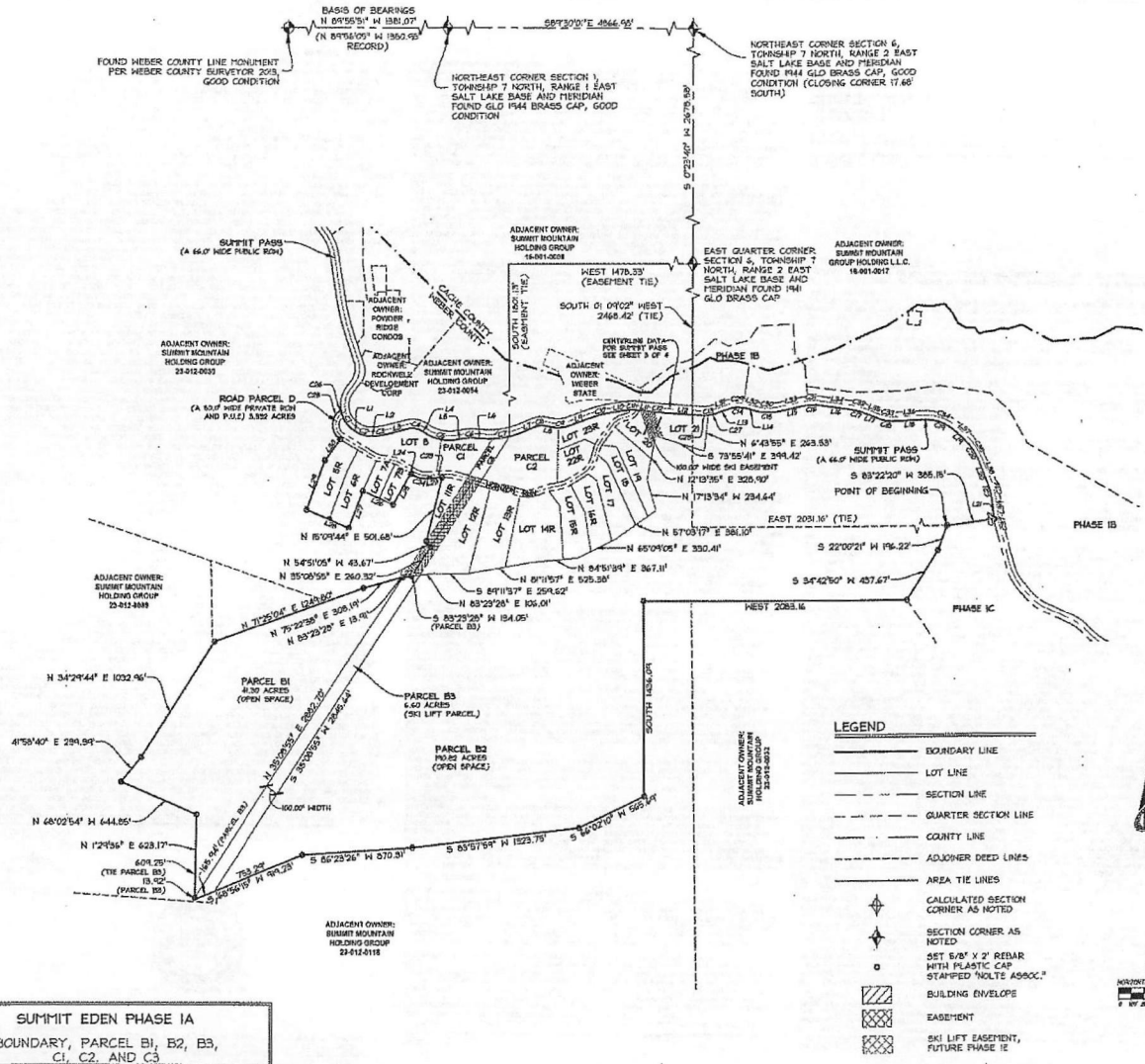
- A. Summit Eden Phase 1A-Original plat
- B. Summit Eden Phase 1A Amendment 4
- C. Approved Conceptual Plans

Map 1



SUMMIT EDEN PHASE 1A

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 4,
NORTH 1/2 SECTION 7 AND NORTHWEST 1/4 SECTION 6 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN,
HEBER COUNTY, UTAH.
JANUARY 2014



SUMMIT EDEN PHASE 1A
BOUNDARY, PARCEL B1, B2, B3,
C1, C2, AND C3

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 4,
NORTH 1/2 SECTION 7 AND NORTHWEST 1/4 SECTION 6 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND
MERIDIAN, HEBER COUNTY, UTAH

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C1	305.47	238.00	53°55'00"	S 32°33'32" E	353.17
C2	155.00	235.00	57°25'00"	S 75°13'30" E	164.50
C3	407.20	405.20	12°42'00"	N 82°40'37" E	107.41
C4	171.62	167.00	14°00'00"	S 84°00'00" E	144.50
C5	278.30	147.00	147°00'00"	S 75°00'00" E	295.47
C6	413.30	405.20	17°40'00"	N 80°00'00" E	42.00
C7	306.41	755.00	20°30'00"	N 84°00'00" E	323.75
C8	15.70	147.00	32°30'00"	N 80°00'00" E	42.50
C9	147.40	235.00	21°47'30"	N 84°00'00" E	145.50
C10	101.70	147.00	10°40'00"	N 75°00'00" E	84.44
C11	42.50	310.00	13°24'00"	N 88°40'34" E	42.04
C12	101.40	305.47	15°40'	S 80°24'54" E	101.00
C13	112.32	100.00	37°23'37"	N 82°14'30" E	11.67
C14	402.57	247.00	32°40'47"	N 80°30'00" E	102.74
C15	234.40	405.20	24°40'00"	S 84°00'00" E	232.00
C16	154.20	407.20	19°03'37"	N 87°37'27" E	154.60
C17	403.40	401.00	02°00'00"	S 75°00'00" E	33.44
C18	174.12	530.00	22°15'00"	S 87°00'40" E	170.31
C19	203.40	347.00	44°40'00"	S 70°00'00" E	276.41
C20	233.40	147.00	25°33'40"	S 80°00'40" E	235.50

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C21	178.52	147.00	17°44'00"	S 75°24'40" E	174.02
C22	6.90	605.42	07°50'10"	S 64°00'10" E	6.14
C23	87.87	475.00	23°40'00"	S 64°32'04" N	87.84
C24	146.20	235.00	37°43'37"	N 77°02'32" N	145.61
C25	240.30	100.00	16°40'00"	S 71°00'00" E	204.94
C26	25.47	200.00	47°00'00"	N 25°00'00" E	20.40
C27	144.40	300.00	17°00'00"	N 77°00'00" E	144.30
C28	112.40	300.00	17°00'00"	N 64°00'00" E	112.77
C29	171.70	300.00	32°40'00"	N 60°00'00" E	145.42
C30	201.56	400.00	24°40'00"	S 80°00'00" E	201.67
C31	47.40	300.00	14°00'00"	N 87°00'00" E	34.62
C32	171.67	500.00	07°00'00"	S 75°00'00" E	165.00
C33	16.30	300.00	27°20'00"	S 80°00'40" E	15.60
C34	300.80	400.00	44°40'00"	S 70°00'00" E	300.20
C35	246.70	600.00	25°33'40"	S 84°00'40" E	246.00
C36	88.34	600.00	17°40'00"	S 80°24'54" E	144.91
C37	402.67	275.40	47°00'00"	S 73°00'00" E	410.87

LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION
L1	30.00	S 85°00'00" E	L34	9.30	N 80°00'00" E
L2	27.30	N 85°00'00" E	L35	200.00	S 75°00'00" E
L3	46.00	N 75°00'00" E	L36	257.30	N 67°00'00" E
L4	14.00	S 75°00'00" E	L37	250.00	S 22°00'00" E
L5	53.00	N 87°00'00" E	L38	254.00	N 67°40'00" E
L6	14.24	S 85°30'00" E	L39	281.40	N 22°00'00" E
L7	46.44	N 85°00'00" E	L40	196.40	N 80°00'00" E
L8	13.34	S 75°00'00" E	L41	100.00	N 75°00'00" E
L9	174.00	N 75°00'00" E	L42	84.14	S 74°00'00" E
L10	101.00	N 80°00'00" E	L43	303.77	N 75°00'00" E
L11	141.17	S 84°00'00" E	L44	241.01	S 80°00'00" E
L12	200.40	S 84°00'00" E	L45	200.40	S 67°00'00" E
L13	103.97	N 72°00'00" E	L46	251.14	N 87°40'00" E
L14	45.14	S 74°00'00" E	L47	0.00	S 47°00'00" E
L15	143.17	N 75°00'00" E	L48	113.52	S 24°00'00" E
L16	241.01	S 82°00'00" E	L49	140.84	S 47°00'00" E
L17	104.40	S 64°00'00" E			
L18	281.14	N 87°40'00" E			
L19	86.00	S 47°00'00" E			
L20	101.50	S 24°00'00" E			
L21	103.34	S 47°00'00" E			
L22	80.14	N 83°00'00" E			
L23	63.20	S 64°00'00" E			

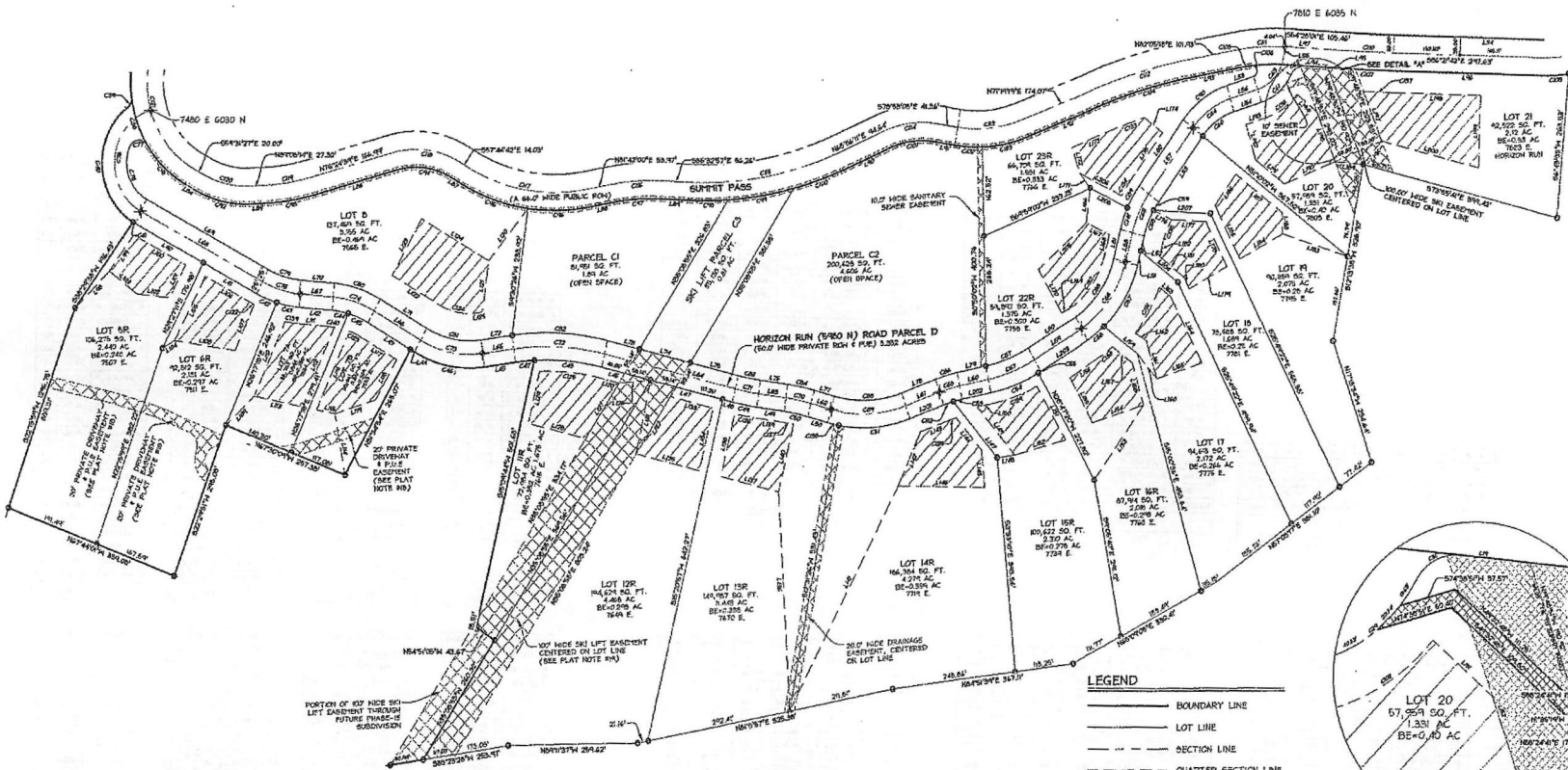
Sheet 2 of 4

RECORDED &
STATE OF UTAH, COUNTY OF HEBER,
RECORDED AND FILED AT THE
REGISTER OF:
ENTRY NO. 1472943
DATE: _____ TIME: _____
BOOK: 75 PAGE: 28 of 31
FEE \$ _____
HEBER COUNTY RECORDER

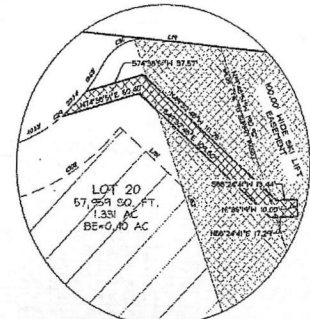
NIV5
NOLTE VERTICAL/PFE
210 N. MAIN STREET, SUITE 100
HEBER, UTAH 84301
(435) 864-1000

SUMMIT EDEN PHASE 1A

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 4,
NORTH 1/2 SECTION 7 AND NORTHEAST 1/4 SECTION 8 OF
TOWNSHIP 1 NORTH, RANGE 2 EAST, SALT LAKE COUNTY, UTAH.
JANUARY 2014



- LEGEND**
- BOUNDARY LINE
 - LOT LINE
 - SECTION LINE
 - QUARTER SECTION LINE
 - COUNTY LINE
 - ADJOINER DEED LINES
 - NO ACCESS LINE
 - AREA TIE LINES
 - CALCULATED SECTION CORNER AS NOTED
 - SECTION CORNER AS NOTED
 - SET 5/8" X 2" REDAR WITH PLASTIC CAP STAMPED "NITE ASSOC."
 - STREET MONUMENT
 - BUILDING ENVELOPE
 - EASEMENT
 - FUTURE SKI LIFT EASEMENT PHASE 1E



DETAIL "A"
10' SEWER EASEMENT
N.T.S.

SUMMIT EDEN PHASE 1A
LOTS 5 TO 21, PARCELS C1, C2 AND C3

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 4,
NORTH 1/2 SECTION 7 AND NORTHEAST 1/4 SECTION 8 OF
TOWNSHIP 1 NORTH, RANGE 2 EAST, SALT LAKE COUNTY, UTAH

Sheet 3 of 4

STATE OF UTAH, COUNTY OF NEBER,
RECORDED AND FILED AT THE
REQUEST OF:
SHEET NO. 3 OF 4
DATE: 7/5
BOOK: 75
PAGE: 28 to 31
FEE \$
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NITE VERTICAL
NITE VERTICAL

SUMMIT EDEN PHASE 1A

LOCATED IN SOUTHWEST ¼ SECTION 5, SOUTH ½ SECTION 6,
NORTH ½ SECTION 7 AND NORTHWEST ¼ SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SLBM, WEBER COUNTY, UTAH
JANUARY 2014

LINE TABLE		
LINE	LENGTH	DIRECTION
L40	55.25'	N 60°22'40" W
L41	121.50'	N 60°22'40" E
L42	47.47'	N 85°22'50" W
L43	76.53'	N 5°22'50" E
L44	43.23'	N 56°22'50" W
L45	53.25'	S 54°22'50" W
L46	10.50'	S 78°30'00" E
L47	56.00'	N 72°30'00" W
-E5	20.24'	N 78°30'00" E
L48	56.26'	N 80°10'00" W
L50	42.29'	N 72°40'00" W
L51	27.64'	S 52°28'00" W
L52	20.43'	S 42°22'50" W
L53	50.44'	S 85°14'50" E
L54	58.93'	S 74°55'22" W
L55	35.56'	N 70°04'00" E
L56	58.93'	N 58°43'00" E
L58	55.51'	N 42°28'00" E
L59	19.34'	N 40°40'00" E

LINE TABLE		
LINE	LENGTH	DIRECTION
160	36.24	N 021°16' E
161	72.82	N 72°42' E
162	42.29	S 72°10' E
163	95.83	E 80°10' E
164	22.85	S 24°30' E
165	63.23	N 64°03' E
166	101.85	S 69°25' E
167	67.47	S 69°35' E
168	276.50	S 62°24' E
169	276.60	S 62°24' E
170	67.47	S 69°25' E
171	371.51	S 66°50' E
172	63.25	N 64°02' E
173	66.56	S 74°30' E
174	106.20	S 74°30' E
175	91.26	S 74°30' E
176	91.26	S 74°30' E
177	42.29	S 72°43' E
178	72.82	N 72°42' E
179	56.94	N 82°15' E

LINE TABLE		
LINE	LENGTH	DIRECTION
1.86	111.54	N 61°24'00" E
1.88	58.54	N 10°22'00" E
1.83	150.47	N 80°45'00" E
1.81	16.00	S 74°00'00" E
1.84	27.32	S 70°00'00" E
1.82	146.98	S 70°24'00" E
1.85	66.29	S 57°44'00" E
1.80	33.47	S 61°42'00" E
1.76	56.26	S 68°50'00" E
1.70	144.64	S 68°50'00" E
1.64	41.56	S 70°50'00" E
1.72	174.07	S 71°14'00" E
1.73	55.93	S 82°56'00" E
1.74	45.08	S 84°30'00" E
1.66	29.00	S 84°20'00" E
1.77	114.8	S 84°20'00" E
1.78	97.06	S 84°23'00" E
1.65	297.84	S 34°11'00" E
1.62	62.50	S 34°11'00" E

LINE TABLE		
LINE	LENGTH	DIRECTION
L00	18.00	N 60°24'E
L01	67.78	N 28°17'E
L02	66.19	S 67°03'E
L04	26.00	N 6°50'15"E
L05	63.50	N 24°27'E
L06	106.35	S 60°52'48"E
L07	63.38	N 26°17'E
L08	152.48	N 70°37'30"
L09	75.67	N 45°07'E
L10	80.54	N 26°17'30"
L11	67.47	N 59°22'58"E
L12	146.18	S 20°17'48"E
L13	47.70	N 73°12'01"E
L14	108.84	S 83°55'E
L15	37.60	N 72°12'01"E
L16	26.69	N 20°17'30"
L17	83.51	S 68°20'06"E
L18	64.40	S 31°45'45"E
L19	49.93	N 74°23'22"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C50	90.50	20.00	20°00'00"	8.870522 E	90.50
C49	38.47	22.00	42°36'54"	N 26°01'12" E	52.76
C48	243.30	65.00	104°04'54"	S 74°00' E	201.91
C47	4.78	23.00	21°00'00"	S 69°22'24" E	4.78
C46	43.84	22.00	170°00'00"	S 86°00'14" E	43.84
C45	45.27	22.00	170°00'00"	S 86°00'14" E	45.27
C44	32.74	22.00	170°00'00"	S 86°00'14" E	32.74
C43	43.30	17.00	94°00'00"	N 44°30'22" E	43.30
C42	146.28	22.00	37°00'00"	S 77°00'22" E	146.68
C41	37.81	476.00	43°00'00"	S 60°00'24" E	38.54
C40	136.51	476.00	12°00'00"	N 83°52'15" E	135.56
C39	50.82	526.00	6°00'00"	S 77°22'21" E	50.78
C38	49.13	575.00	7°23'23"	N 79°22'23" E	48.84
C37	16.93	276.00	31°00'00"	N 87°22'50" E	16.93
C36	22.10	276.00	42°00'00"	N 74°42'42" E	22.10
C35	24.61	276.00	42°00'00"	N 74°42'42" E	24.61
C34	63.67	305.00	10°00'00"	N 70°00'00" E	63.68
C33	65.58	305.00	09°00'00"	N 70°00'00" E	65.58
C32	48.09	225.00	10°00'00"	N 58°45'30" E	48.09
C31	132.74	225.00	33°00'00"	N 33°08'36" E	132.04

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C65	50.00	175.00	43°32'13"	9.2439614" x 5	50.00
C66	10.00	175.00	54°56'48"	3.9032007" x 1	10.00
C60	70.00	120.00	30°05'24"	5.5062183" x 7	77.74
C61	70.00	120.00	46°49'36"	5.5062000" x 7	77.74
C62	70.00	120.00	63°34'48"	5.5061817" x 7	77.74
C63	70.00	75.00	45°57'00"	4.4781761" x 6	92.93
C64	70.00	75.00	28°00'00"	5.4567903" x 6	92.93
C65	70.00	222.00	22°27'00"	5.2734254" x 6	110.87
C66	86.00	200.00	44°56'00"	3.9547461" x 5	75.25
C67	105.24	500.00	10°10'16"	8.7047411" x 1	42.85
C68	128.64	300.00	8°07'31"	8.7047017" x 1	49.58
C69	162.90	250.00	10°02'22"	8.6476911" x 1	65.52
C70	162.90	400.00	7°28'33"	8.7047210" x 1	65.52
C71	162.90	500.00	6°07'00"	8.7047017" x 1	65.52
C72	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C73	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C74	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C75	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C76	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C77	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C78	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C79	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C80	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C81	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C82	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C83	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C84	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C85	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C86	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C87	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C88	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C89	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C90	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C91	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C92	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C93	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C94	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C95	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C96	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C97	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C98	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C99	162.90	500.00	2°00'00"	8.7047017" x 1	65.52
C100	162.90	500.00	2°00'00"	8.7047017" x 1	65.52

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C12	12.67	75.00	50°30'38"	5.7322002°E	20.285
C13	67.15	110.00	22°49'05"	5.7103744°E	64.377
C14	90.51	225.00	23°47'18"	5.7103744°E	84.377
C15	170.00	175.00	37°58'51"	5.7103744°E	173.36
C16	132.13	526.67	18°03'27"	5.8309728°E	116.44
C17	45.90	475.00	13°42'37"	5.7720723°E	45.86
C18	56.78	438.00	7°30'03"	5.7672733°E	55.6
C19	124.41	225.00	33°02'29"	5.8164538°E	99.47
C20	46.67	600.00	9°07'54"	5.7670070°E	46.665
C21	9.63	250.00	17°01'14"	5.8514774°E	9.381
C22	36.93	175.00	44°46'06"	5.7505747°E	35.64
C23	100.00	175.00	37°58'51"	5.7505747°E	100.00
C24	170.00	175.00	37°58'51"	5.7505747°E	170.00
C25	104.51	225.00	33°02'29"	5.8505747°E	104.52
C26	132.13	526.67	18°03'27"	5.8505747°E	126.88
C27	100.00	225.00	23°47'18"	5.7517733°E	100.00
C28	170.00	225.00	23°47'18"	5.7517733°E	170.00
C29	170.00	225.00	23°47'18"	5.7517733°E	170.00
C30	170.00	225.00	23°47'18"	5.7517733°E	170.00
C31	170.00	225.00	23°47'18"	5.7517733°E	170.00
C32	170.00	225.00	23°47'18"	5.7517733°E	170.00
C33	170.00	225.00	23°47'18"	5.7517733°E	170.00
C34	170.00	225.00	23°47'18"	5.7517733°E	170.00
C35	170.00	225.00	23°47'18"	5.7517733°E	170.00
C36	170.00	225.00	23°47'18"	5.7517733°E	170.00
C37	170.00	225.00	23°47'18"	5.7517733°E	170.00
C38	170.00	225.00	23°47'18"	5.7517733°E	170.00
C39	170.00	225.00	23°47'18"	5.7517733°E	170.00
C40	170.00	225.00	23°47'18"	5.7517733°E	170.00
C41	170.00	225.00	23°47'18"	5.7517733°E	170.00
C42	170.00	225.00	23°47'18"	5.7517733°E	170.00
C43	170.00	225.00	23°47'18"	5.7517733°E	170.00
C44	170.00	225.00	23°47'18"	5.7517733°E	170.00
C45	170.00	225.00	23°47'18"	5.7517733°E	170.00
C46	170.00	225.00	23°47'18"	5.7517733°E	170.00
C47	170.00	225.00	23°47'18"	5.7517733°E	170.00
C48	170.00	225.00	23°47'18"	5.7517733°E	170.00
C49	170.00	225.00	23°47'18"	5.7517733°E	170.00
C50	170.00	225.00	23°47'18"	5.7517733°E	170.00

LINE TABLE		
LINE	LENGTH	DIRECTION
L120	123.52'	S 4°20'01" W
L121	95.01'	N 75°02'06" E
L122	126.43'	S 50°07'06" E
L123	104.26'	D 53°45'45" E
L124	185.46'	N 56°27'03" E
L125	9.46'	N 84°20'22" E
L126	63.57'	E 87°07'42" E
L127	121.34'	N 59°03'46" E
L128	186.82'	S 76°05'40" E
L129	16.26'	N 55°03'46" E
L130	40.34'	N 74°39'03" E
L131	97.56'	N 8°35'28" E
L132	126.27'	S 35°09'54" E
L133	84.03'	N 72°30'45" E
L134	57.86'	N 75°05'27" E
L135	36.49'	N 72°47'41" E
L136	40.46'	N 72°47'41" E
L137	120.57'	S 75°09'54" E
L138	17.25'	D 53°05'27" E
L139	55.55'	N 01°04'18" E

LINE TABLE		
LINE	LENGTH	DIRECTION
L140	127.25	N 75°20'05" E
L141	44.66	N 24°19'26" E
L142	105.96	N 23°57'05" E
L143	58.64	N 72°42'25" E
L144	76.72	S 38°35'20" E
L145	46.39	S 52°30'1" E
L146	174.90	N 64°54'05" E
L147	39.59	S 32°13'29" E
L148	59.61	N 83°47'45" E
L149	35.66	S 33°33'24" E
L150	8.66	S 60°27'51" E
L151	104.07	N 24°07'22" E
L152	106.29	N 77°08'04" E
L153	34.88	N 50°13'39" E
L154	105.12	S 74°52'24" E
L155	58.83	N 28°57'20" E
L156	66.97	N 40°47'40" E
L157	102.50	S 87°02'53" E
L158	60.66	S 90°06'36" E
L159	34.78	N 82°52'50" E

LINE TABLE		
LINE	LENGTH	DIRECTION
L360	64.0'	S 85°00'00"E
L361	72.8'	N 15°00'36"E
L362	26.5'	N 51°28'36"E
L363	30.3'	S 81°07'39"E
L364	46.9'	S 26°15'00"E
L365	69.0'	S 87°00'15"E
L367	52.9'	S 60°00'45"E
L368	45.0'	N 15°22'00"E
L369	26.5'	S 41°40'36"E
L370	35.8'	N 83°07'36"E
L372	44.5'	N 17°00'15"E
L373	46.1'	N 7°49'45"E
L374	45.2'	S 51°10'00"E
L375	105.7'	S 38°48'00"E
L376	40.2'	N 63°07'57"E
L377	70.8'	S 64°05'22"E
L378	92.4'	S 23°44'22"E
L379	87.0'	S 64°00'00"E

LINE TABLE		
LINE	LENGTH	DIRECTION
L160	24.85	N 25°49'22"
L161	62.18	N 51°07'48"
L162	26.86	N 16°22'05"
L163	157.55	N 70°09'46"
L166	10.02	S 25°49'22"
L168	71.43	S 50°48'58"
L167	17.12	N 51°07'48"
L169	36.62	N 03°00'45"
L164	56.18	N 82°05'26"
L165	70.72	S 70°10'00"
L162	67.17	N 15°04'33"
L163	43.11	N 74°51'27"
L164	34.74	S 40°51'57"
L165	97.85	S 89°48'11"
L166	71.89	N 48°07'46"
L167	176.37	S 66°21'42"
L168	10.12	S 53°05'16"

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C01	75.32	130.00	43.6351°	5.927550' E	75.320'
C04	58.25	133.00	42.6360°	4.823504' E	58.250'
C100	11.49	133.00	42.6448°	0.731733' E	11.380'
C101	51.77	76.00	52.9246°	5.857070' N	51.860'
C102	66.81	253.00	17.6525°	5.647550' E	66.480'
C103	6.54	253.00	17.6234°	0.578256' E	6.540'
C104	36.70	161.00	40.5690°	5.704217' E	36.740'
C200	22.78	336.16	33.9651°	3.442455' N	22.840'
C201	25.95	336.16	33.9754°	3.841110' N	26.010'
C202	25.95	336.16	33.9857°	4.239765' N	26.010'
C203	52.80	306.83	30.0730°	10.367200' N	52.790'
C204	105.60	221.82	22.3270°	18.764260' N	106.020'
C300	100.80	3025.14	7.5014°	5.825254' E	94.600'
C301	100.80	3025.14	7.5042°	6.464291' E	94.770'
C302	357.48	1702.00	4.04161°	7.042427' E	361.130'
C303	100.80	210.00	24.7473°	10.06370' N	100.240'
C401	123.30	200.00	32.9244°	10.867050' N	124.540'
C105	22.87	100.00	56.3100°	2.441250' N	22.870'
C106	103.81	100.00	56.3100°	10.867050' N	104.240'
C107	247.35	183.00	46.2700°	5.707071' N	249.600'

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C16	444.67	100.00	65°59'39"	16 62°40'31"	540.79
C19	302.00	100.00	67°48'38"	16 62°40'31"	318.19
C20	302.00	100.81	37°36'14"	5 75°13'58"	278.76
C21	130.65	115.65	18°58'15"	15 70°04'01"	130.65
C22	4.66	148.00	70°31"	6 69°59'24"	4.66
C23	75.49	100.00	102°05'4"	16 63°26'34"	88.40
C24	81.26	128.00	87°24'38"	16 77°02'55"	94.19
C25	100.00	100.00	102°05'4"	16 63°26'34"	113.08
C26	42.12	100.00	61°48'56"	16 77°02'55"	49.11
C27	21.95	255.00	132°30'	16 76°59'54"	23.99
C28	16.45	346.00	137°00'	16 76°59'54"	18.46
C29	44.74	346.00	154°40'	0 72°23'53"	54.63
C30	30.82	365.00	172°34"	0 72°23'53"	36.78
C31	10.17	369.00	200°00"	16 52°08'20"	10.17
C32	121.28	265.00	44°35'05"	16 50°44'48"	121.28
C33	44.67	17.00	73°02'11"	16 70°20'21"	44.67
C34	21.95	17.00	73°02'11"	16 70°20'21"	21.95
C35	45.81	17.00	89°22'22"	16 73°33'14"	45.81
C36	77.67	100.00	84°17'24"	16 75°46'55"	77.67
C37	27.77	100.00	100°34'	16 86°49'15"	27.77

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C08	22.85	275.00'	4°40'21"	S 70°55'00" E	22.85'
C09	25.80	268.00'	5°43'40"	S 80°28'50" E	25.78'
C10	3.16	165.00'	2°18'12"	N 81°45'00" W	3.16'
C16	4.34'	225.00'	10°33'25"	S 23°31'00" W	4.35'

LINE TABLE		
LINE	LENGTH	DIRECTION
L200	19.42	N 73°56'42" E
L201	72.16	S 72°42'25" E
L202	68.94	S 60°22'58" E
L203	11.34	S 61°22'40" E
L204	95.64	S 81°07'54" E
L205	120.09	S 50°41'54" E
L206	47.09	N 63°04'45" E
L207	116.50	N 84°56'22" E
L208	65.23	N 28°04'45" E

SUMMIT EDEN PHASE 1A
LINE AND CURVE
TABLES

LOCATED IN SOUTHWEST 1/4 SECTION 5, SOUTH 1/2 SECTION 6,
NORTH 1/2 SECTION 7 AND NORTHWEST 1/4 SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND
MERIDIAN, WEBER COUNTY, UTAH

RECORDED 11

STATE OF UTAH, COUNTY OF NUBER,

RECORDED AND FILED AT THE

REQUEST OF: _____

ENTRY NO: 2672943

DATE _____ TIME _____

BOOK: 75 PAGES: 281-31

FILE #

HEBER COUNTY RECORDER

75-31

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

SUMMIT EDEN PHASE 1A AMENDMENT 4 AMENDING PARCELS 19, 20, 22(R), AND 23(R)

THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
HEBER COUNTY, UTAH
MAY 2016

SURVEYOR'S CERTIFICATE

I, RICHARD W. MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 63, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-20-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED IN THIS PLAT, AND THAT THIS PLAT, SUMMIT EDEN PHASE 1A AMENDMENT 4, IN HEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDING SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE HEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

RICHARD W. MILLER
PROFESSIONAL LAND SURVEYOR
UTAH CERTIFICATE NO. 156481

LEGAL DESCRIPTION

ALL OF THE LOTS 19, 20, 22(R), AND 23(R) OF SUMMIT EDEN PHASE 1A SUBDIVISION (ENTRY #2672943, BOOK 75, PAGE 26-31), MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 122 (R)

BEGINNING AT A POINT BEING THE NORTHWEST CORNER OF LOT 23R, SUMMIT EDEN PHASE 1A SUBDIVISION, ENTRY NO. 2672943, BOOK 75, PAGE 26-31, AS RECORDED IN THE OFFICE OF THE HEBER COUNTY RECORDER, SAID POINT BEING SOUTH 0°00'00" WEST 1,740.30 FEET AND WEST 1,060.30 FEET FROM THE EAST QUARTER CORNER OF SECTION 4, T.7N, R.2E, S.16.41M (BASIS-OF-BEARING BEING N 89°55'51" W ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, T.7N, R.2E, S.16.41M AND THE SET HEBER COUNTY MONUMENT AT THE INTERSECTION OF THE HEBER-CACHE COUNTY LINE AND THE SECTION LINE) AND RUNNING THENCE ALONG THE SOUTH LINE OF SUMMIT PASS, A 66.00 WIDE PUBLIC ROADWAY, THE NEXT FIVE (5) COURSES AND DISTANCES: 1) NORTHEASTERLY 19.51 FEET ALONG THE ARC OF A 250.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 10°52'34" AND A LONG-CHORD OF N 80°35'36" E 10.19 FEET, 2) N 7°01'16" E 174.07 FEET, 3) NORTHEASTERLY 10.70 FEET ALONG THE ARC OF A 167.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 10°16'55" AND A LONG-CHORD OF N 76°21'16" E 10.44 FEET, 4) N 82°08'16" E 10.48 FEET, 5) NORTHEASTERLY 22.75 FEET ALONG THE ARC OF A 319.50 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 3°18'56" AND A LONG-CHORD OF N 80°46'16" E 22.75 FEET LEAVING SUMMIT PASS RIGHT-OF-WAY, THENCE ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF HORIZON RUN, 50 FOOT WIDE PRIVATE RIGHT-OF-WAY, THE NEXT NINE (9) COURSES AND DISTANCES: 1) SOUTHWESTERLY 24.84 FEET ALONG THE ARC OF A 10.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 1°19'14" AND A LONG-CHORD OF S 45°01'14" E 19.34 FEET, 2) S 74°56'27" W 70.18 FEET, 3) SOUTHWESTERLY 110.28 FEET ALONG THE ARC OF A 175.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 34°05'29" AND A LONG-CHORD OF S 56°52'49" E 100.42 FEET, 4) S 81°49'50" W 160.48 FEET, 5) SOUTHWESTERLY 88.17 FEET ALONG THE ARC OF A 225.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 22°27'29" AND A LONG-CHORD OF S 17°36'28" E 87.41 FEET, 6) S 10°25'01" W 55.51 FEET, 7) SOUTHWESTERLY 136.93 FEET ALONG THE ARC OF A 175.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 44°40'40" AND A LONG-CHORD OF S 30°47'45" W 134.34 FEET, 8) S 10°25'01" W 55.51 FEET, 9) SOUTHWESTERLY 119.93 FEET ALONG THE ARC OF A 275.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 34°05'29" AND A LONG-CHORD OF S 70°47'17" W 91.51 FEET TO THE SOUTHWEST CORNER OF LOT 22R OF SAID PHASE 1A SUBDIVISION, THENCE LEAVING HORIZON RUN RIGHT-OF-WAY N 07°50'32" E AND 76 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOTS 120 AND 121

BEGINNING AT A POINT BEING THE NORTHWEST CORNER OF LOT 20, SUMMIT EDEN PHASE 1A SUBDIVISION, ENTRY NO. 2672943, BOOK 75, PAGE 26-31, AS RECORDED IN THE OFFICE OF THE HEBER COUNTY RECORDER, SAID POINT BEING SOUTH 0°00'00" WEST 1,620.57 FEET AND WEST 153.44 FEET FROM THE EAST QUARTER CORNER OF SECTION 4, T.7N, R.2E, S.16.41M (BASIS-OF-BEARING BEING N 89°55'51" W ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, T.7N, R.2E, S.16.41M AND THE SET HEBER COUNTY MONUMENT AT THE INTERSECTION OF THE HEBER-CACHE COUNTY LINE AND THE SECTION LINE) AND RUNNING THENCE 5°19'51" E 100.42 FEET TO THE SOUTHWEST CORNER OF SAID LOT 21, THENCE S 17°35'14" E 208.10 FEET, THENCE S 17°35'14" E 244.44 FEET, THENCE S 17°35'14" E 77.42 FEET TO THE SOUTHEAST CORNER OF LOT 19, SAID PHASE 1A SUBDIVISION, THENCE N 26°48'22" W 56.58 FEET, THENCE N 84°19'22" W 16.50 FEET TO THE NORTHERLY MOST CORNER OF SAID LOT 19, THENCE ALONG THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF HORIZON RUN, 50 FOOT WIDE PRIVATE RIGHT-OF-WAY, THE NEXT SIX (6) COURSES AND DISTANCES: 1) NORTHEASTERLY 18.07 FEET ALONG THE ARC OF A 175.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 5°54'56" AND A LONG-CHORD OF N 35°52'30" E 15.06 FEET, 2) N 30°44'55" E 160.41 FEET, 3) NORTHEASTERLY 70.14 FEET ALONG THE ARC OF A 125.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 34°05'29" AND A LONG-CHORD OF N 56°52'49" E 77.44 FEET, 4) N 7°01'16" E 16.19 FEET, 5) NORTHEASTERLY 71.90 FEET ALONG THE ARC OF A 150 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 45°46'38" AND A LONG-CHORD OF N 52°02'08" E 77.74 FEET, 6) NORTHEASTERLY 34.76 FEET ALONG THE ARC OF A 30 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 46°25'50" AND A LONG-CHORD OF N 62°02'42" E 32.05 FEET LEAVING HORIZON RUN RIGHT-OF-WAY, THENCE ALONG THE SOUTHWEST LINE OF SUMMIT PASS RIGHT-OF-WAY S 47°30'11" E 45.85 FEET TO THE NORTHEAST CORNER OF LOT 20 AND THE POINT OF BEGINNING.

LOT 120 - 0.586 ACRES. LOT 121 - 2.520 ACRES. LOT 122(R) - 2.906 ACRES.

SURVEY NARRATIVE

THE PURPOSE OF THIS SURVEY AND PLAT IS TO AMEND SUMMIT EDEN PHASE 1A SUBDIVISION RECORDED IN THE HEBER COUNTY RECORDER'S OFFICE AS ENTRY #2672943, BOOK 75, PAGE 26-31, AND TO COMBINE LOTS 19, 20, 22(R), AND 23(R) INTO THREE DEVELOPMENT LOTS TO BE LOTS 19, 20, AND 22(R). THESE LOTS ARE INTENDED FOR FUTURE DEVELOPMENT INTO LOTS, UNITS, OR OTHER SUBDIVIDED PROPERTY INTERESTS AND DECLARANT RESERVES ALL DEVELOPMENT RIGHTS ASSOCIATED WITH SUCH PARCELS.

THE BASIS-OF-BEARING FOR THIS PLAT IS N 89°55'51" W BETWEEN THE NORTHEAST CORNER OF SECTION 1, T.7N, R.2E, S.16.41M, AND A FOND HEBER COUNTY LINE MONUMENT SET BY THE HEBER COUNTY SURVEYOR'S OFFICE. THIS BEARING DIFFERS FROM THE HEBER COUNTY SURVEYOR'S BEARING BY 0°00'01" AS SHOWN ON THE COUNTY LINE DECLARATION RECORD PLAT BOOK 74, PAGE 64.

PLAT NOTES

1. THIS PLAT IS SUBJECT TO ALL THE ENFORCEABLE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES THAT APPEAR ON THE ORIGINAL SUMMIT EDEN PHASE 1A SUBDIVISION PLAT, AS AMENDED (ENTRY #2672943, BOOK 75, PAGE 26-31) UNLESS OTHERWISE NOTED ON THIS PLAT.
2. THE TEMPORARY SLOPE EASEMENTS AS DEFINED ON THE DEDICATION PLAT FOR SUMMIT PASS AND SPRING PARK (ENTRY #2072934, BOOK 75, PAGE 18-27) AND ALSO DEFINED IN PLAT NOTE #14 ON THE ORIGINAL SUMMIT EDEN PHASE 1A SUBDIVISION PLAT (ENTRY #2672943, BOOK 75, PAGE 26-31) REMAIN IN PLACE AND ARE NOT INTENDED TO BE VACATED BY THIS PLAT AMENDMENT.
3. NO EASEMENTS, RIGHT-OF-WAYS, OR P.U.E.S. APPEARING ON THE AFORESAID SUMMIT EDEN PHASE 1A PLAT WILL BE CHANGED, MODIFIED, OR REMOVED.
4. NOTICE TO PURCHASERS OF RESTRICTED (R) LOTS: LOTS DESIGNATED BY THE LETTER (R) AFTER THE LOT NUMBER ARE RESTRICTED LOTS AND BUILDING DEVELOPMENT ON SUCH LOTS IS SUBJECT TO THE PROVISIONS OF SECTION 10-14.4 OF THE HEBER COUNTY LAND USE CODE. APPROVAL OF A RESTRICTED LOT DOES NOT GUARANTEE THE IS BUILDABLE. A WILDLIFE REVIEW AS OUTLINED IN THE LAND USE CODE SHALL BE DONE TO DETERMINE IF A LOT IS BUILDABLE.

OWNER'S DEDICATION

SPRING PHASE 1, LLC, DECLARANT, HAS HEREBY DESCRIBED THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND TO BE KNOWN HEREAFTER AS SUMMIT EDEN PHASE 1A AMENDMENT 4, AND DO HEREBY GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON, AND UNDER THE LANDS DEVIATED HEREOF AS PUBLIC UTILITY, THE SAME TO BE USED FOR INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINE, WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

IN WITNESS WHEREOF, DECLARANT HAS EXECUTED THIS OWNER'S DEDICATION AS OF THE _____ DAY OF _____, 2016.

SPRING PHASE 1, LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY: SPRING INVESTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY
ITS: SOLE MEMBER

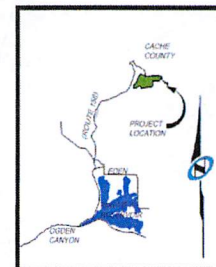
BY: _____
NAME: JEFF HERBELICH
TITLE: AUTHORIZED SIGNATORY

ACKNOWLEDGEMENT

STATE OF UTAH _____ 1
COUNTY OF _____ 25

THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____

2016, BY JEFF HERBELICH, THE AUTHORIZED SIGNATORY FOR SPRING INVESTMENTS, LLC, THE SOLE MEMBER OF SPRING PHASE 1, LLC.



VICINITY MAP
N.T.S.

Sheet 1 of 2

NIV5

2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-2655-2656-2657-2658-2659-2660-2661-2662-2663-2664-2665-2666-2667-2668-2669-2670-2671-2672-2673-2674-2675-2676-2677-2678-2679-2680-2681-2682-2683-2684-2685-2686-2687-2688-2689-2690-2691-2692-2693-2694-2695-2696-2697-2698-2699-2700-2701-2702-2703-2704-2705-2706-2707-2708-2709-2710-2711-2712-2713-2714-2715-2716-2717-2718-2719-2720-2721-2722-2723-2724-2725-2726-2727-2728-2729-2730-2731-2732-2733-2734-2735-2736-2737-2738-2739-2740-2741-2742-2743-2744-2745-2746-2747-2748-2749-2750-2751-2752-2753-2754-2755-2756-2757-2758-2759-2760-2761-2762-2763-2764-2765-2766-2767-2768-2769-2770-2771-2772-2773-2774-2775-2776-2777-2778-2779-2780-2781-2782-2783-2784-2785-2786-2787-2788-2789-2790-2791-2792-2793-2794-2795-2796-2797-2798-2799-2800-2801-2802-2803-2804-2805-2806-2807-2808-2809-2810-2811-2812-2813-2814-2815-2816-2817-2818-2819-2820-2821-2822-2823-2824-2825-2826-2827-2828-2829-2830-2831-2832-2833-2834-2835-2836-2837-2838-2839-2840-2841-2842-2843-2844-2845-2846-2847-2848-2849-2850-2851-2852-2853-2854-2855-2856-2857-2858-2859-2860-2861-2862-2863-2864-2865-2866-2867-2868-2869-2870-2871-2872-2873-2874-2875-2876-2877-2878-2879-2880-2881-2882-2883-2884-2885-2886-2887-2888-2889-2890-2891-2892-2893-2894-2895-2896-2897-2898-2899-2900-2901-2902-2903-2904-2905-2906-2907-2908-2909-2910-2911-2912-2913-2914-2915-2916-2917-2918-2919-2920-2921-2922-2923-2924-2925-2926-2927-2928-2929-2930-2931-2932-2933-2934-2935-2936-2937-2938-2939-2940-2941-2942-2943-2944-2945-2946-2947-2948-2949-2950-2951-2952-2953-2954-2955-2956-2957-2958-2959-2960-2961-2962-2963-2964-2965-2966-2967-2968-2969-2970-2971-2972-2973-2974-2975-2976-2977-2978-2979-2980-2981-2982-2983-2984-2985-2986-2987-2988-2989-2990-2991-2992-2993-2994-2995-2996-2997-2998-2999-3000-3001-3002-3003-3004-3005-3006-3007-3008-3009-3010-3011-3012-3013-3014-3015-3016-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DATE: 11/05/2016 10:00:00 AM
 NAME: SMHG PHASE I, LLC
 ADDRESS: 3632 N. WOLF CREEK DR., EDEN, UT 84310

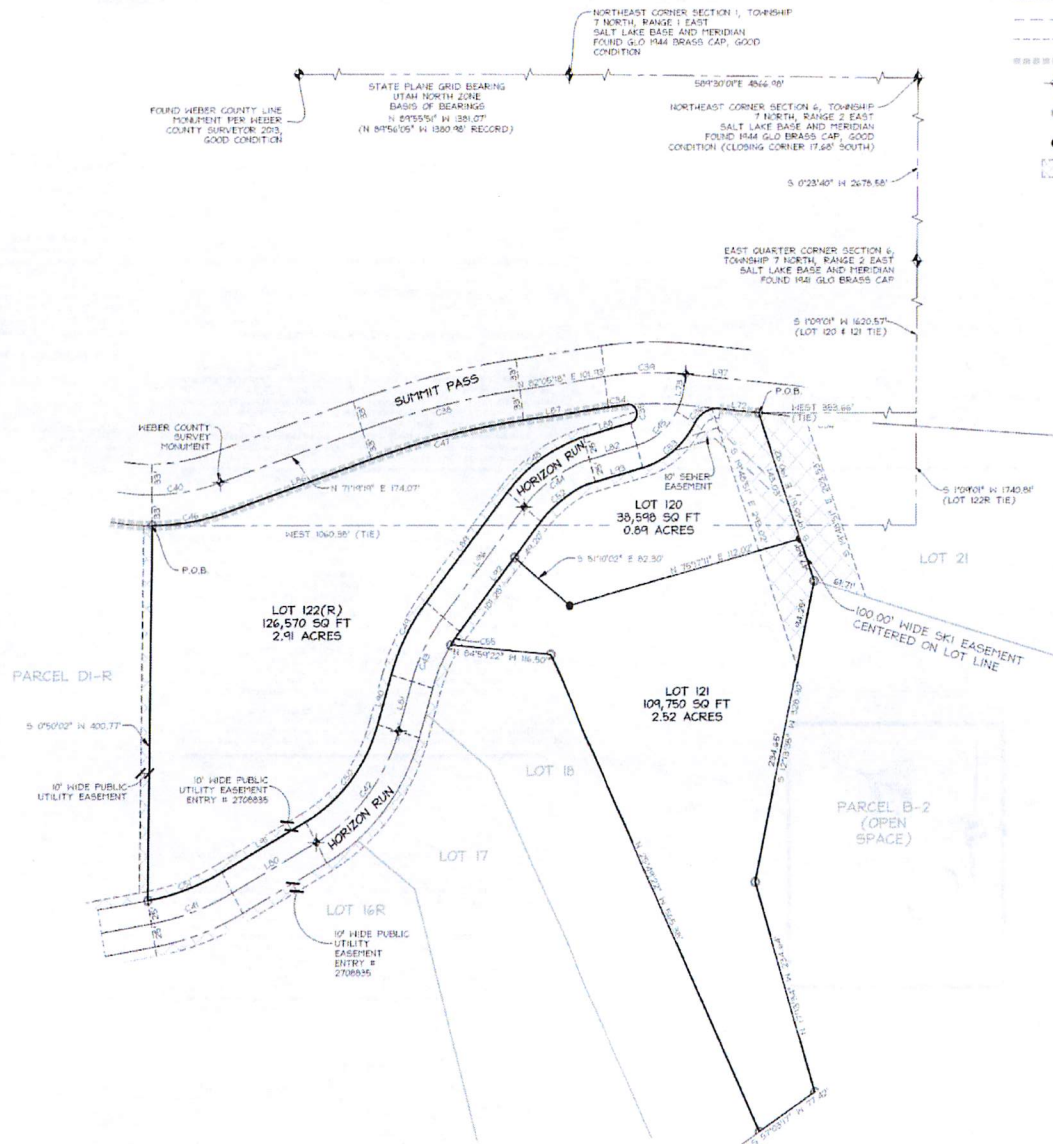
SUMMIT EDEN PHASE 1A AMENDMENT 4 AMENDING PARCELS 19, 20, 22(R), AND 23(R)

THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN,
 HEDER COUNTY, UTAH
 MAY 2016

LEGEND

- BOUNDARY LINE
- LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- QUARTER SECTION LINE
- AREA TIE LINES
- NO ACCESS LINE
- STREET MONUMENTS TO BE CONSTRUCTED
- FOUND REBAR WITH PLASTIC CAP STAMPED "NOLTE ASSOC."
- SET REBAR WITH PLASTIC CAP STAMPED "NOLTE ASSOC."
- EASEMENT

LINE TABLE			CURVE TABLE				
LINE	LENGTH	DIRECTION	CURVE	LENGTH	RADIUS	DELTA	LONG CHORD
L72	40.85'	N 84°28'03" E	C33	103.24'	300.00'	10°10'16"	N 70°47'07" E
L73	15.56'	N 70°47'07" E	C34	22.75'	393.83'	3°18'16"	S 83°44'45" E
L80	49.54'	N 47°12'40" E	C35	24.55'	10.00'	44°33'54"	N 45°02'07" E
L81	55.55'	N 45°02'07" E	C36	34.74'	30.00'	44°22'03"	S 42°20'24" E
L82	58.87'	N 45°02'07" E	C37	100.00'	267.62'	21°23'37"	N 62°16'30" E
L83	227.82'	N 28°47'20" E	C38	57.90'	1000.00'	0°45'58"	S 70°42'19" E
L84	276.02'	S 70°42'19" E	C39	100.00'	426.87'	0°23'42"	S 50°48'01" E
L85	243.53'	S 50°48'01" E	C40	50.76'	250.00'	4°52'34"	N 50°20'36" E
L86	134.07'	N 70°47'07" E	C41	100.24'	300.00'	10°10'16"	N 70°47'07" E
L87	103.93'	N 82°00'00" E	C42	56.48'	200.00'	4°48'06"	N 38°47'46" E
L88	67.18'	S 74°55'23" E	C43	75.37'	200.00'	22°27'00"	S 27°36'24" E
L89	150.41'	N 38°47'46" E	C44	44.47'	50.00'	30°25'20"	S 55°32'43" E
L90	55.55'	N 45°02'07" E	C45	56.20'	75.00'	44°10'16"	N 45°04'48" E
L91	81.34'	N 47°12'40" E	C46	16.54'	263.00'	8°52'34"	N 50°20'36" E
L92	150.41'	S 38°47'46" E	C47	81.37'	167.00'	10°45'58"	S 70°42'19" E
L93	58.87'	S 74°55'23" E	C48	102.28'	175.00'	36°06'20"	S 56°32'43" E
L94	330.41'	N 45°02'07" E	C49	66.17'	225.00'	22°27'00"	S 27°36'24" E
L95	330.41'	N 45°02'07" E	C50	166.76'	75.00'	44°48'06"	N 38°47'46" E
L96	150.41'	N 38°47'46" E	C51	44.47'	275.00'	10°10'16"	N 70°47'07" E
L97	144.10'	S 54°22'03" E	C52	78.74'	25.00'	36°06'20"	S 56°32'43" E
			C53	78.74'	100.00'	45°46'06"	N 50°20'36" E
			C54	103.09'	306.74'	7°37'41"	N 69°24'51" E
			C55	10.07'	175.00'	5°14'54"	N 38°47'46" E

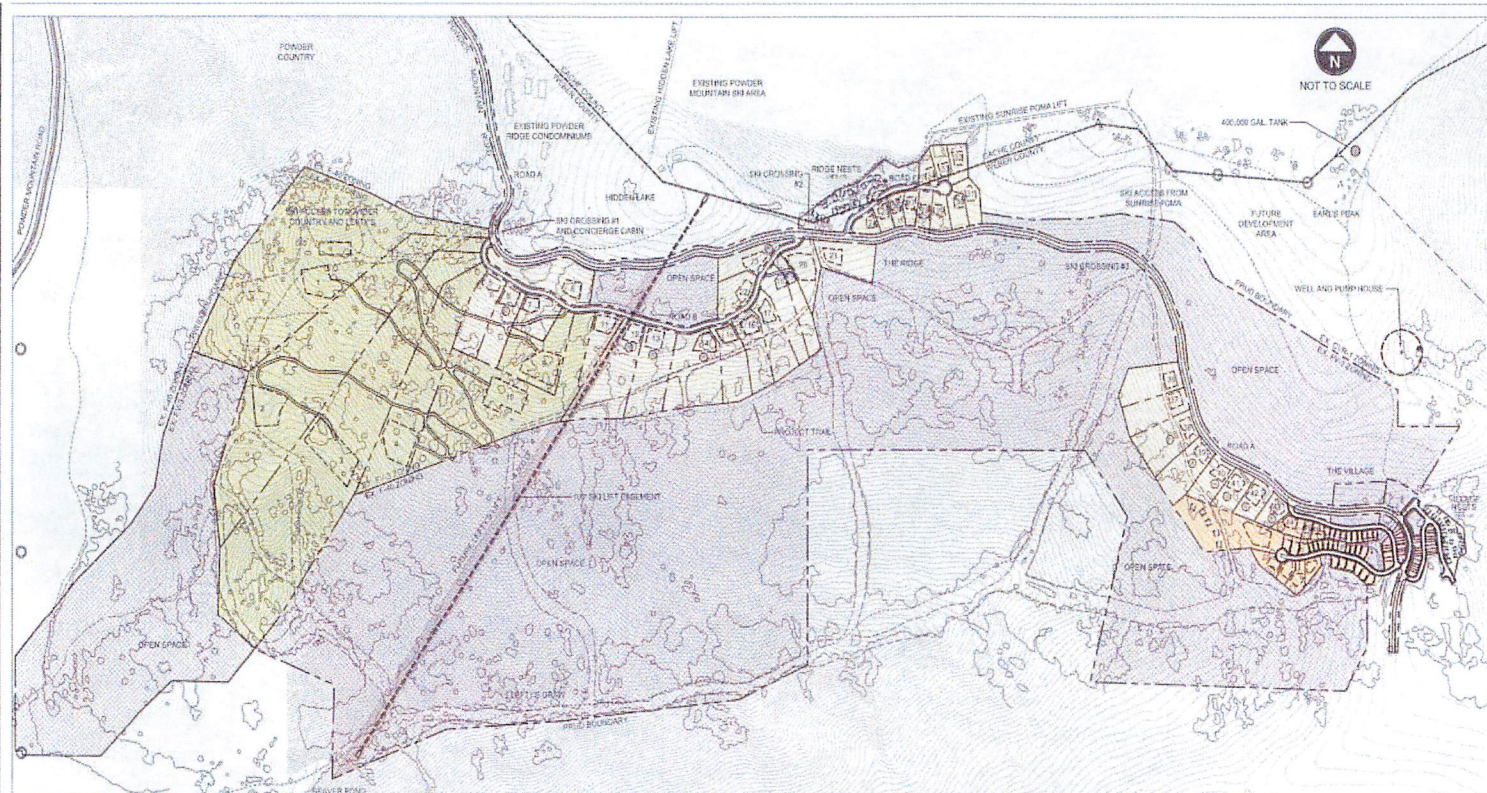


OWNER
 SMHG PHASE I, LLC
 3632 N. WOLF CREEK DR.
 EDEN, UT 84310

Sheet 2 of 2

NV5

STATE OF UTAH, COUNTY OF HEDER
 RECORDED AND FILED AT THE
 REQUEST OF:
 ENTRY NO.:
 DATE: TIME:
 BOOK: PAGE:
 FEE \$:
 HEDER COUNTY RECORDER



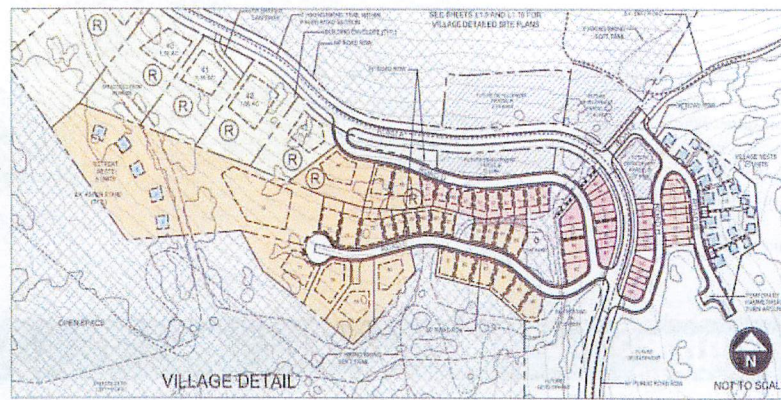
LOT LEGEND AND MIN. SETBACK STANDARDS

	RANCH SINGLE FAMILY
FRONT 50'	
REAR 50'	
	ESTATE SINGLE FAMILY
FRONT 20'	
REAR 20'	
	CABIN SINGLE FAMILY
FRONT 20'	
REAR 20'	
	HILLSIDE SINGLE FAMILY
FRONT 0'	
REAR 20'	
	VILLAGE SINGLE FAMILY
FRONT 0'	
REAR 0'	
	VILLAGE LIVE/WORK SINGLE FAMILY
FRONT 0'	
REAR 0'	
	NESTS
FRONT 0'	
REAR 0'	

(R) RESTRICTED LOT

PRUD DEVELOPMENT DATA

TOTAL PRUD BOUNDARY AREA	554.20 ACRES
ZONE RV-3 AREA	352.04 ACRES
ZONE F-40 AREA	194.63 ACRES
ZONE CVR-1 AREA	2.46 ACRES
CACHE COUNTY AREA	4.90 ACRES
ROAD ROW AREA	10.95 ACRES
SLOPES > 40%	111.85 ACRES
NET DEVELOPABLE AREA	483.42 ACRES
PROPOSED LOTS	116 LOTS
PROPOSED UNITS	154 UNITS
RANCH SINGLE FAMILY	6 UNITS
ESTATE SINGLE FAMILY	25 UNITS
CABIN SINGLE FAMILY	11 UNITS
HILLSIDE SINGLE FAMILY	27 UNITS
VILLAGE SINGLE FAMILY	24 UNITS
VILLAGE LIVE/WORK OF NESTS	40 UNITS
PROPOSED DENSITY	1 UNIT/3.85 ACRES
PROPOSED OPEN SPACE	384.19 ACRES (64.6%)

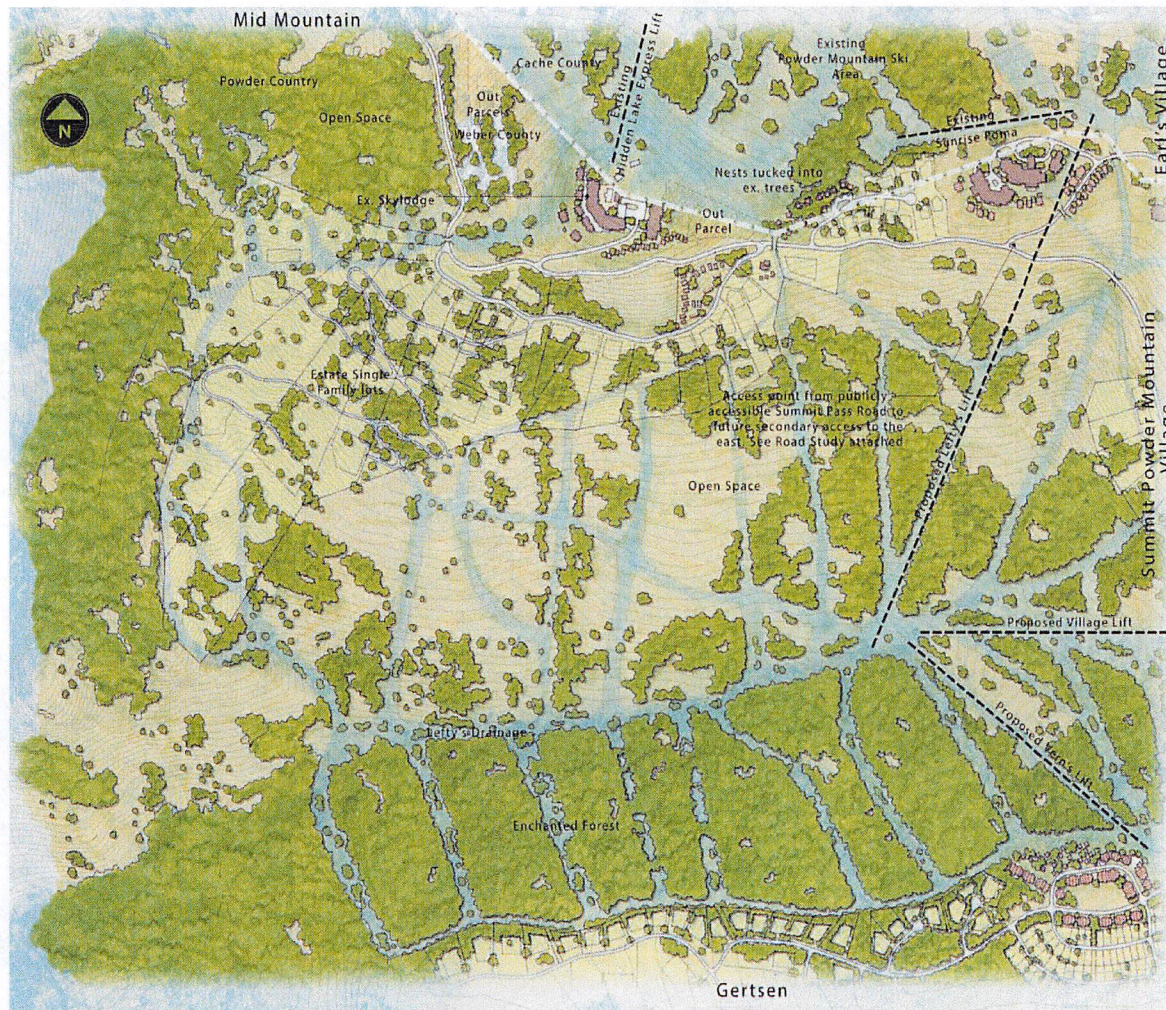


SUMMIT EDEN
PHASE 1 PRUD SUBMITTAL
POWDER MOUNTAIN, WEBER COUNTY, UTAH

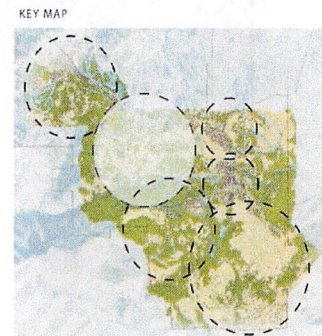


DATE:	MARCH 15, 2015
PROJECT:	SUMMIT EDEN
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	PRUD
REVISIONS:	
SHEET TITLE:	OVERALL SITE PLAN
SHEET NUMBER:	L1.2

The Ridge Illustrative Plan



Placement of development within the Ridge area has been sensitive to the existing ski experience at Powder Mountain with future hotels and multi family units designed to be within ski access to the existing mountain while maintaining the existing ski accesses. Single family units have been located on the mountain within existing tree massing to provide visual and physical protection as well as to maintain those important open meadow and hillsides for the remainder of the Resort.





Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action for the final plat approval of Summit Eden Ridge Nests-PRUD Amendment 2 for the slight rotation of Lot 5.

Type of Decision: Administrative

Agenda Date: Tuesday, June 28, 2016

Applicant: SMHG Phase 1, LLC

File Number: UVS061916

Property Information

Approximate Address: 7914 East Heartwood Drive, Eden

Project Area: 1293.00 square feet (all of Lot 5)

Zoning: Ogden Valley Destination and Recreation Resort Zone (DRR-1)

Existing Land Use: Ski Resort

Proposed Land Use: Resort Development

Parcel ID: 23-140-0005

Township, Range, Section: T7N, R2E, Section 5 & 6

Adjacent Land Use

North:	Ski Resort	South:	Ski Resort
East:	Ski Resort	West:	Ski Resort

Staff Information

Report Presenter: Ronda Kippen
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: RG

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 27 Natural Hazards Overlay Districts
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 104, Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1)
- Title 106, Subdivisions, Chapter 1-8 as applicable

Background and Summary

The Summit Eden Phase 1B Subdivision identified "Development Parcel B" which was further developed as Summit Eden Ridge Nests PRUD are part of a previously platted lot in (see Exhibit A for the original recorded subdivision and Exhibit B for the recorded Summit Eden Phase 1B Subdivision plat). Summit Eden Ridge Nests-PRUD is a PRUD Subdivision consisting of 15 "Nest Units". Summit Eden Ridge Nests-PRUD received preliminary subdivision approval in conjunction with the County Commission's approval of the Summit at Powder Mountain PRUD on April 9, 2013 with subsequent amendments on July 9, 2013. The Summit Eden Ridge Nests-PRUD final subdivision was heard and received a positive recommendation by the Ogden Valley Planning Commission on October 22, 2013 and received final approval by the Weber County Commission on January 21, 2014. Summit Eden Ridge Nest PRUD Amendment 1 was approved by the Weber County Commission on February 9, 2016 after receiving a positive recommendation from the Ogden Valley Planning Commission on January 26, 2016. The first amendment to the Summit Eden Ridge Nests PRUD subdivision plat slightly modified the configuration of the individual units and added limited common area around each individual unit to enable the owners of one or more of the units some additional uses as detailed in plat Note# 5 (see Exhibit C for the recorded subdivision amendment 1). The common area was maintained within the subdivision boundary with a blanket public utility easement across both the limited common and common areas. An "open space conservation" parcel was proposed as part of the amendment to permanently preserve the scenic qualities and natural buffers between the subdivision and the adjacent Lot 34R in the

Summit Eden Phase 1B Subdivision. The open space conservation parcel remains in ownership of the applicant and will be maintained by the applicant per Note# 21 on the Summit Eden Ridge Nests-PRUD Amendment 1.

The Summit Eden Ridge Nests-PRUD Amendment 2 will amend and slightly rotate Lot 5 for development purposes (see Exhibit D for the proposed amendment). The applicant has identified the need to slightly rotate Lot 5 which has triggered the proposed Summit Eden Ridge Nests-PRUD Amendment 2. The amendment will allow for the desired development of Lot 5 in the near future.

The Uniform Land Use Code of Weber County (LUC) §101-1-7 identifies a subdivision amendment as a "Small Subdivision" and can be administratively approved by the Planning Director as long as the amendment consists of five or fewer lots. The proposed amendment meets this requirement and can be administratively approved. The proposed subdivision amendment and lot configuration is in conformance with the approved PRUD, current zoning and the Zoning Development Agreement Master Plan (see Exhibit E) as well as the applicable subdivision requirements as required in the LUC.

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by encouraging development within the existing resort-related areas.

Zoning: The subject property is located in the Ogden Valley Destination and Recreation Resort Zone more particularly described as the DRR-1 zone. The purpose and intent of the DRR-1 zone is identified in the LUC §104-29-1 as:

"The purpose of this chapter is to provide flexible development standards to resorts that are dedicated to preserving open space and creating extraordinary recreational resort experiences while promoting the goals and objectives of the Ogden Valley general plan. It is intended to benefit the residents of the county and the resorts through its ability to preserve the valley's rural character, by utilizing a mechanism that allows landowners to voluntarily transfer development rights to areas that are more suitable for growth when compared to sensitive land areas such as wildlife habitats, hazardous hillsides or prime agricultural parcels. Resorts that lie within an approved destination and recreation resort zone shall, by and large, enhance and diversify quality public recreational opportunities, contribute to the surrounding community's well-being and overall, instill a sense of stewardship for the land."

As part of the subdivision process, the proposal has been reviewed against the current subdivision ordinance in LUC §106, the approved PRUD and the standards in the DRR-1 zone in LUC §104-29. The proposal has been reviewed against the adopted zoning and subdivision ordinances to ensure that the regulations and standards have been adhered to. It appears that the proposed subdivision is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: In order to allow for the reduced lot size and the private ownership of the units, the Summit Eden Ridge Nests was developed as a PRUD. Private ownership is limited to the actual footprint and air space of each unit with limited common area around the individual unit; the remainder of Development Parcel B is designated as common area and an open space conservation parcel. This phase consists of one Development Parcel (previously "Development Parcel B") with 15 "Nest Units."

Nine of the units are in Cache County and fall under the provisions of the inter-local agreement which allows Weber County to act as the Land Use Authority for the units in Cache County. The area within Weber County is zoned DRR-1 and was approved for this type of development in the PRUD approval. The landscaping plans for the common area were approved with the PRUD. All of the units have the same basic floor plan and footprint with minor variations. The building elevations comply with the architectural renderings approved with the PRUD.

This phase has access to its parking lot from Heartwood Drive (a private road). The parking lot has 16 spaces with one space designated as ADA accessible. Typically dwelling units have two spaces each, but an exception for one space each was approved with the PRUD. Pathways for the overall Powder Mountain development were approved with the PRUD.

Natural Hazards Overlay Zone:: The proposed subdivision is located in a Zone "D" as determined by FEMA to be an area of undetermined flood hazards. Areas designated as Zone "D" are typically areas in which no analysis of flood hazards has been conducted.

The proposed lot is located in a geologic unit identified on the site is "Csc" and which is not considered to be a potential geologic hazard unit per the UGS published Ogden 30 x 60 Quadrangle map.

Culinary water and sanitary sewage disposal: Culinary and sewer services are provided by Powder Mountain Water and Sewer Improvement District. Based on the original approvals, additional proof of culinary and sanitary sewage services will not be required at this time. A letter and connect fee from Powder Mountain Water and Sewer District will be required to be submitted with the building permit application.

Review Agencies: The Weber Fire District has reviewed and approved the proposed subdivision amendment. The Weber County Surveyor's Office has reviewed and provided minor corrections that the applicant will need to correct prior to receiving approval from the County Surveyor's Office. To date, the Weber County Engineering Division has not reviewed the application. A condition of approval has been included to ensure that all applicable review agencies requirements will be met prior to recording the subdivision Mylar.

Additional design standards and requirements: A plat note stating the amendment is subject to all the plat notes that were part of the original Summit Eden Ridge Nests-PRUD Amendment 1 on the original plat recorded as Entry# 2672949 will remain in place and will not be vacated with the proposed amendment.

There may be additional site preparation in conjunction with an approved building permit. The proposed subdivision does not require the realignment of or the creation of a new street system. With the exception of the recommended conditions identified in this staff report additional standards and requirements are unnecessary at this time.

Tax clearance: The 2015 property taxes have been paid in full. The 2016 property taxes will be due in full on November 1, 2015.

Public Notice: The required noticing for the final subdivision plat approval has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed small subdivision per noticing requirements outlined in LUC §106-1-6(c).

Summary of Planning Commission Considerations

- Does this subdivision meet the requirements of applicable County Land Use Codes?
- Does this subdivision comply with the applicable PRUD approvals?
- Does this subdivision comply with the applicable Zoning Development Agreement Master Plan approval?

Staff Recommendation

Staff recommends final plat approval of Summit Eden Ridge Nests-PRUD Amendment 2 for the slight rotation of Lot 5. This recommendation for approval is subject to all applicable review agency requirements and is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. With the recommended conditions, the proposed subdivision complies with all previous approvals and the applicable County ordinances.
3. The proposed subdivision will not be detrimental to the public health, safety, or welfare.
4. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

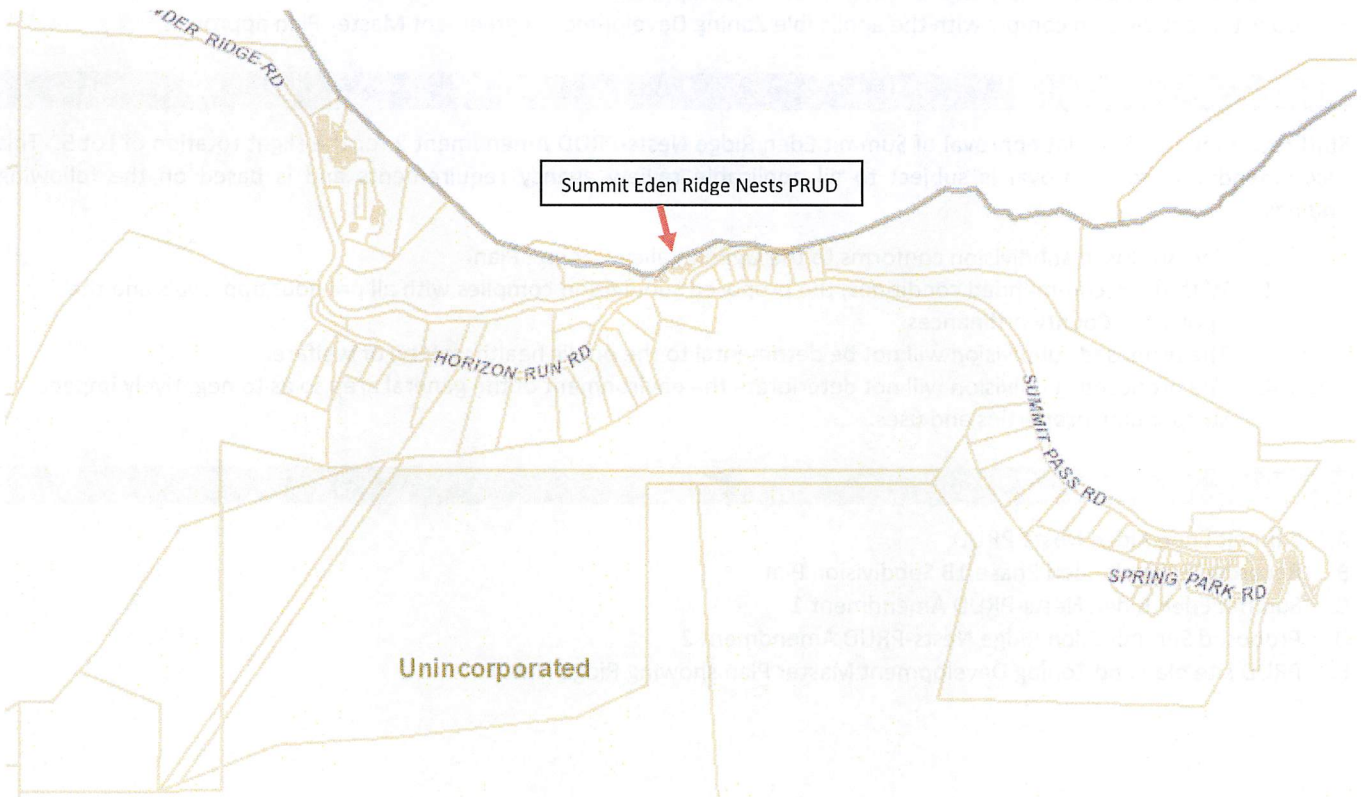
Exhibits

- A. Summit Eden Ridge Nests-PRUD
- B. Recorded Summit Eden Phase 1B Subdivision Plat
- C. Summit Eden Ridge Nests-PRUD Amendment 1
- D. Proposed Summit Eden Ridge Nests-PRUD Amendment 2
- E. PRUD site plan and Zoning Development Master Plan showing Ridge Nests

Location Map 1



Location Map 2



LOCATED IN THE SOUTH 1/2 OF SECTIONS 5 & 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
JANUARY 2016

I, ROBERT H. MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH THE UTAH CHAPTER 10, MINERAL, EMINENT DOMAIN AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 7-20-21 AND HAVE VERIFIED ALL PERIMETERS AND HAVE PLACED PERMANENT MARKERS AS REPRESENTED IN THIS PLAT. THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEYED LAND. THE COUNTY OF UTAH HAS BEEN ADVISED OF THE LOCATION OF THE PLAT AND THE LOCATION OF THE PLAT HAS BEEN RECORDED IN THE PUBLIC RECORDS AND IS A TRUE AND CORRECT REPRESENTATION OF THE HORIZONTAL DESCRIBED LAND INCLUDING AND SURVEYING, BASED UPON DATA COMPILED FROM RECORDS IN THE HERRIN COUNTY RECORDERS OFFICE AND FROM AND SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEYED LAND. CONCERNING SURVEY PERIMETERS REGARDING LOT PERIMETERS HAVE BEEN COMPILED WITH



EDWARD H. MILLER
PROFESSIONAL LAND SURVEYOR
IOWA CERTIFICATE NO. 18342

DEVELOPMENT PARCEL B OF THE SUFFIT EDEN PHASE II SUBDIVISION, AS RECORDED WITH THE HENDER COUNTY RECORDER, AS ENTRY NO. 247244 IN BOOK 75 AT PAGES 32 - 34, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

1. THIS SURVEY WAS CONFORMED TO AHEAD AND INSTANT SURVEY BEEN REDEEMED FIRST AND
AS RECORDED IN THE OFFICE OF THE JUDICIAL CLERK OF THE COUNTY OF HENRI (RECORD NUMBER
207299, BOOK 79, PAGES 41 - 42). THE CHANGES INCLUDE ADDING OPEN SPACE, PARKS, ONE
AND LIMITED COMMON AREAS, MINOR CHANGES TO VARIOUS PLAT NOTES, MINOR CHANGES TO
THE TYPICAL LOT CONFIGURATION, LOTS 9-15 BECAUSE "RESTRICTED" OR (R) LOTS, AND A
MINOR SHIFT OF LOT 8 AND LOT 4.

2. THE BASIS OF RECORDS FOR THIS PLAT IS NORTH SOUTHERN PLAT, SALT LAKE BASIN AND
THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASIN AND
NEEDHAM AND A FOURTH HENRI COUNTY LINE (HORIZONTAL LINE) WITH THE HENRI COUNTY
SOUTHERN CORNER OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASIN AND
NEEDHAM AS SHOWN ON COUNTY LINE DECLARATION RECORDED PLAT BOOK 12, PAGE 44.

THIS PLAT AMENDMENT IS SUBJECT TO ALL LEGALLY ENFORCEABLE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES THAT APPEAR ON THE EARTEST ECHO RIDGE HEATS PRUD (ENTERED 2022) LIESSE OTHERWISE NOTED ON THIS PLAT.

[illegible]

PLAT NOTE IS HEREBY REPLACED IN ITS ENTIRETY AS FOLLOWS:

"I, DECLARANT HEREBY GRANTS TO THE UTILITY PROVIDER, AN AGREEMENT OVER AND ACROSS ALL COMMON AREAS, INCLUDING ALL LIMITED COMMON AREA, FOR THE PURPOSE OF INSTALLING, MAINTAINING AND OPERATING EQUIPMENT AND FACILITIES ABOVE AND BELOW GROUND AS THAT IS NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND AROUND THE LOTS, INCLUDING THE RIGHT OF BURIAL OF FACILITIES, TO REMOVE OR REPAIR ANY OBSTACLES OR ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY HAVE BEEN PLACED WITHIN THE EASEMENTS, AT ANY TIME THAT ANY PERMANENT STRUCTURES BE PLACED WITHIN THE EASEMENTS, AND TO MAINTAIN AND REPAIR ANY OBSTACLES OR OBSTRUCTIONS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE APPLICABLE UTILITY PROVIDER."

[illegible]

PLAT NOTE #2 IS HEREBY ADDED TO THE SUBDIVISION PLAT NOTES:

21. CERTAIN PARCELS MAY BE DESIGNATED HEREON AS "OPEN SPACE. CONSERVATION" SUCH PARCELS SHALL BE INITIALLY OWNED BY DECLARANT AND ARE NOT PART OF ANY COMMON AREA. SUCH PARCELS MAY BE TRANSFERRED TO ANY OTHER PARTY, INCLUDING BUT NOT LIMITED TO THE HENSHAWOOD ASSOCIATION OR COMPANY ASSOCIATION. SUCH PARCELS ARE TO REMAIN UNDEVELOPED AND PERMANENTLY PRESERVED IN ORDER TO MAINTAIN HIGH QUALITIES AND TO PROVIDE OPEN SPACE FOR THE BENEFIT OF THE COMMUNITY. ANY TRANSFER OF SUCH PARCELS TO ANY AREA DESIGNATED AS "OPEN SPACE, CONSERVATION" DENOTES ANY CONTRARY PROVISIONS OF ANY INSTRUMENT, INCLUDING BUT NOT LIMITED TO ANY INSTRUMENT, HAVE BEEN REVIEWED, REDUCED IN SIZE, MODIFIED OR CHANGED IN USE TO ACQUIRE OTHER THAN "OPEN SPACE, CONSERVATION" ARE FORFEITED IN THE NUMBER COUNTY LAND CODE, WITHOUT THE PRICE OF SUCH FORFEITURE. ANY INSTRUMENT, INCLUDING BUT NOT LIMITED TO ANY INSTRUMENT, THIS NOTE MAY NOT BE AMENDED TO DELETE OR MODIFY THE IMMEDIATELY PRECEDING SENTENCE WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER(S) OF LOT #18 IN SUPPORT THEREIN. PLEASE

PLAT NOTE 22 IS HEREBY ADDED TO THE SUBDIVISION PLAT NOTED:
22. NOTICE TO PURCHASERS OF RESTRICTED (RD) LOTS: LOTS DESIGNATED BY THE LETTER "R" AFTER THE LOT NUMBER ARE RESTRICTED LOTS AND BUILDING DEVELOPMENT ON SUCH LOTS IS SUBJECT TO THE PROVISIONS OF SECTION 34-04 OF THE JEFFERSON COUNTY LAND USE CODE. APPROVAL OF A RESTRICTED LOT DOES NOT GUARANTEE THE LOT IS BUILDABLE. A HEALTH REVIEW AS OUTLINED IN THE LAND USE CODE SHALL BE DONE TO DETERMINE IF A LOT IS BUILDABLE.

ME, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND RESERVE FOR THE SAME INTO, TO BE KEPT FOREVER AS AN OPEN SPACE AND PUBLIC UTILITY AND DO HEREBY GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DEMONSTRATED HEREON AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, WHEREOVER IS APPLICABLE AS NOT BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SAID EASEMENTS.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE EXECUTED THIS OWNERS DEDICATION AS OF THE _____ DAY OF _____, 20__.

BY: _____
NAME: JEFF VERDELOM
TITLE: AUTHORIZED SIGNATORY

OWNER OF LOT 4 BY: JACK MORTON	OWNER OF LOT 4 BY: EVAN PENA
BY: _____ NAME: GREGORY VINCENT MAURO TITLE: ATTORNEY IN FACT OF JACK MORTON	BY: _____ NAME: GREGORY VINCENT MAURO TITLE: ATTORNEY IN FACT OF EVAN PENA

OWNER OF LOT 3	OWNER OF LOT 3
BY: GAYLE TROSBEMAN	BY: RUS TURN
BY: _____	BY: _____
NAMED: GREGORY VINCENT MAURO	NAMED: GREG
TITLE: ATTORNEY IN FACT OF GAYLE TROSBEMAN	TITLE: A

OWNER OF LOT 4
BY: EVAN MENDELSON
BY: _____
NAME: GREGORY VINCENT MAURO
TITLE: ATTORNEY IN FACT OF EVAN MENDELSON

OWNER OF LOT 3
BY: GUS TURNER
BY: _____
NAME: GREGORY VINCENT MAURO
TITLE: ATTORNEY IN FACT OF GUS TURNER

STATE OF UTAH D.S.
COUNTY OF WEBER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____
20____ BY JEFF HERRMANN, AUTHORIZED SIGNATORY OF BRAG INVESTMENTS LLC, THE SOLE
MEMBER OF BRAG INCOME FUND.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____
RESIDENT IN _____

STATE OF UTAH | U.S.
COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 04th DAY OF 04/20/2019

HETERO PUBLIC

PTY CORPORATION EXPENSES

RECEIVED ALL

STATE OF UTAH) S.S.
COUNTY OF KANE)
THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY GEORGE WILBERT MAURO, ATTORNEY IN FACT OF EVAN MENDELSON.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____
STATE OF _____

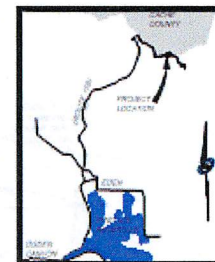
STATE OF UTAH
COUNTY OF KANE

NOTARY PUBLIC
PTY. COMMISSION Expires: _____
My Comm. No. is: _____

STATE OF UTAH) S.S.
COUNTY OF BERNARD

THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____
BY CAROLYN WAKENT MAIRD ATTORNEY IN FACT OF SAID TENOR.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
RESIDING IN: _____



Vicinity Map

Sheet 1 of 2

NIVIS

HUNTER COUNTY, DISTRICT ATTORNEY THIS IS TO CERTIFY THAT THIS DEED WAS FILED, THE EXECUTION OF OF PUBLIC RECORDS AND PUBLIC SALE AND PUBLIC GUARANTEE OF STATE, IN PURSUANCE OF, IN ACCORDANCE WITH AN INSTRUMENT, AGREEMENT BETWEEN HUNTER COUNTY AND CASSA COUNTY, TEXAS NORMAL, RECORDED IN THE YEAR, ASSOCIATED WITH THE BUREAU OF THE HUNTER COUNTY AND CASSA COUNTY, TEXAS OF THE COMMISSIONERS OF HUNTER COUNTY, TEXAS THIS _____ DAY OF _____, 20____.		HUNTER RECORDED IN STATUS OF HUNTER COUNTY OF HUNTER RECORDED AND FILED AT THE REQUEST OF: ENTRY IN: DATE _____ TIME _____ BOOK _____ PAGE _____
DAMIAN, COUNTY CLERK ASSET		FEE \$ HUNTER COUNTY RECORDER

JUROR, COUNTY ATTORNEY,
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER
DOCUMENTS ASSOCIATED WITH THIS BUDGET/INCH PLAT AND
IN MY OPINION THEY CONFORM WITH THE COUNTY
ORDINANCE APPLICABLE THERE TO AND NOW IN FORCE AND
EFFECT.
SIGNED THIS _____ DAY OF _____, 20____.

HERBERT COUNTY SURVEYOR
 I HEREBY CERTIFY THAT THE HERBERT COUNTY MAP
 REVENUED THIS PLAT FOR MATHEMATICAL CORRECTIONS
 DATA AND FOR HARBORPORT WITH LINES AND MONUMENTS
 COUNTY OFFICES. THE APPROVAL OF THIS PLAT
 SURVEYORS DOES NOT RELIEVE THE LICENSED LAND
 EXECUTED THIS PLAT FROM RESPONSIBILITY AND
 THEREAFTER. SIGNED THIS _____ DAY OF _____

THE COUNTY ENGINEER'S OFFICE HAS
THIS, SECTION CORNER
STATION ON RECORD IN THE
BY THE HERDS COUNTY
AND SURVEYOR WHO
A LEGALIZED ASSOCIATED

I HEREBY CERTIFY THAT
APPROVED STAMPED
SURVEYOR CONFORM WITH
AMOUNT OF THE FINANCIAL
THE INSTALLATION OF THE
SIGNED THIS _____ DAY

COUNTY ENGINEER THE REQUIRED PUBLIC MAP AND DRAWING FOR THIS PROJECT MEET THE COUNTY STANDARDS AND THE PUBLIC GUARANTEE IS SUFFICIENT FOR THESE IMPROVEMENTS. DATE OF _____, 35 _____	HEREBY CONFIRMS THAT THIS IS TO CERTAINLY BE DAILY APPROVED BY THE COMMISSIONER OF THE PUBLIC WORKS DEPARTMENT. _____ Commissioner - Highway
--	--

COUNTY PLANNING COMMISSION APPROVAL
I, THE COUNTY PLANNING COMMISSION, HEREBY APPROVE
THE SUBDIVISION PLAT FOR THE SUBDIVISION OF
THE LAND OF _____, COUNTY OF _____,
STATE OF _____, FOR THE PURPOSES OF
THE _____, COUNTY OF _____,
STATE OF _____.

COUNTY PLANNING COMMISSION:

CHAIRMAN, _____

AGENT, _____

DATE, _____

[illegible]

OF STAFF, COUNTY OF HENRI
DEED AND FILED AT THE
BEST OF _____
Y N/A _____
_____ FINE _____
_____ PAGE _____

RE COUNTY RECORDER

LOCATED IN THE SOUTH 1/2 OF SECTIONS 5 & 4, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN

EAST 162.96° (TIF)

POINT OF BEGINNING

COTTON AREA TABLE							
COUNTY	TOTAL ACRE	TOTAL SUIT	COTTON ACRE/OPEN SPACE ACRE	OPEN SPACE SUIT	NETTED COTTON ACRE	NETTED COTTON SUIT	OPEN SPACE ACRE
WEBER	1,724	75,754	1.08	45,344	0.24	2,444	3.04
CACHE	1,546	60,767	0.84	21,008	0.66	20,500	0.41

CACHE RECORDED &
 STATE OF UTAH, COUNTY OF CACHE,
 RECORDED AND FILED AT THE
 REQUEST OF: _____
 ENTRY NO: _____
 DATE: _____ TIME: _____
 BOOK: _____ PAGE: _____
 FEE \$ _____

 CACHE COUNTY RECORDER

HEBER RECORDED &
 STATE OF UTAH, COUNTY OF HEBER,
 RECORDED AND FILED AT THE
 REQUEST OF: _____
 ENTRY NO: _____
 DATE: _____ TIME: _____
 BOOK: _____ PAGE: _____
 FEE \$ _____

 HEBER COUNTY RECORDER

N|V|5
NOLTE VERTICALFIVE
VERTICAL FIVE SYSTEM, INC. 1001 N. 10TH ST. SUITE 100
 DENVER, CO 80202

INDEX COUNTY RECORDERS

75-33

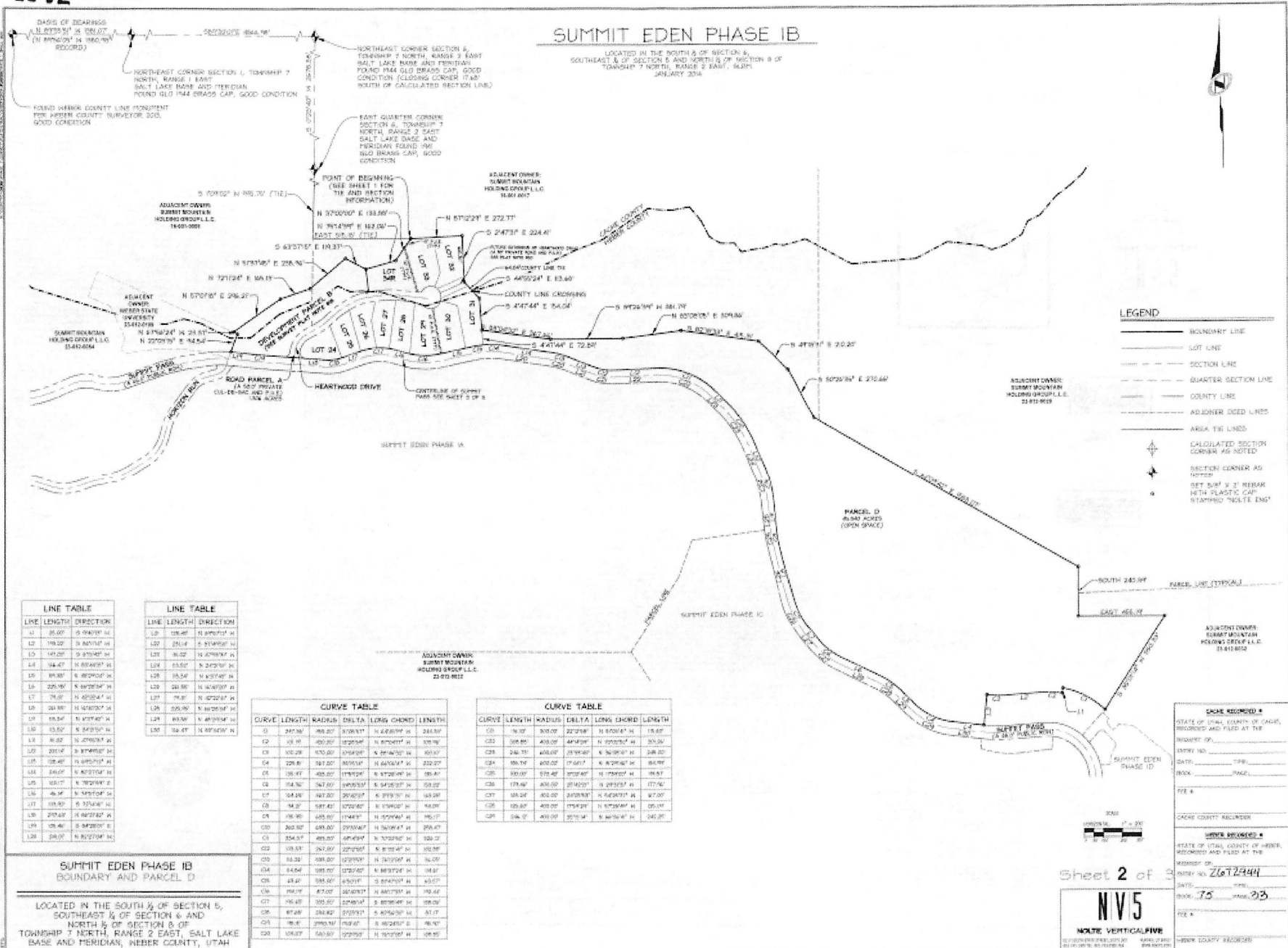


Exhibit B-Original Summit Eden Phase 1B

LOCATED IN THE SOUTH 1/2 OF SECTION 6,
SOUTHEAST 1/4 OF SECTION 6 AND NORTH 1/2 OF SECTION 8 OF
TOWNSHIP 1 NORTH, RANGE 2 EAST, SLEM.
JANUARY 2011















CURVE TABLE			
CURVE	LENGTH	RADIUS	LONG. (COORD.)
C30	31.550	300.250	0.398705000 E
C31	10.500	464.000	0.397000000 E
C32	12.500	460.000	0.395300000 E
C33	6.000	568.000	0.393700000 E
C34	15.000	477.000	0.392000000 E
C35	13.400	476.000	0.390300000 E
C36	30.400	476.000	0.388700000 E
C37	6.000	568.000	0.387200000 E
C38	14.500	505.000	0.385700000 E
C39	11.500	505.000	0.384200000 E
C40	10.000	524.000	0.382700000 E
C41	87.000	524.000	0.381200000 E
C42	34.500	503.000	0.379700000 E
C43	70.500	493.000	0.378200000 E
C44	81.500	426.000	0.376700000 E
C45	58.500	376.000	0.375200000 E
C46	14.000	295.000	0.373700000 E
C47	34.400	295.000	0.372200000 E
C48	34.400	295.000	0.370700000 E
C49	34.400	295.000	0.369200000 E
C50	34.400	295.000	0.367700000 E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	LENGTH CHORD	LENGTH
C10	1.0	10.000	5.72958°	10.00000°	6.00000
C20	2.0	10.000	11.45916°	10.00000°	12.00000
C30	3.0	10.000	17.18874°	10.00000°	18.00000
C40	4.0	10.000	22.91832°	10.00000°	24.00000
C50	5.0	10.000	28.64790°	10.00000°	30.00000
C60	6.0	10.000	34.37748°	10.00000°	36.00000
C70	7.0	10.000	40.10706°	10.00000°	42.00000
C80	8.0	10.000	45.83664°	10.00000°	48.00000
C90	9.0	10.000	51.56622°	10.00000°	54.00000
C100	10.0	10.000	57.29580°	10.00000°	60.00000
C110	11.0	10.000	63.02538°	10.00000°	66.00000
C120	12.0	10.000	68.75496°	10.00000°	72.00000
C130	13.0	10.000	74.48454°	10.00000°	78.00000
C140	14.0	10.000	80.21412°	10.00000°	84.00000
C150	15.0	10.000	85.94370°	10.00000°	90.00000
C160	16.0	10.000	91.67328°	10.00000°	96.00000
C170	17.0	10.000	97.40286°	10.00000°	102.00000
C180	18.0	10.000	103.13244°	10.00000°	108.00000
C190	19.0	10.000	108.86202°	10.00000°	114.00000
C200	20.0	10.000	114.59160°	10.00000°	120.00000
C210	21.0	10.000	120.32118°	10.00000°	126.00000
C220	22.0	10.000	126.05076°	10.00000°	132.00000
C230	23.0	10.000	131.78034°	10.00000°	138.00000
C240	24.0	10.000	137.50992°	10.00000°	144.00000
C250	25.0	10.000	143.23950°	10.00000°	150.00000
C260	26.0	10.000	148.96908°	10.00000°	156.00000
C270	27.0	10.000	154.69866°	10.00000°	162.00000
C280	28.0	10.000	160.42824°	10.00000°	168.00000
C290	29.0	10.000	166.15782°	10.00000°	174.00000
C300	30.0	10.000	171.88740°	10.00000°	180.00000
C310	31.0	10.000	177.61698°	10.00000°	186.00000
C320	32.0	10.000	183.34656°	10.00000°	192.00000
C330	33.0	10.000	189.07614°	10.00000°	198.00000
C340	34.0	10.000	194.80572°	10.00000°	204.00000
C350	35.0	10.000	200.53530°	10.00000°	210.00000
C360	36.0	10.000	206.26488°	10.00000°	216.00000
C370	37.0	10.000	211.99446°	10.00000°	222.00000
C380	38.0	10.000	217.72404°	10.00000°	228.00000
C390	39.0	10.000	223.45362°	10.00000°	234.00000
C400	40.0	10.000	229.18320°	10.00000°	240.00000
C410	41.0	10.000	234.91278°	10.00000°	246.00000
C420	42.0	10.000	240.64236°	10.00000°	252.00000
C430	43.0	10.000	246.37194°	10.00000°	258.00000
C440	44.0	10.000	252.10152°	10.00000°	264.00000
C450	45.0	10.000	257.83110°	10.00000°	270.00000
C460	46.0	10.000	263.56068°	10.00000°	276.00000
C470	47.0	10.000	269.29026°	10.00000°	282.00000
C480	48.0	10.000	275.01984°	10.00000°	288.00000
C490	49.0	10.000	280.74942°	10.00000°	294.00000
C500	50.0	10.000	286.47900°	10.00000°	300.00000

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C15	54.00	225.00'	69°00'00"	51.972000'	34.87
C16	67.50	420.00'	59°00'00"	61.972500'	52.85
C17	65.25	319.00'	72°00'00"	59.900000'	43.29
C18	44.25	155.00'	29°00'00"	41.947500'	31.90
C19	78.25	405.00'	59°45'00"	75.719000'	52.65
C20	78.25	405.00'	95°45'00"	85.945000'	55.67
C21	12.89	8.00'	67°00'00"	8.472294'	12.87
C22	12.87	8.00'	95°00'00"	10.969694'	12.82
C23	100.00	270.00'	90°00'00"	101.562500'	99.92
C24	100.00	267.42'	92°45'00"	99.876670'	98.97
C25	100.00	303.75'	76°00'00"	99.892460'	100.00

LINE TABLE		
LINE	WAVELENGTH	DIRECTION
150	180.270	8. 500° 25' E
151	180.877	8. 505° 50' E
152	181.067	8. 507° 25' E
153	181.539	8. 510° 55' E
154	181.617	8. 511° 25' E
155	182.347	8. 516° 50' E
156	182.490	8. 518° 00' E
157	182.719	8. 520° 25' E
158	182.871	8. 522° 50' E
159	183.621	8. 530° 25' E
160	183.766	8. 531° 50' E
161	184.074	8. 535° 00' E
162	184.314	8. 537° 25' E
163	184.585	8. 540° 50' E
164	184.877	8. 544° 00' E
165	185.200	8. 548° 25' E
166	185.544	8. 553° 50' E
167	185.909	8. 559° 25' E
168	186.295	8. 565° 00' E
169	186.692	8. 571° 25' E
170	187.100	8. 578° 00' E
171	187.519	8. 585° 25' E
172	187.948	8. 592° 50' E
173	188.387	8. 600° 25' E
174	188.836	8. 608° 00' E
175	189.295	8. 615° 25' E
176	189.763	8. 623° 00' E
177	190.241	8. 630° 25' E
178	190.728	8. 638° 00' E
179	191.224	8. 645° 25' E
180	191.729	8. 653° 00' E
181	192.243	8. 660° 25' E
182	192.766	8. 668° 00' E
183	193.297	8. 675° 25' E
184	193.836	8. 683° 00' E
185	194.383	8. 690° 25' E
186	194.937	8. 698° 00' E
187	195.498	8. 705° 25' E
188	196.065	8. 713° 00' E
189	196.638	8. 720° 25' E
190	197.217	8. 728° 00' E
191	197.801	8. 735° 25' E
192	198.390	8. 743° 00' E
193	198.984	8. 750° 25' E
194	199.583	8. 758° 00' E
195	200.187	8. 765° 25' E
196	200.796	8. 773° 00' E
197	201.409	8. 780° 25' E
198	202.027	8. 788° 00' E
199	202.649	8. 795° 25' E
200	203.275	8. 803° 00' E
201	203.905	8. 810° 25' E
202	204.539	8. 818° 00' E
203	205.177	8. 825° 25' E
204	205.819	8. 833° 00' E
205	206.465	8. 840° 25' E
206	207.115	8. 848° 00' E
207	207.768	8. 855° 25' E
208	208.424	8. 863° 00' E
209	209.082	8. 870° 25' E
210	209.742	8. 878° 00' E
211	210.404	8. 885° 25' E
212	211.068	8. 893° 00' E
213	211.734	8. 900° 25' E
214	212.401	8. 908° 00' E
215	213.070	8. 915° 25' E
216	213.740	8. 923° 00' E
217	214.411	8. 930° 25' E
218	215.083	8. 938° 00' E
219	215.756	8. 945° 25' E
220	216.430	8. 953° 00' E
221	217.105	8. 960° 25' E
222	217.781	8. 968° 00' E
223	218.458	8. 975° 25' E
224	219.136	8. 983° 00' E
225	219.814	8. 990° 25' E
226	220.493	8. 998° 00' E
227	221.172	9. 005° 25' E
228	221.852	9. 013° 00' E
229	222.532	9. 020° 25' E
230	223.213	9. 028° 00' E
231	223.894	9. 035° 25' E
232	224.575	9. 043° 00' E
233	225.257	9. 050° 25' E
234	225.939	9. 058° 00' E
235	226.621	9. 065° 25

LINE TABLE		
LINE	LENGTH	DIRECTION
13074	50.20	N 12°40'45" E
13075	50.20	N 46°45'00" E
13076	42.00	N 57°30'00" E
13077	42.00	E 27°30'00" E
13078	74.00	E 22°30'00" E
13079	50.00	N 17°00'00" E
13080	50.00	N 17°00'00" E
13081	50.00	N 17°00'00" E
13082	50.00	E 33°40'00" E
13083	50.00	E 29°30'00" E
13084	50.00	N 17°00'00" E
13085	50.00	E 30°00'00" E
13086	50.00	N 75°00'00" E
13087	40.00	N 20°00'00" E
13088	50.00	N 17°00'00" E
13089	50.00	N 17°00'00" E

 BOUNDARY LINE
 LOT LINE
 SECTION LINE
 QUARTER SECTION LINE
 COUNTY LINE
 ADJACENT OWNED LINES
 NO ACCESS LINE
 AREA TIE LINES
 CALCULATED SECTION CORNER (NOTED)
 SECTION CORNER AS NOTED
 STREET MONUMENT
 SET 8' BY 2' REBAR WITH PLASTIC CAP STAMPED "NOLTE 1984"
 BUILDING ENVELOPE
 P.U.E. and FUTURE EXT. OF HANCOCK DRIVE

SUMMIT EDEN PHASE IIB
DEVELOPMENT PARCEL B, ROAD
PARCEL A AND LOTS 24 TO 34

LOCATED IN THE SOUTH $\frac{1}{2}$ OF SECTION 5,
SOUTHEAST $\frac{1}{4}$ OF SECTION 6 AND
NORTH $\frac{1}{2}$ OF SECTION 8 OF
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE
BASE AND MERIDIAN, WEBER COUNTY, UTAH

NY:

ROUTE VERTICAL FIVE

CACHE RECORDED #
STATE OF UTAH, COUNTY OF CACHE
RECORDED AND FILED AT THE
REQUEST OF _____
ENTRY NO. _____
DATE: _____ TIME: _____
BOOK: _____ PAGE: _____
FEE \$ _____
CACHE COUNTY RECORDER

WEEDER RECORDED #
STATE OF UTAH, COUNTY OF WEEDER
RECORDED AND FILED AT THE
REQUEST OF Simmons, Frank
ENTRY NO. 2672244
DATE: 2/10/2014 TIME: 02:10 PM
BOOK: 75 PAGE: 34
104 CTS
FEE \$ _____
Ernest to Weeder
WEEDER COUNTY RECORDER

75-34

SUMMIT EDEN RIDGE NESTS-PRUD AMENDMENT I

LOCATED IN THE SOUTH 1/2 OF SECTIONS 5 & 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
JANUARY 2016

SURVEYOR'S CERTIFICATE

I, RICHARD H. MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 89, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-20-11 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED IN THIS PLAT, AND THAT THIS PLAT SURVEY EDEN RIDGE NESTS-PRUD AMENDMENT I, IN KANE COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE EDEN RIDGE NESTS-PRUD AMENDMENT I SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE KANE COUNTY RECORDER'S OFFICE AND FIELD SURVEY DATA TAKEN ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF KANE COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.



RICHARD H. MILLER
PROFESSIONAL LAND SURVEYOR
UTAH CERTIFICATE NO. 15544

LEGAL DESCRIPTION

DEVELOPMENT PARCEL 8 OF THE SUMMIT EDEN PHASE IS SUBDIVISION, AS RECORDED WITH THE KANE COUNTY RECORDER, AS ENTRY NO. 24724 IN BOOK 76, AT PAGES 32 - 34, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT IS SOUTH 1,020.71 FEET AND EAST 50.94 FEET FROM THE EAST QUARTER CORNER OF SECTION 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN (DASIS OF BEARINGS BEING NORTH 89°59'41" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE WEST KANE COUNTY MONUMENT ON THE INTERSECTION OF THE HEDER/CACHE COUNTY LINE AND THE SECTION LINE), RUNNING THENCE SOUTH 63°37'51" EAST 113.31 FEET; THENCE SOUTH 07°03'41" EAST 108.16 FEET TO THE HEDER AND CACHE COUNTY LINE; THENCE SOUTH 82°00'41" EAST ALONG SAID COUNTY LINE 13.97 FEET; THENCE SOUTH 82°44'41" WEST 22.84 FEET; THENCE WESTERLY ALONG A 275.00 FOOT RADIUS CURVE TO THE LEFT, (CHORD BEARS SOUTH 72°27'41" WEST A DISTANCE OF 107.72 FEET), THROUGH A CENTRAL ANGLE OF 22°50'21", A DISTANCE OF 108.42 FEET; THENCE SOUTH 60°09'41" WEST 40.25 FEET; THENCE SOUTHWESTERLY ALONG A 275.00 FOOT RADIUS CURVE TO THE LEFT, (CHORD BEARS SOUTH 50°03'41" WEST A DISTANCE OF 47.41 FEET), THROUGH A CENTRAL ANGLE OF 10°00'04", A DISTANCE OF 48.00 FEET; THENCE SOUTH 80°09'41" WEST 60.24 FEET; THENCE SOUTHWESTERLY ALONG A 225.00 FOOT RADIUS CURVE TO THE RIGHT, (CHORD BEARS SOUTH 54°09'41" WEST A DISTANCE OF 45.11 FEET), THROUGH A CENTRAL ANGLE OF 07°10'41", A DISTANCE OF 45.24 FEET; THENCE SOUTH 62°27'41" WEST 67.41 FEET; THENCE SOUTHWESTERLY ALONG A 146.00 FOOT RADIUS CURVE TO THE LEFT, (CHORD BEARS SOUTH 58°09'41" WEST A DISTANCE OF 15.84 FEET), THROUGH A CENTRAL ANGLE OF 04°10'41", A DISTANCE OF 15.84 FEET; THENCE SOUTHWESTERLY ALONG A 35.00 FOOT RADIUS REVERSE CURVE TO THE RIGHT, (CHORD BEARS SOUTH 58°09'41" WEST A DISTANCE OF 40.40 FEET), THROUGH A CENTRAL ANGLE OF 05°09'41", A DISTANCE OF 44.54 FEET TO THE NORTHERLY LINE OF SUMMIT PASS; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 50°24'41" WEST 79.16 FEET; (2) WESTERLY ALONG A 2,100.76 FOOT RADIUS CURVE TO THE RIGHT, (CHORD BEARS NORTH 80°24'41" WEST A DISTANCE OF 78.91 FEET), THROUGH A CENTRAL ANGLE OF 07°04'41", A DISTANCE OF 98.16 FEET; AND (3) NORTH 64°20'41" WEST 102.46 FEET; THENCE NORTH 22°09'41" EAST 14.54 FEET; THENCE NORTH 67°52'41" WEST 23.37 FEET; THENCE NORTH 57°09'41" EAST 24.23 FEET; THENCE NORTH 72°27'41" EAST 16.13 FEET; THENCE NORTH 83°39'41" EAST 28.16 FEET TO THE POINT OF BEGINNING.

CONTAINING 136,454 SQUARE FEET OR 3.137 ACRES.

SURVEY NARRATIVE:

1. THIS SURVEY WAS PERFORMED TO AMEND AND RESTATE SUMMIT EDEN RIDGE NESTS-PRUD AS RECORDED IN THE OFFICE OF THE KANE COUNTY RECORDER'S OFFICE (ENTRY NUMBER 24724, BOOK 76, PAGES 32 - 34). THE CHANGES INCLUDE ADDING OPEN SPACE PARCEL 054 AND LIMITED COMMON AREAS, THINCH CHANGES TO VARIOUS PLAT NOTES, THINCH CHANGES TO THE TYPICAL LOT CONFIGURATION, LOTS 9-15 BECAME "RESTRICTED" OR (R) LOTS, AND A THINCH SHIFT OF LOT 8 AND LOT 6.

2. THE BASIS OF BEARINGS FOR THIS PLAT IS NORTH 89°59'41" WEST BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND A FOUND KANE COUNTY LINE MONUMENT SET BY THE KANE COUNTY SURVEYOR'S OFFICE. THIS BEARING DIFFERS FROM KANE COUNTY SURVEYORS BEARING BY 00°00'41" AS SHOWN ON COUNTY LINE DECLARATION RECORDED PLAT BOOK 74, PAGE 44.

PLAT NOTES:

THIS PLAT AMENDS IS SUBJECT TO ALL LEGALLY ENFORCEABLE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES THAT APPEAR ON THE SUMMIT EDEN RIDGE NESTS-PRUD (ENTRY 24724) UNLESS OTHERWISE NOTED ON THIS PLAT.

PLAT NOTE #5 IS HEREBY REPLACED IN ITS ENTIRETY AS FOLLOWS:

5. LIMITED COMMON AREAS SHALL MEAN THOSE PARTS OF THE COMMON AREA WHICH ARE LIMITED TO AND RESERVED FOR THE USE OF OWNERS OF ONE OR MORE, BUT FEWER THAN ALL, OF THE LOTS. THE LIMITED COMMON AREAS SHALL INCLUDE ALL COMMON AREAS DESIGNATED AS LIMITED COMMON AREAS ON THE PLAT OR BY THE NEIGHBORHOOD DEVELOPER OR THE NEIGHBORHOOD ASSOCIATION ASSOCIATIONS IN ACCORDANCE WITH THE NEIGHBORHOOD DECLARATION. LIMITED COMMON AREAS DESIGNATED HEREIN ARE APPURTENANT TO THE ADJACENT LOT. NO REFERENCE TO ANY LIMITED COMMON AREAS NEEDS TO BE MADE IN ANY INSTRUMENT OF CONVEYANCE, ENCUMBRANCE OR OTHER INSTRUMENT. EACH OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, LIVERY AND REPAIR OF IMPROVEMENTS ON THE LIMITED COMMON AREA APPURTENANT TO SUCH OWNER'S LOT AND THE USE THEREOF AS MORE SPECIFICALLY SET FORTH IN THE NEIGHBORHOOD DECLARATION.

PLAT NOTE #6 IS HEREBY REPLACED IN ITS ENTIRETY AS FOLLOWS:

6. DECLARANT HEREBY GRANTS TO ALL UTILITY PROVIDERS AN EASEMENT OVER AND ACROSS ALL COMMON AREAS, INCLUDING ALL LIMITED COMMON AREA, FOR THE PURPOSE OF INSTALLING, MAINTAINING AND OPERATING EQUIPMENT AND FACILITIES ABOVE AND BELOW GROUND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY HAVE BEEN PLACED WITHIN THE EASEMENTS. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUBLIC UTILITY EASEMENTS WHICH INTERFERES WITH THE USE OF THE EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE APPLICABLE UTILITY PROVIDERS.

PLAT NOTE #3 IS HEREBY REPLACED IN ITS ENTIRETY AS FOLLOWS:

3. NOTICE IS HEREBY GIVEN OF THE DECLARANT'S RIGHT TO RESERVE, CREATE AND GRANT EASEMENTS WITHIN ALL COMMON AREA, INCLUDING ALL LIMITED COMMON AREA, FOR CONSTRUCTING AND MAINTAINING HIGHWAYS AND TRAILS (TRAIL EASEMENTS). THE EXACT LOCATION OF THE TRAILS MAY BE DESIGNATED, ADDED TO, DELETED, OR MODIFIED BY DECLARANT WITHOUT THE AMENDMENT TO THIS PLAT AS MORE FULLY DESCRIBED IN THE NEIGHBORHOOD DECLARATION. DECLARANT HEREBY GRANTS TO THE NEIGHBORHOOD ASSOCIATION, COMMUNITY ASSOCIATION, AND THEIR MEMBERS AN EASEMENT FOR USE AND ENJOYMENT OF THE TRAIL EASEMENT, IN THE AS-CONSTRUCTED LOCATIONS, AS MAY BE MODIFIED OR DELETED FROM TIME TO TIME, IN ACCORDANCE WITH ANY RULES AND REGULATIONS ADOPTED BY DECLARANT.

PLAT NOTE #2 IS HEREBY ADDED TO THE SUBDIVISION PLAT NOTES:

2. CERTAIN PARCELS MAY BE DESIGNATED HEREON AS "OPEN SPACE CONSERVATION." SUCH PARCELS SHALL BE INITIALLY OWNED BY DECLARANT AND ARE NOT PART OF ANY COMMON AREA OR ASSOCIATION OR COMMUNITY ASSOCIATION. SUCH PARCELS ARE TO REMAIN UNDEVELOPED AND PERMANENTLY PRESERVED IN ORDER TO MAINTAIN SCENIC QUALITIES AND NATURAL BUFFERS. ABOVE-GROUND FACILITIES AND AMENITIES SHALL BE PROHIBITED WITHIN ANY AREA DESIGNATED AS OPEN SPACE CONSERVATION, DESPITE ANY CONTRARY PROVISIONS IN THE NEIGHBORHOOD DECLARATION OR TRACT'S DECLARATION. PARCEL 054 MAY NOT BE REUSED IN SITE, RELOCATED OR CHANGED IN USE TO SOMETHING OTHER THAN OPEN SPACE CONSERVATION, AS DEFINED IN THE KANE COUNTY LAND USE CODE, WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER(S) OF LOT 348 IN SUMMIT EDEN PHASE II. FURTHER, THIS NOTE MAY NOT BE AMENDED TO DELETE OR ADD THE IMMEDIATELY PRECEDING SENTENCE WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER(S) OF LOT 348 IN SUMMIT EDEN PHASE II.

* PAR 054

OWNER'S DEDICATION:

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY AFFIRM AND SUBSCRIBE THE SAME INTO LOTS AS SHOWN HEREON, SUBJECT TO ALL OF THE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES, AND NAME SAID TRACT, TO BE KNOWN AS:

SUMMIT EDEN RIDGE NESTS-PRUD AMENDMENT I

AND DO HEREBY GRANT AND DEDICATE THOSE CERTAIN EASEMENTS DESCRIBED IN PLAT NOTE 8, SUCH NOTES AND THE RESERVATION AND GRANT OF EASEMENTS DESCRIBED THEREIN ARE INCORPORATED HEREIN BY REFERENCE.

IN WITNESS WHEREOF, DECLARANT HAS EXECUTED THIS OWNER'S DEDICATION AS OF THE 2nd DAY OF FEBRUARY, 2016.

SMHG PHASE I LLC, A DELAWARE LIMITED LIABILITY COMPANY
BY: SUE TURNER, SECRETARY
NAME: SUE TURNER
TITLE: SECRETARY

OWNER OF LOT 4
BY: NICK MORTON
NAME: GREGORY VINCENT MAURO
TITLE: POWER OF ATTORNEY FOR NICK MORTON

OWNER OF LOT 3
BY: GAYLE TROBEN
NAME: GREGORY VINCENT MAURO
TITLE: POWER OF ATTORNEY FOR GAYLE TROBEN

OWNER OF LOT 4
BY: EVAN MENDELSON
NAME: GREGORY VINCENT MAURO
TITLE: POWER OF ATTORNEY FOR EVAN MENDELSON

OWNER OF LOT 3
BY: SUE TURNER
NAME: GREGORY VINCENT MAURO
TITLE: POWER OF ATTORNEY FOR SUE TURNER

ACKNOWLEDGEMENTS:

STATE OF UTAH

COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF February, 2016 BY JEFF MENDELSON, AUTHORIZED SIGNATORY OF SMHG INVESTMENTS LLC, THE SOLE MEMBER OF SMHG PHASE I LLC.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/12/18

RESIDING IN: Wilson, Utah



STATE OF UTAH

COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF February, 2016 BY GREGORY VINCENT MAURO, POWER OF ATTORNEY FOR NICK MORTON.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/12/18

RESIDING IN: Wilson, Utah



STATE OF UTAH

COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF February, 2016 BY GREGORY VINCENT MAURO, POWER OF ATTORNEY FOR EVAN MENDELSON.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/12/18

RESIDING IN: Wilson, Utah



STATE OF UTAH

COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF February, 2016 BY GREGORY VINCENT MAURO, POWER OF ATTORNEY FOR GAYLE TROBEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/12/18

RESIDING IN: Wilson, Utah



STATE OF UTAH

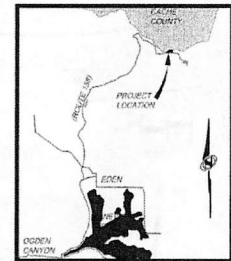
COUNTY OF KANE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF February, 2016 BY GREGORY VINCENT MAURO, POWER OF ATTORNEY FOR SUE TURNER.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/12/18

RESIDING IN: Wilson, Utah



Vicinity Map

CASH RECORDED

STATE OF UTAH, COUNTY OF KANE,
RECORDED AND FILED AT THE
REQUEST OF:

ENTRY NO. _____
DATE: _____ TIME: _____
PAGE: _____

FEE \$ _____

CACHE COUNTY RECORDER

Sheet 1 of 2

NV5

NOTICE VERTICALIVE

12/12/18 12:00 PM ENTRY 5422

12/12/18 12:00 PM, 12/12/18 12:00 PM

12/12/18 12:00 PM

SEE RECORD OF SURVEY 5422

KANE COUNTY COPIES/ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DECLARATION OF EASEMENTS AND OTHER PUBLIC MAPS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS, IN ACCORDANCE WITH AN INTERLOCAL AGREEMENT BETWEEN KANE COUNTY AND CACHE COUNTY, KANE COUNTY, PROPOSED IN MAY 2015, ASSOCIATED WITH THIS SUBDIVISION, THESE ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF KANE COUNTY, UTAH.

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KANE COUNTY COPIES/ACCEPTANCE

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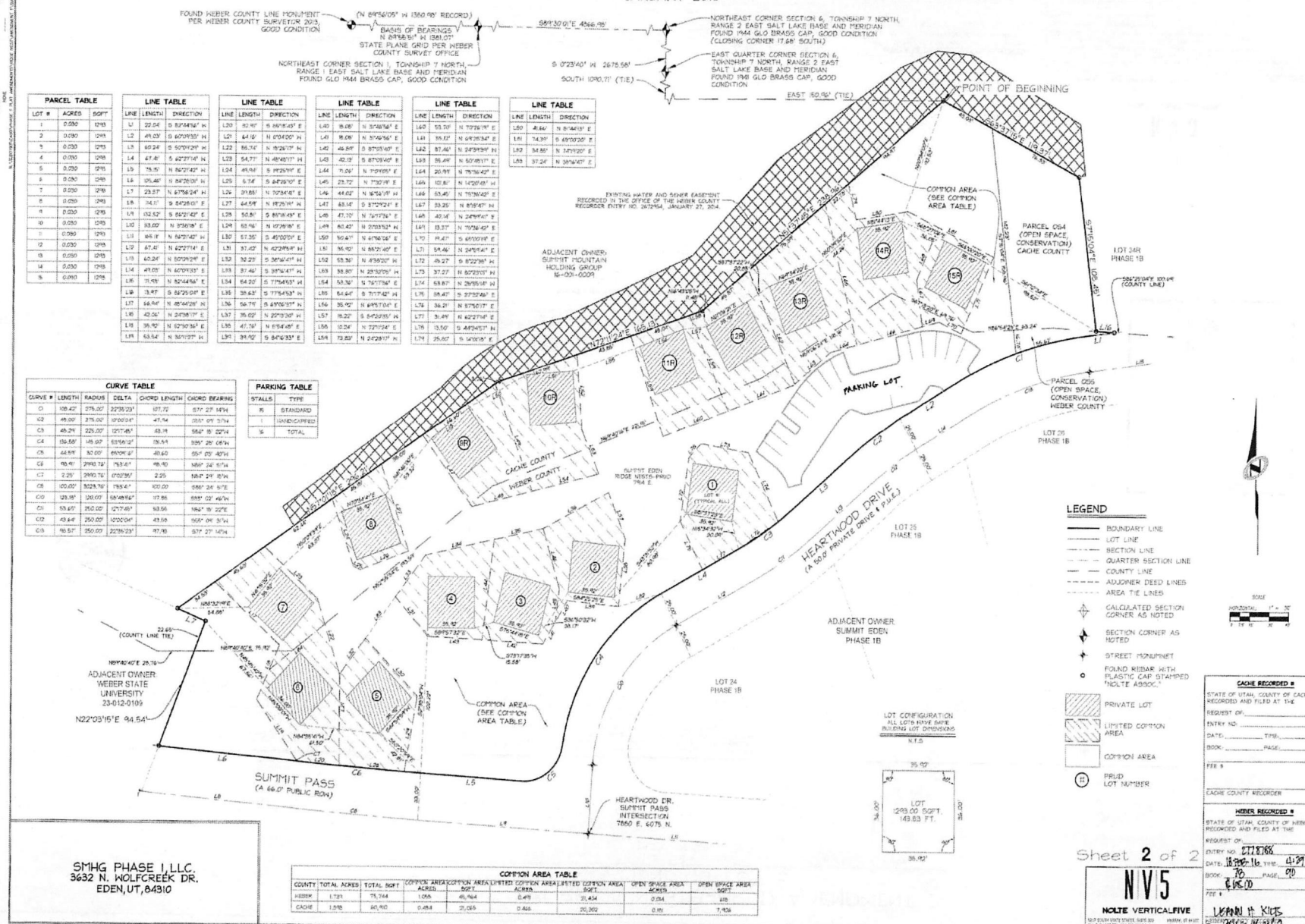
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THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DECLARATION OF EASEMENTS AND OTHER PUBLIC MAPS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS, IN ACCORDANCE WITH AN INTERLOCAL AGREEMENT BETWEEN KANE COUNTY AND CACHE COUNTY, KANE COUNTY, PROPOSED IN MAY 2015, ASSOCIATED WITH THIS SUBDIVISION, THESE ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF KANE COUNTY, UTAH.

LOCATED IN THE SOUTH 1/2 OF SECTIONS 5 & 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN



SUMMIT EDEN RIDGE NESTS-PRUD AMENDMENT 2 AMENDING LOT 5

LOCATED IN THE SOUTH 1/2 OF SECTIONS 5 & 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
MAY 2016

SURVEYOR'S CERTIFICATE

I, RICHARD H. FULLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 19, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-25-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED IN THIS PLAT, AND THAT THIS PLAT SUMMIT EDEN RIDGE NESTS-PRUD AMENDMENT 2, IN NEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDING SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE NEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF NEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.



RICHARD H. FULLER
PROFESSIONAL LAND SURVEYOR
UTAH CERTIFICATE NO. 155641

LEGAL DESCRIPTION

LOT 5 OF SUMMIT EDEN RIDGE NESTS PRUD (AS RECORDED AS ENTRY 2612949), AS PREVIOUSLY AMENDED, IS BEING AMENDED AND IS NOW DESCRIBED AS:

BEGINNING AT A POINT THAT IS WEST 272.96 FEET AND SOUTH 148.56 FEET FROM THE EAST QUARTER CORNER OF SECTION 6, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARINGS BEING NORTH 89°45'11" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE NE NEBER COUNTY MONUMENT ON THE INTERSECTION OF THE NEBER-CACHE COUNTY LINE AND THE SECTION LINE), RUNNING THENCE SOUTH 40°04'41" EAST 37.45 FEET, THENCE SOUTH 0°00'00" WEST 86.47 FEET, THENCE ALONG A 50.76 FOOT LONG CURVE HAVING A CHORD OF NORTH 85°07'55" WEST 50.76 FEET WITH A RADIUS OF 2,970.72 FEET, THENCE NORTH 85°04'41" WEST 50.76 FEET, THENCE NORTH 0°00'00" WEST 84.46 FEET, THENCE NORTH 10°26'17" WEST 2.45 FEET, THENCE NORTH 40°04'41" EAST 46.15 FEET TO THE POINT OF BEGINNING.

SURVEY NARRATIVE

1. THIS SURVEY WAS PERFORMED TO AMEND LOT 5 OF SUMMIT EDEN RIDGE NESTS PRUD AS RECORDED IN THE OFFICE OF THE NEBER COUNTY RECORDER'S OFFICE (ENTRY NUMBER 2612949, BOOK 75, PAGES 43 - 44). THE CHANGES INCLUDE A POINT SHIFT AND ROTATION OF LOT 5 INCLUDING ADJUSTMENTS TO ITS APPURTENANT LIMITED COMMON AREA.

2. THE BASIS OF BEARINGS FOR THIS PLAT IS NORTH 89°45'11" WEST BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND A FOUND NEBER COUNTY LINE MONUMENT SET BY THE NEBER COUNTY SURVEYOR'S OFFICE. THIS BEARING DIFFERS FROM NEBER COUNTY SURVEYORS BEARING BY 0°00'00" AS SHOWN ON COUNTY LINE DECLARATION RECORDED PLAT BOOK 74, PAGE 64.

PLAT NOTES:

THIS PLAT AMENDMENT IS SUBJECT TO ALL LEGALLY ENFORCEABLE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES THAT APPEAR ON THE SUMMIT EDEN RIDGE NESTS PRUD (ENTRY 2612949), AS AMENDED, UNLESS OTHERWISE NOTED ON THIS PLAT.

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AS SHOWN HEREON, SUBJECT TO ALL OF THE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES, AND NAME SAID TRACT, TO BE KNOWN AS:

SUMMIT EDEN RIDGE NESTS PRUD AMENDMENT 2

AND DO HEREBY GRANT AND DEDICATE THOSE CERTAIN EASEMENTS DESCRIBED IN PLAT NOTE 4, SUCH NOTES AND THE RESERVATION AND GRANT OF EASEMENTS DESCRIBED THEREIN ARE INCORPORATED HEREIN BY REFERENCE.

IN WITNESS WHEREOF, DECLARANT HAS EXECUTED THIS OWNER'S DEDICATION AS OF THE ____ DAY OF _____, 20__.

SMHG PHASE I, LLC, A DELAWARE LIMITED LIABILITY COMPANY
BY: JEFF HERBELSON, AUTHORIZED SIGNATORY

NAME: JEFF HERBELSON
TITLE: AUTHORIZED SIGNATORY

ACKNOWLEDGEMENTS:

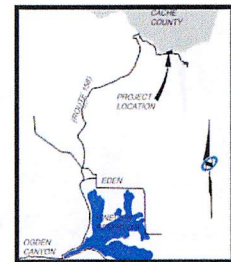
STATE OF UTAH | S.D.
COUNTY OF NEBER

THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__, BY JEFF HERBELSON, AUTHORIZED SIGNATORY OF SMHG INVESTMENTS LLC, THE SOLE MEMBER OF SMHG PHASE I, LLC.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

RESIDING IN _____



Vicinity Map
NTS

SMHG PHASE I, LLC.
3632 N. WOLF CREEK DR.
EDEN, UT, 84310

NEBER COUNTY ATTORNEY

I HAVE EXAMINED THE ORIGINAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THEREOF AND NOW IN FORCE AND EFFECT.

SIGNED THIS ____ DAY OF _____, 20__

SIGNATURE _____

NEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE NEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTIONS, SECTION CORNER DATA AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN THE COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE NEBER COUNTY SURVEYOR DOES NOT RELIEVE THE UNDERSIGNED LAND SURVEYOR FROM SUBMITTING THIS PLAT FROM RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS ____ DAY OF _____, 20__

COUNTY SURVEYOR _____

NEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS. SIGNED THIS ____ DAY OF _____, 20__

SIGNATURE _____

NEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN ONLY APPROVED BY THE NEBER COUNTY PLANNING COMMISSION ON THE DAY OF _____, 20__

CHAIRMAN-NEBER COUNTY PLANNING COMMISSION _____

NEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WORKS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS, IS IN ACCORDANCE WITH AN INTERLOCAL AGREEMENT BETWEEN NEBER COUNTY AND CACHE COUNTY. ENTRY PLANNING, RECORDED 25 MAY 2016, ASSOCIATED WITH THIS SUBDIVISION PLAT HAS BEEN APPROVED AND ACCEPTED BY THE COMMISSIONERS OF NEBER COUNTY, UTAH. THIS ____ DAY OF _____, 20__

CHAIRMAN, NEBER COUNTY COMMISSION _____

ASSESSOR _____

TITLE _____

CACHE RECORDED

STATE OF UTAH, COUNTY OF CACHE

RECORDED AND FILED AT THE

REQUEST OF _____

ENTRY NO. _____

DATE _____ TIME _____

BOOK _____ PAGE _____

FEE \$ _____

CACHE COUNTY RECORDER _____

NEBER RECORDED

STATE OF UTAH, COUNTY OF NEBER

RECORDED AND FILED AT THE

REQUEST OF _____

ENTRY NO. _____

DATE _____ TIME _____

BOOK _____ PAGE _____

FEE \$ _____

NEBER COUNTY RECORDER _____

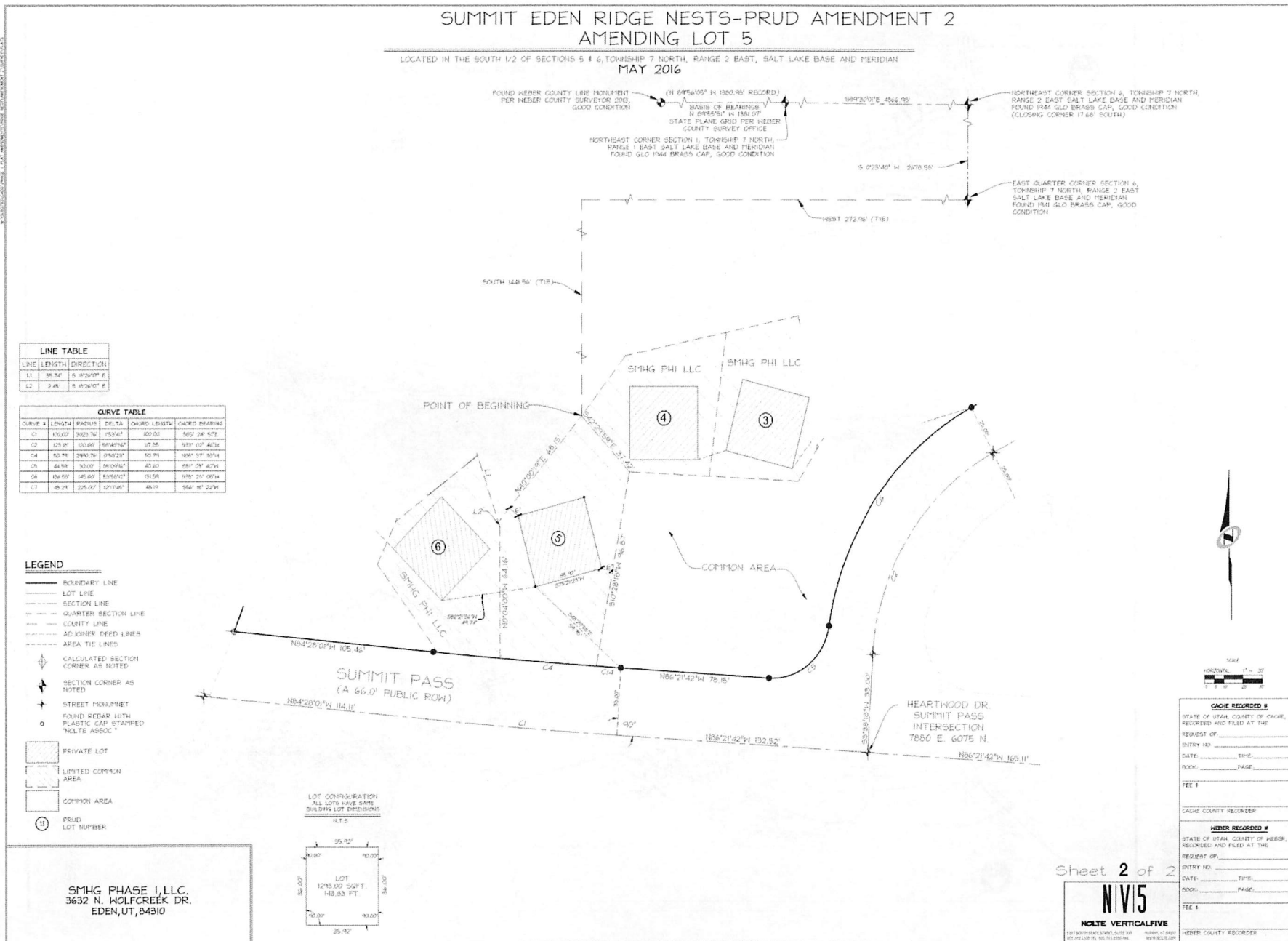
Sheet 1 of 2

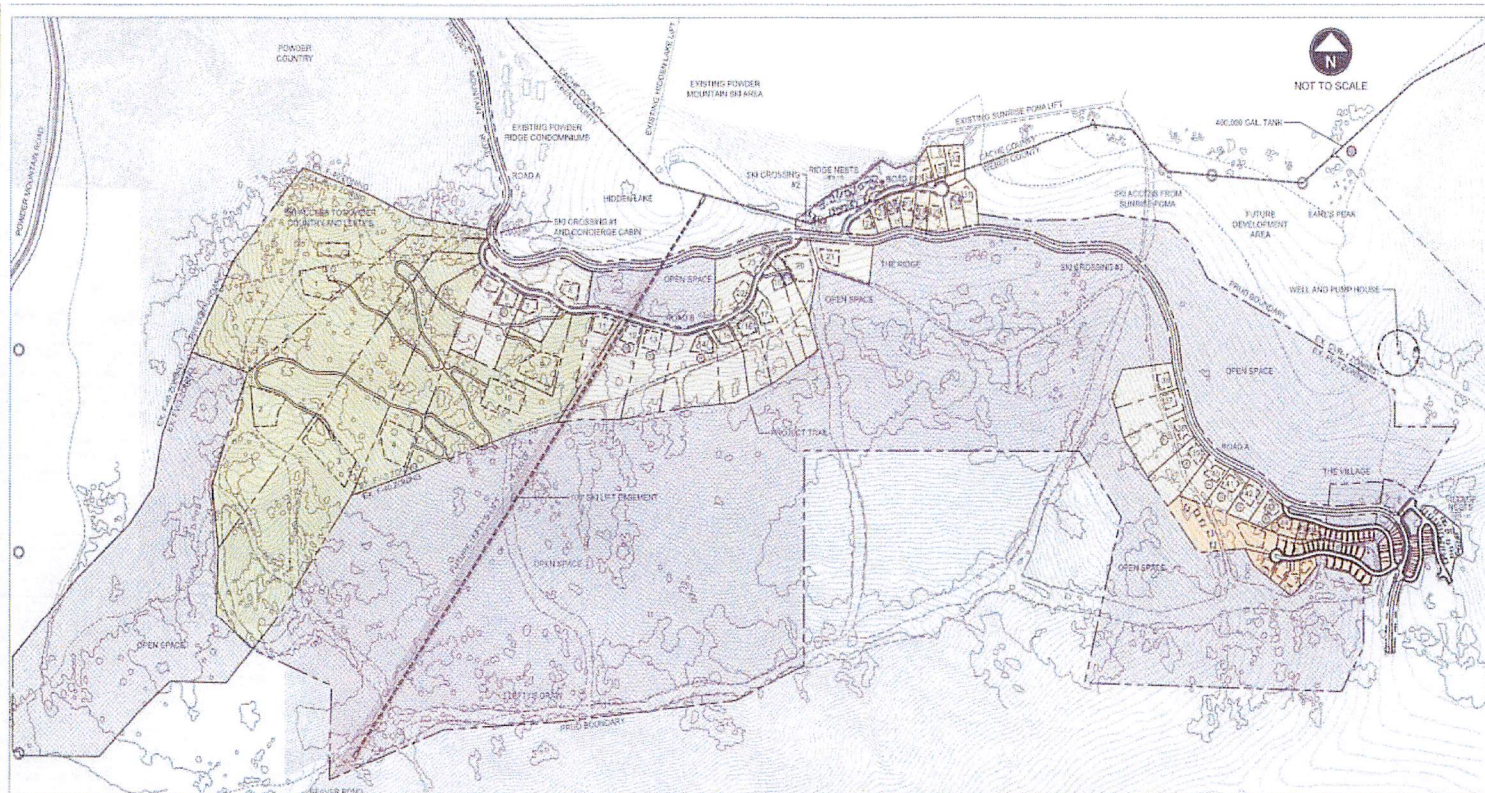
NV5

MOULTE VERTICAL FIVE

2016-05-05 10:00:00 AM

2016-05-05 10:00:00 AM





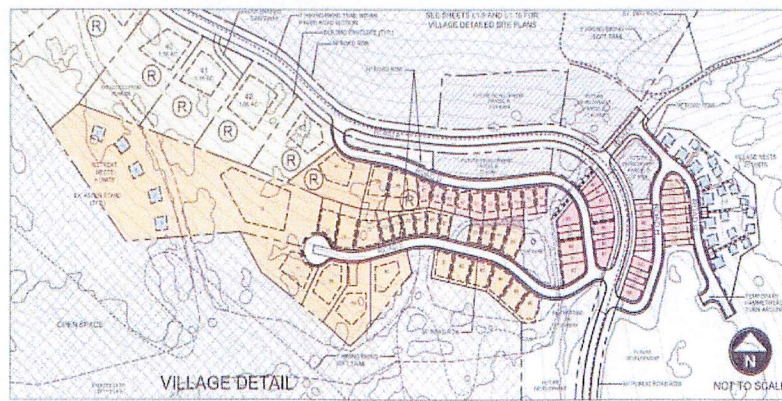
LOT LEGEND AND MIN. SETBACK STANDARDS

	RANCH SINGLE FAMILY	FRONT 30'
		REAR 30'
	ESTATE SINGLE FAMILY	FRONT 20'
		REAR 20'
	CABIN SINGLE FAMILY	FRONT 10'
		REAR 10'
	HILLSIDE SINGLE FAMILY	FRONT 5'
		REAR 5'
	VILLAGE SINGLE FAMILY	FRONT 0'
		REAR 0'
	VILLAGE LIVE/WORK SINGLE FAMILY	FRONT 0'
		REAR 0'
	NESTS	FRONT 0'
		REAR 0'

(R) RESTRICTED LOT

PRUD DEVELOPMENT DATA

TOTAL PRUD BOUNDARY AREA	554.23 ACRES
ZONE PV-3 AREA	392.04 ACRES
ZONE F-40 AREA	194.83 ACRES
ZONE CVR-1 AREA	2.46 ACRES
CACHE COUNTY AREA	4.90 ACRES
ROAD ROW AREA	18.99 ACRES
SLOPES > 40%	111.85 ACRES
NET DEVELOPABLE AREA	453.42 ACRES
PROPOSED LOTS	116 LOTS
PROPOSED UNITS	154 UNITS
RANCH SINGLE FAMILY	8 UNITS
ESTATE SINGLE FAMILY	25 UNITS
CABIN SINGLE FAMILY	11 UNITS
HILLSIDE SINGLE FAMILY	27 UNITS
VILLAGE SINGLE FAMILY	24 UNITS
VILLAGE LIVE/WORK SF	21 UNITS
NESTS	40 UNITS
PROPOSED DENSITY	1 UNIT/0.85 ACRES
PROPOSED OPEN SPACE	384.19 ACRES (69.6%)



SUMMIT EDEN
PHASE 1 PRUD SUBMITTAL

POWDER MOUNTAIN, WEBER COUNTY, UTAH



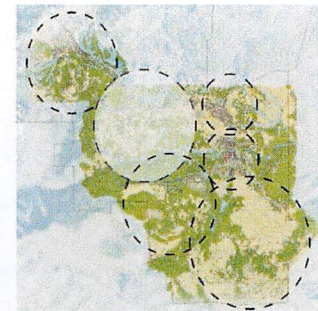
DATE:	MARCH 13, 2013
PROJECT:	SUMMIT EDEN
DESIGNED BY:	EL
REVIEWED BY:	EL
VERSION:	PRUD
REVISIONS:	
SHEET TITLE:	OVERALL SITE PLAN
SHEET NUMBER:	L1.2

The Ridge Illustrative Plan



Placement of development within the Ridge area has been sensitive to the existing ski experience at Powder Mountain with future hotels and multi family units designed to be within ski access to the existing mountain while maintaining the existing ski accesses. Single family units have been located on the mountain within existing tree massing to provide visual and physical protection as well as to maintain those important open meadow and hillsides for the remainder of the Resort.

KEY MAP





Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for approval of Conditional Use Permit CUP 2016-09 an amendment to include a caretaker's home at Camp UTABA a private campground, located at 7005 North North Fork Road, Liberty.

Decision Type: Administrative

Agenda Date: Tuesday, June 28, 2016

Applicant: Scott Blank, Representative of Camp UTABA

File Number: CUP 2016-09

Property Information

Approximate Address: 7005 North North Fork Road, Liberty UT.

Project Area: 41.06 acres

Zoning: Forest Zone (F-5)

Existing Land Use: Private Campground

Proposed Land Use: Private Campground

Parcel ID: 17-092-0015, 17-092-0006, and 17-092-0029

Township, Range, Section: T8N, R1W, Section 36

Adjacent Land Use

North: Forest

East: Residential

South: Campground

West: Campground

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: RK

Applicable Ordinances

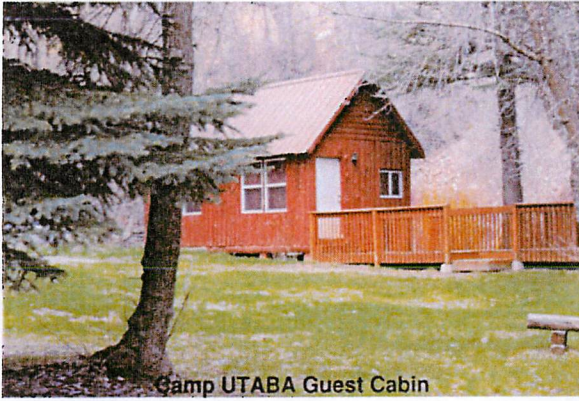
- Weber County Land Use Code Title 104 Zones Chapter 9 Forest Zone (F-5)
- Weber County Land Use Code Title 104 Zones Chapter 27 (Natural Hazards Overlay District)
- Weber County Land Use Code Title 108 Standards Chapter 1 (Design Review)
- Weber County Land Use Code Title 108 Standards Chapter 2 (Ogden Valley Architectural, Landscaping, and Screening Design Standards)
- Weber County Land Use Code Title 108 Standards Chapter 8 (Parking and Loading space, Vehicle Traffic, and Access Regulations)
- Weber County Land Use Code Title 108 Standards Chapter 16 (Ogden Valley Lighting Chapter)
- Weber County Land Use Code Title 108 Standards Chapter 20 (Forest Camp Grounds)
- Weber County Land Use Code Title 110 Signs Chapter 2 (Ogden Valley Signs)



Proposed Caretaker's Home

Background

The applicant is requesting approval of Conditional Use Permit CUP 2016-09 amendment to include a caretaker's home at Camp UTABA a private campground. The property is currently in the Forest Zone (F-5), and located at 7005 North North Fork Road, Liberty, UT. The amendment to the site plan includes the addition of one 2,305 square foot (76 foot by 30.33 foot) building. The building will be a one story manufactured home. The building will have light tan siding, white windows and trim, and a brown metal roof. The home will be just east of the main road in the camp about 350 feet back from the entry. Currently there is an old manager's cabin near by this site that will be removed.



Camp UTABA Guest Cabin

The applicant has provided a narrative (Exhibit A) of the project and the camp that has been in operation since 1924. A site plan (Exhibit B & C) and several photos (Exhibit E) of the existing conditions of the camp and cabins have been submitted for reference. A favorable geologic site reconnaissance (Exhibit F) was conducted on the site.

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan in a manner that does not detract from the Valley's rural character and natural setting. Uses that meet the requirements of applicable Land Use Codes conform to the General Plan. This

conditional use application addresses water, wastewater, access, and other issues which are discussed in the General Plan.

Land Use Code Standards: As part of the site plan approval process, the proposal has been reviewed against the adopted current zoning code to ensure that the regulations and standards have been adhered to. It appears that the proposed site plan is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Conditional Use: No harmful effects would occur with this new building as it is replacing a long time existing caretaker residence on the site and is typical to private church campgrounds in the forest zones. A private campground is a conditional use in the F-5 Zone. The site received a previous approval as CUP 1993-02.

Zoning: Forest Zone F-5.

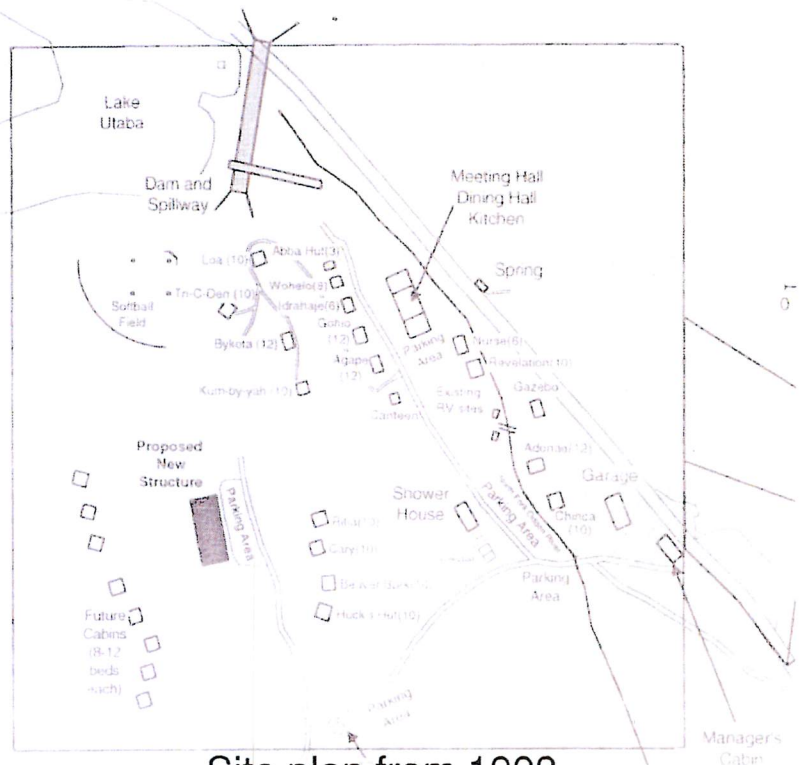
Lot area, frontage/width and yard regulations: Previously approved site, with no changes proposed to the parcel boundary.

Sensitive lands: The North Fork of the Ogden River runs through the camp below the UTABA Reservoir and requires a 100 foot area of non disturbance for the high water mark of the river. All of the newly proposed work is outside of this area.

Flood Plain: Much of the campground located near the river is in Zone "AE" however areas where the cabins are located are in Zone "X" as determined by the FEMA maps. This Zone "AE" is typically referred to as the floodplain, and has a one percent chance of flooding.

Culinary water and sanitary sewage disposal: A feasibility letter has been provided for the culinary and wastewater systems for the proposed caretakers dwelling. The camp is served by a private well and a large drain field and septic system.

Geologic and Natural Hazards: As the large campground contains some mountainous areas a site reconnaissance was required. It was determined that the site of the dwelling was in an area that did not have excessive slopes. And not adversely exposed to geological hazards.



Site plan from 1993

Review Agencies: The Weber County Engineering Division, the Weber County Surveyor's Office, and the Weber Fire District have reviewed and approved the proposal. All review agency comments have been attached as Exhibit D.

Additional design standards and requirements: The amendment to the site plan includes the addition of one 2,305 square foot (76 foot by 30.33 foot) building. The building will be a one story manufactured home. The building will have light tan wood siding (horizontal), white windows and trim, and a brown metal roof. The home will be just east of the main road in the camp about 350 feet back from the entry. Currently there is an old manager's cabin near by this site that will be removed.

The design's colors, and materials are consistent with some of the older existing structures and cabins on site, as well as the standards in Ogden Valley Architectural, Landscape, and Screening Design Standards (LUC §108-2). Light recommendations have been made by starrynightsutah.org for Dark Sky compliant lighting on the caretaker's home.

Public Notice: Noticing has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed conditional use amendment.

Summary of Administrative Considerations

Are the project layout (site plan), proposed land use, and building design consistent with, and does it meet the applicable requirements of the Weber County Land Use Code?

- The application meets the applicable standards in the Weber County Land Use Code.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Building Inspection Division
- Requirements of the Weber Fire District
- Requirements of the Weber Morgan Health Department

Staff Recommendation

Staff recommends approval of this conditional use application for a new caretaker's dwelling at Camp UTABA a private campground in the F-5 Zone. The recommendation is subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Director. This recommendation is based on the following findings:

- The private campground is allowed in the F-5 Zone as a conditional use with the proposed caretaker's dwelling as an accessory use.
- The site plan meets all applicable site standards in the Weber County Land Use Code.
- A favorable recommendation has been made regarding and slope or geologic hazards at the proposed location.
- The criteria for issuance of a conditional use permit have been met because mitigation of potential detrimental effects can be accomplished.

Administrative Approval

Administrative final approval of Conditional Use Permit CUP 2016-09 an amendment to include a caretaker's home at Camp UTABA a private campground is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: Tuesday, June 28, 2016.



Rick Grover

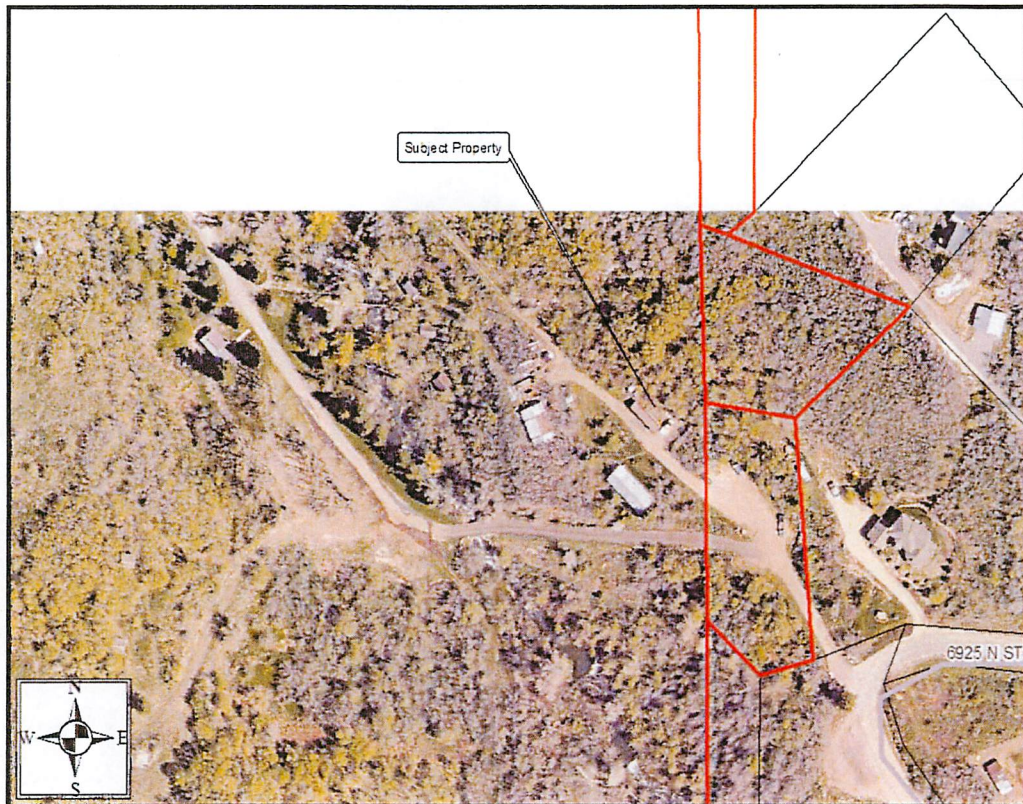
Weber County Planning Director

Exhibits

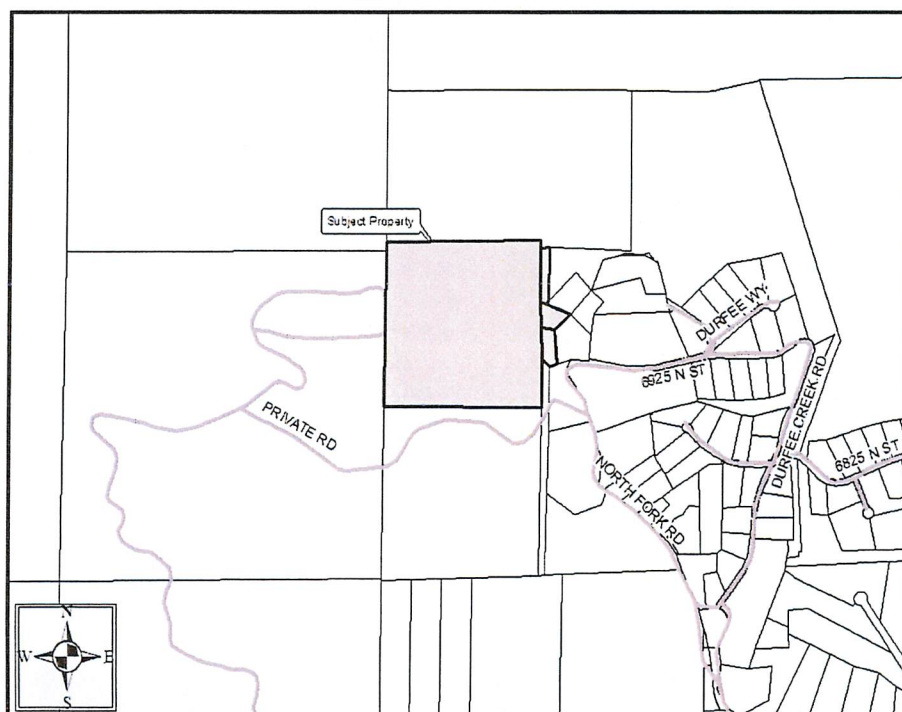
- A. Application and narrative
- B. Site Plans
- C. Elevations

- D. Agency reviews
- E. Sample photos of buildings at the campground
- F. Geologic Site Reconnaissance

Photo of the proposed subdivision



Notice map for the proposed subdivision



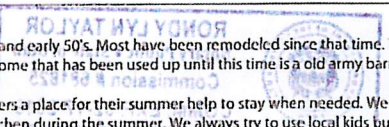
Weber County Design Review Application			
Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) Utah Association of American Baptist Churches		Mailing Address of Property Owner(s) 7005 North Fork Road Liberty, Ut. 84310	
Phone 801-745-3570	Fax 801-745-6221	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address (required) info@camputaba.org			
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) Scott Blank		Mailing Address of Authorized Person 7005 North Fork Road Liberty, Ut. 84310	
Phone 801-745-3570	Fax 801-745-6221	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address info@camputaba.org			
Property Information			
Project Name Camp UTABA Caretakers Home		Current Zoning F 5	Total Acreage 40
Approximate Address 7005 North Fork Road Liberty, Ut. 84310		Land Serial Number(s) 17-092-0015	
Proposed Use Religious Private Camp			
<div style="display: flex; justify-content: space-between;"> <div> <p>Project Narrative</p> <p>The camp has been in operation since 1924. Most of the building were built in the late 40's and early 50's. Most have been remodeled since that time. The camp runs year round now. There has been a on-site full time caretaker since the early 70's. The home that has been used up until this time is a old army barracks that was converted into a two bedroom home.</p> <p>The new home would be a four bedroom manufactured home that would give the care takers a place for their summer help to stay when needed. We employ the a couple that live in the house year round. Then up to three teenagers to help in the kitchen during the summer. We always try to use local kids but, some time we have one or two from over the hill. Then we like them to stay the weekend instead of driving back and forth.</p> <p>The camp is used roughly every weekend from Jan. to Nov. and week long camps during the summer months. With about 45 different groups using the camp though out the year. We have all different religious denomination, educational groups, and family reunions. Our caretakers and staff do the cleaning and maintenance on all the ground and building. We also do the meals for the groups. The average size of a group is 55 campers. We can handle up to 100 campers. We do have a minimum size of 25 campers.</p> <p>We have groups that come from all over the world to spend some time here. Most of the groups are from right here in Utah.</p> <p>The home will have</p> <ul style="list-style-type: none"> 3-12 roof pitch with a medium brown metal roof Siding in PlyCem lap color is called Camel coat (which is a light tan) with white windows and trim. The snow load on the roof is rated for 100 lbs load. The home will set on piers just like in a mobile home park. (No foundation or basement.) The size of the home is 76'0" X 30'4" </div> <div style="text-align: right;">  </div> </div>			

Exhibit B Site Plans



Proposed Site Plan with New Caretaker Residence

Exhibit D Review Agencies Comments

Engineering Review 1

Project: Camp UTABA CUP

User: Chad Meyerhoffer

Department: Weber County Engineering Division

Created: 2016-06-15

Approved: Not Approved

Notes: I have had a chance to review the plan(s) and have the following comment(s): **Written responses to the following comments are required.**

1. In looking at this the determination was made that the area is in a Geological Unit that will require a Geological Hazard Study. A site reconnaissance from a Geologist will need to be done on the property.
2. A Storm Water Construction Activity Permit is required for all work that disturbs more than 5000 square feet.

I have tried to address all items of concern from the Engineering Department. However, this review does not forego other items of concern that may come to this department's attention during additional reviews or during construction of improvements. If you have any comments or questions concerning this review, feel free to contact me.

Thanks,

Chad Meyerhoffer

Weber County Engineering

801-399-8004

cmeyerho@co.weber.ut.us

Weber Fire District Review

Project: Camp UTABA CUP

User: Brandon Thueson

Department: Weber Fire District

Created: 2016-05-09

Approved: Yes

SPECIFIC COMMENTS:

1. Fire Hydrant(s): There is an existing fire hydrant within 400 feet of the building, no additional hydrants are required.
2. Provide a temporary address marker at the building site during construction.
3. Roads shall have a maximum grade of 10% unless specifically approved as outlined by the International Fire Code.
4. Radius on all corners shall be a minimum of 28'-0".
5. Dead end fire apparatus access roads in excess of 150 feet in length shall be provide with an approved area for turning around fire apparatus constructed with the same requirements as the roads.
6. Roads and bridges shall be designed, constructed and maintained to support an imposed load of 75,000 lbs.
7. All roads shall be designed, constructed, surfaced and maintained so as to provide an all-weather driving surface.
8. Fire access roads for this project shall be completed and approved prior to any combustible construction. Temporary roads shall meet the same requirements for height, width and imposed loads as permanent roads.
9. All required fire hydrants and water systems shall be installed, approved and fully functional prior to any combustible construction.

Every effort has been made to provide a complete and thorough review of these plans. This review does not relieve the owner, contractor and/or developer from compliance with any and all applicable codes and standards. Any change or revision of this plan will render this review void and will require submittal of the new or revised layout for fire department review.

Reviewed by: Brandon Thueson

Fire Marshal

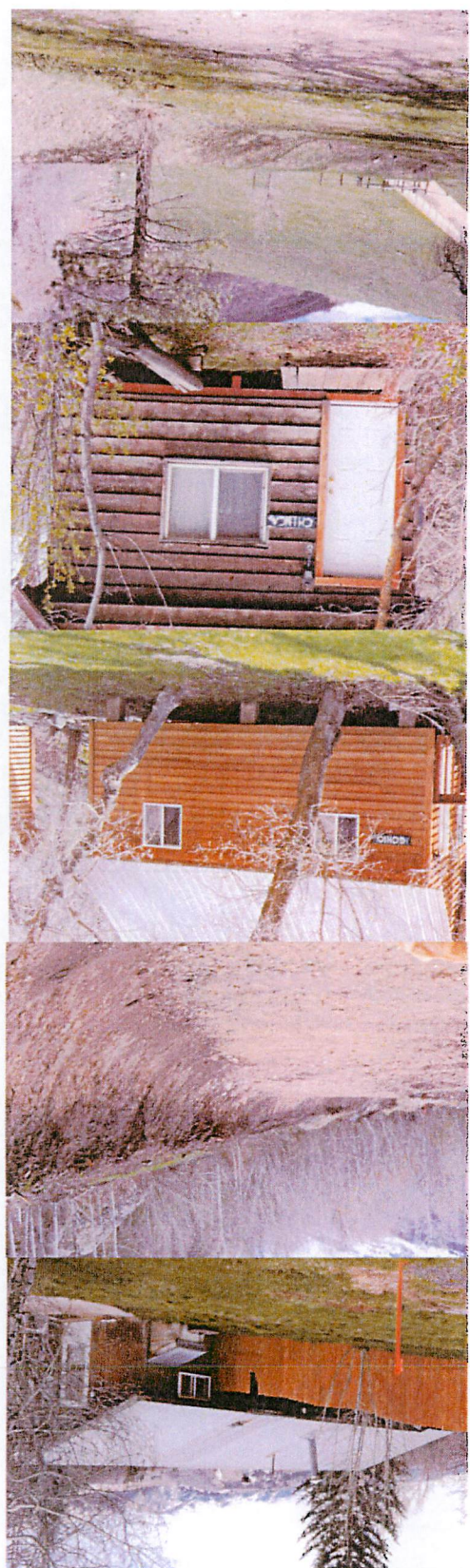


Exhibit E Sample photos of the existing site

June 23, 2016
File No: GCS 20146.4

Camp UTABA
7005 N Fork Road
Eden, UT 84310

ATTN: Scott & Tracye Blank
Camp UTABA Managers

**Subject: Professional Geologist Site Reconnaissance and Review
Camp UTABA Caretakers Home
Weber County Parcel #17-092-0015
7005 N Fork Road, (Liberty Area)
Eden, Weber County, Utah**

Dear Mr. & Mrs. Blank,

In response to your request, GCS Geoscience (GCS) has prepared this Professional Geologist site reconnaissance review report for the above referenced site.

Intoduction

The Camp UTABA property consists of approximately 40-acres located in the "North Fork Area" of northern Ogden Valley, in Weber County, Utah. The site location relative topographic and improved features as of 1991 is shown on Figure 1, Vicinity Map. The property is operated as a religious retreat and includes meeting/dining hall, bunk houses and shower facilities which support these purposes. A larger scale rendering of the Camp UTABA property is presented on Figure 2, Aerial Coverage.

It is our understanding the owner (Utah Association Of American Baptist Churches Inc.) intends to construct a "Caretaker House" single family residence on part of this site, at the location shown on Figure 2. We understand that the proposed construction is to be of light weight modular-unit installation and will occupy a building pad of approximately 6,000 square feet in plan area, and be located near the eastern entry to the property. The location of the property parcel, including the proposed Caretakers House is within the Weber County Forest Zone F-5 of which promotes...*"to protect and preserve the natural environment of those areas of the County that are characterized by mountainous, forest or naturalistic land, and to permit development compatible to...provide areas for private and public recreation and recreation resorts, and...to provide areas for homes, summer homes, and summer camp sites."*

Because the proposed construction appears to be located in part on a hill slope area in the vicinity of mapped landslide hazards, and natural floodplain areas, Weber County is requesting that this geological site reconnaissance be performed to assess whether all or parts of the site are exposed to the hazards that are included in the [Weber County Code, Chapter 38, Natural Hazards Overlay District](#). These hazards include, but are not limited to: Surface-Fault Ruptures, Landslide, Tectonic Subsidence, Rock Fall, Debris Flows, Liquefaction Areas, Flood, or other Hazardous Areas.

The purpose of this proposed **Professional Geologist Site Reconnaissance Review** is to evaluate if the proposed development is outside or within areas identified as Natural Hazards Overlay District, and if within a hazard area, to recommend appropriate additional studies that comply with the purpose and intent of the [Weber County Hillside Development Review Procedures and Standards](#) to evaluate and/or mitigate the hazard exposure. Because the Camp UTABA parcel is a large property, mitigations may simply include recommendations for on-site hazard avoidance, or be more complex involving site specific engineering measures.

Literature and Resource Review

To evaluate the potential exposure of sites to geological hazards that impact sites or site improvements, Weber County has compiled a series of Geographic Information Systems (GIS) data mapping layers of geological hazard related information. These data may be queried on-line using the Weber County Geo-Gizmo application at <http://www.co.weber.ut.us/gis/maps/gizmo/>. Using the Geo-Gizmo application, under the Engineering Layers category is listed geological hazard related layers that may be toggled on and off to determine potential hazards exposure to sites in the county. These mapping layers include the following categories; *Quake Epicenters, FEMA Flood Zone Line, FEMA Base Flood Elevation, Wasatch Faults, Landslide Scarps, Geologic Faults, Faults, Quaternary Faults, FEMA Flood Zone, FEMA LOMR, Engineering Problems; Liquefaction Potential, Landslide, FEMA Letters of Map Change, and FEMA Flood Zones*. These layers have been compiled from the respective agencies including the Federal Emergency Management Agency (FEMA), the Utah Geological Survey (UGS), and the U.S. Geological Survey (USGS). These mapping layers consist of regional compilation hazards data, but are not compiled at scales that are necessarily relevant for site specific usage. When hazard layer data on the Geo-Gizmo are found to interact with Applicant site improvement locations, Weber County Engineers and Planners will request that the Applicant have a Professional Geologist Site Reconnaissance Review, such as presented herein, conducted for the site.

Our preliminary review of the Geo-Gizmo indicated that parts of the Camp UTABA property interact with the *Landslide* and *FEMA* layers, however the proposed Caretaker House location showed no exposure to either of those hazard layer areas.

Our review consisted of a GIS data integration effort that included reviews of previous mapping and literature pertaining to site geology including King (2015), Coogan and King (2016) and Crittenden and Sorensen (1985); an analysis of vertical and

For the best site specific scale for this review we used mapping by King (2015), which provided the most up-to-date and best scale (1:24,000) rendering of geological mapping for the site location. Supporting documentation by Coogan and King (2016), Crittenden and Sorensen (1985) and FEMA (2015) was also used for conducting this review. The geological and flood hazard mapping for this review is provided on Figure 3, Geologic and Flood Hazard Map. Topographic, slope, and elevation data for this review was supported through the aforementioned LiDAR analysis which is presented on Figure 4, Shaded Relief and Slope Map.

Topographically the site is located on the upper reaches of the North Fork of the Ogden River, on the east side of Ben Lomond Peak, in an area that includes the confluence of Cutler Creek and the North Fork River. The site and surrounding area consists of bedrock-controlled sloping areas that are dissected by alluvial stream and floodplain areas, that have been eroded by Cutler Creek and the North Fork River.

The lower-lying alluvial floodplain areas of the site include geological units classified as **Qal**, **Qap?**, and **Qab?**. The **Qal** deposits consist of stream alluvium and floodplain deposits, Holocene and uppermost Pleistocene in age (0 to 15,000 ybp), comprised of sand, silt, clay, and gravel. The **Qal** areas should be considered exposed to potential flood hazards, and liquefaction potential hazards. The **Qap?** and **Qab?** deposits are Lake Bonneville-age alluvium, upper Pleistocene in age (10,000 to 30,000 ybp). These are older, no longer active, alluvial deposits related to shorelines of ancient Lake Bonneville which inundated parts of Ogden Valley 15,000 to 19,000 years ago (Currey and Oviatt, 1985). The proposed Caretakers House is to be located on **Qap?** deposits, and no exposure to active geological processes are associated with these deposits.

and **Qms?** classified areas should be considered exposed to landslide and slope-creep hazards. On Figure 3 these deposits are shown to occur on two areas on the Camp site, with a **Qmc?** area of approximately 1.7 acres on the north part of the Camp site, where the North Fork River has apparently over-steepened slopes it's left flank. The **Qms?** area includes a steep slope on the east boundary of the Camp property, comprising an area of approximately 6.0 acres, of which 1.3 acres occurs on the Camp property.

The **Qgo?** deposit lobe on the southwest side of the Camp site consist of older glacial till and outwash, upper and middle? Pleistocene in age (15,000 to 130,000 ybp). The till consists of non-stratified, poorly sorted clay, silt, sand, and gravel, to boulder size materials.

Bedrock controlled slopes on the northeast side of the Camp site are classified as **Zm** - Mutual Formation, which is Proterozoic in age (750 ma), consisting of grayish-red to purple coarse-grained quartzite. These rocks are shown on Figure 3 to dip 35 and 40 degrees towards the northeast, away from the site.

UTABA Retarding Dam (No. UT00541) and reservoir is in part located on the northwest corner of the Camp property as shown on Figure 2, Figure 3 and Figure 4. The dam is an earthen zone-filled structure built for flood control purposes, and is classed as controlling greater than 20 Acre feet of water, and was constructed in 1962. The dam has structural height of 71 Feet, with a crest length of 369 Feet. The dam crest elevation is 5770 feet (msl), and the spillway elevation is appears to be approximately 10.0 feet lower then the crest. Peak spillway discharge is estimated to be 5401 cfs. The control outlet works consist of a 24-inch reinforced concrete pipe, and has a peak discharge of 161 cfs.

The reservoir storage capacity at the spillway crest height is 91 Acre feet, . The Hazard Rating for the dam is "Moderate" as assigned by the Utah State Engineer. A Moderate hazard rating indicates that failure has a low probability of causing loss of human life, but would cause appreciable property damage, including damage to public utilities. The dam is managed by the Weber County Engineering Department. The last Utah State inspection of the dam was conducted July 2, 2013, and a Emergency Action Plan (EAP) for the dam has been prepared, and copies of this plan are on file with Weber County and Utah Division of Water Rights, Dam Safety, <http://waterrights.utah.gov/docImport/0538/05383579.pdf>. (Bridges, 1977; Utah Division of Water Rights, 2016). We understand that Mr. Scott Blank, Camp UTABA Manager, has a copy of this Emergency Action Plan.

In addition to the review and location query we searched for nearby or proximal classifications or conditions that could possibly present hazardous conditions to the site. A summary of this search is provided as follows:

1. **Landsliding:** The nearest landslide units mapped as **Qmc?** and **Qms?** deposits are located on the north and east parts of the Camp site. The nearest

landslide deposits to the proposed Caretakers House are the Qms? deposits located approximately 100 feet to the northeast of the proposed location, and do not appear to potentially impact the proposed Caretakers House.

2. **Alluvial fan debris flow processes** including flash flooding and debris flow hazard: The nearest fan debris flow process deposits to the Camp site are mapped as **Qac**, and occur approximately 280 feet south of the property boundary, and are located approximately 960 feet southwest of the proposed Caretakers House. These deposits and processes do not appear to be a potential impact to the site.
- 3 **Surface fault rupture hazards, strong earthquake ground motion, and liquefaction:** The nearest active (Holocene) earthquake fault to the site is the Brigham City segment of the Wasatch fault zone (UT2351C) which is located 4.3 miles southwest of the site, thus fault rupture hazards are not considered present on the site (Black et al., 2004). The Ogden Valley North Fork fault (UT2376) is located much closer to the site, approximately 865 feet to the southwest, however the most recent movement along this fault is estimated to be pre-Holocene (>15,000 ybp), and presently is not considered an active risk (Black, et al., 1999).

Strong earthquake ground motion originating from the Wasatch fault or other near-by seismic sources is capable of impacting the Camp site. The Wasatch fault zone is considered active and capable of generating earthquakes as large as magnitude 7.3 (Arabasz et al., 1992). Based on probabilistic estimates (Peterson, et al., 2008) queried for the site, the expected peak horizontal ground acceleration on rock from a large earthquake with a ten-percent probability of exceedance in 50 years is as high as 0.19g, and for a two-percent probability of exceedance in 50 years is as high as 0.43g for the site. Ground accelerations greater than these are possible but will have a lower probability of occurrence.

Liquefaction Potential Hazards: In conjunction with Strong earthquake ground motion potential of large magnitude seismic events as discussed previously, certain soil units may also possess a potential for liquefaction during a large magnitude event. Liquefaction is a phenomenon whereby loose, saturated, granular soil units lose a significant portion of their shear strength due to excess pore water pressure buildup resulting from dynamic loading, such as that caused by an earthquake. Among other effects, liquefaction can result in densification of such deposits causing settlements of overlying layers after an earthquake as excess pore water pressures are dissipated. Horizontally continuous liquefied layers may also have a potential to spread laterally where sufficient slope or free-face conditions exist. The primary factors affecting liquefaction potential of a soil deposit are: (1) magnitude and duration of seismic ground motions; (2) soil type and consistency; and (3) occurrence and depth to groundwater.

Liquefaction potential hazards have not been studied or mapped for the Ogden Valley area, as has occurred in other parts of northern Utah (Anderson, et al., 1994). Because this phenomena is known to occur in susceptible alluvial sediments in conjunction with shallow groundwater conditions, we consider areas mapped as Qal on Figure 3 as potentially susceptible to liquefaction during a future earthquake event. We recommend that liquefaction hazard studies be considered for future improvements that may occur on the areas mapped as Qal on Figure 3.

5. **Rockfall and Avalanche hazards:** The site is over one mile from steep slope areas where such hazards may originate.
6. **Flooding:** Mapping by Federal Emergency Management Agency (FEMA, 2015) is shown on Figure 3. The Zone A shown on Figure 3, includes the 100-year flood hazard zone as delimited by recent FEMA studies conducted in the Ogden Valley area. On the basis of the FEMA determination *...mandatory flood insurance purchase requirements and floodplain management standards apply...* for improvements made in the Zone A area shown on Figure 3.

UTABA Dam Failure inundation mapping has been prepared by Weber county to evaluate the area of inundation should dam failure occur, and is also presented on Figure 3. The estimated inundation area shown on Figure 3 is presumed to be the worst-case scenario calculated by the County Engineers (Weber County Engineering, 1994).

7. **Sloping Surfaces:** The surface of site slopes developed from our LiDAR analysis range from level to well over 50-percent as shown on Figure 4, Shaded Relief and Slope Map.-Slope Analysis. For the proposed Caretakers House site area the slope gradients averaged 22-percent, for the over all Camp site area the slope gradients averaged 32-percent. The threshold gradient for slope development considerations according to the Weber County Section 108-14-3. (Weber County Code, 2016), includes slopes greater that 25-percent.
8. **Radon Exposure:** Radon is a naturally occurring radioactive gas that has no smell, taste, or color, and comes from the natural decay of uranium that is found in nearly all rock and soil. Radon and has been found occur in the Ogden Valley area, and can be a hazard in buildings because the gas collects in enclosed spaces. Indoor testing following construction to detect and determine radon hazard exposure should be conducted to determine if radon reduction measures are necessary for new construction. The radon-hazard potential mapping has been prepared for most of Ogden Valley by the Utah Geological Survey (Solomon, 1996), however that mapping does not extend far enough to the north to include the Camp UTABA site.

Site Reconnaissance

The site was reconnoitered on June 22, 2016. During the reconnaissance the graded pad for the proposed Caretakers House was observed, as well as the UTABA Dam, and the guest facilities area including the dining hall, bunk houses and shower house locations. During the reconnaissance no conditions of imminent geologic hazards were observed.

Conclusions

Based upon the findings of this review we believe that the proposed Caretakers house location is not adversely exposed to the geological hazards specified by the Weber County Hillside Ordinance. Based on this review, specific areas within the Camp UTABA boundaries may be exposed to landslide hazards, liquefaction potential hazards, and flood hazards, and these areas may require additional geological studies for approvals in the future, should improvements be proposed in these areas. We also advise that geotechnical soil and groundwater studies for foundations, earthwork, and geoseismic design should be conducted for future improvements proposed on the Camp site.

Limitations

Our services were limited to the scope of work discussed in the introduction section of this report. Although risk can never be eliminated, more detailed and extensive studies yield more information, which may help understand and manage the level of risk. The recommendations contained in this report are based on our site observations, available data, probabilities, and our understanding of the facilities investigated. This report was prepared in accordance with the generally accepted standard of practice at the time the report was written. No warranty, express or implied, is made.

This report may be used only by the client and only for the purposes stated within a reasonable time from its issuance. The regulatory requirements and the "state of practice" can and do change from time to time, and the conclusions presented herein may not remain current. Based on the intended use of the report, or future changes to design, GCS Geoscience may require that additional work be performed and that an updated report be issued. Non-compliance with any of these requirements by the client or anyone else, unless specifically agreed to in advance by GCS Geoscience in writing will release GCS Geoscience from any liability resulting from the use of this report by any unauthorized party.

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https://www.municode.com/library/ut/weber_county/codes/code_of_ordinances

Weber County Engineering, 1994, Weber County, Utah UTABA Dam Failure Inundation
Map: Weber County Engineering unpublished mapping, scale 1:24,000

We appreciate the opportunity to work with you on this project and look forward to assisting with you in the future. If you have any questions or need additional information on this or other reporting, please contact the undersigned at (801) 745-0262 or (801) 458-0207.

Respectfully submitted,

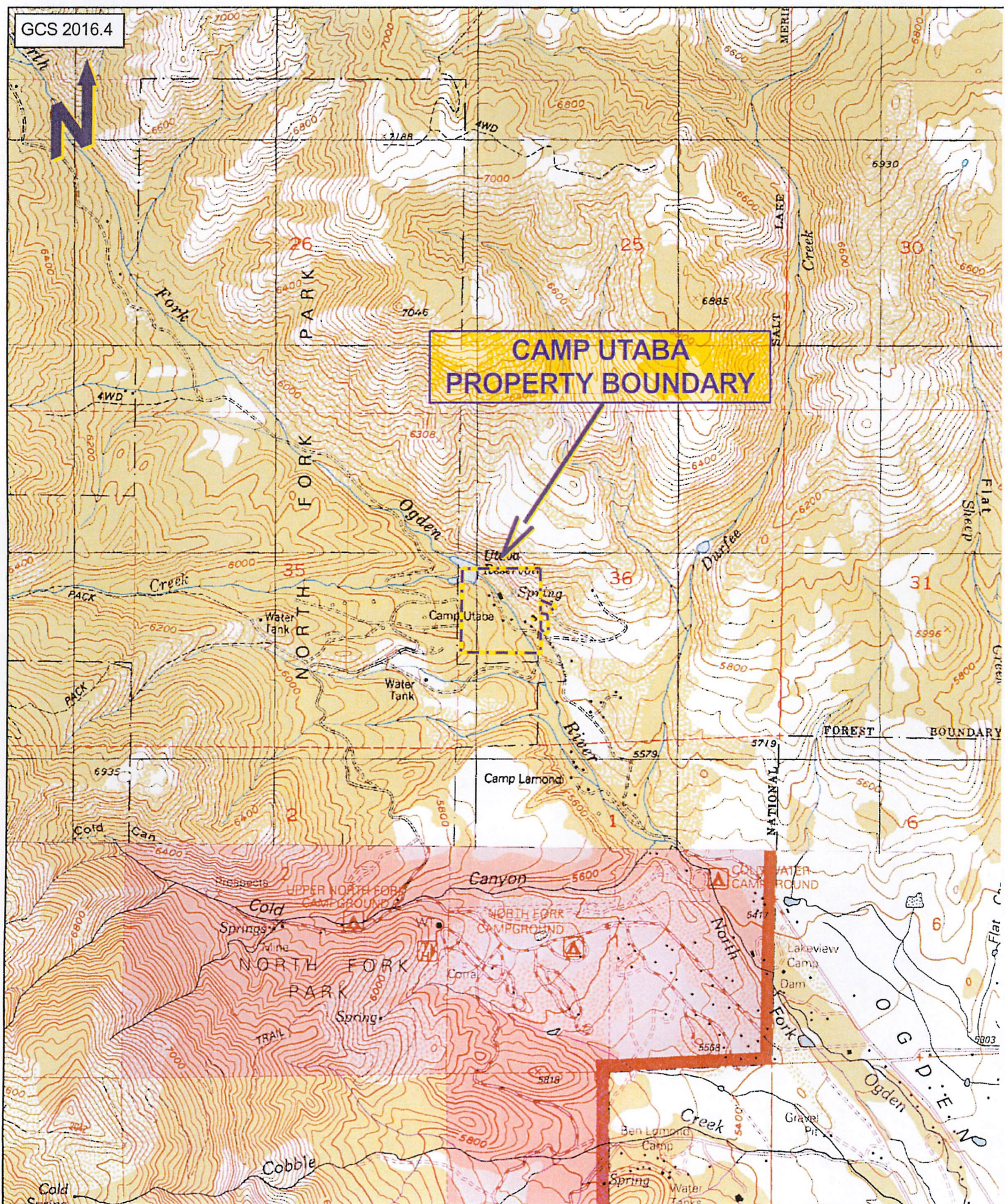
GCS Geoscience

Gregory C. Schlenker, PhD., P.G.
State of Utah No. 5224720-2250
Principal Geologist

GCS Geoscience LLC
554 South 7700 East Street
Huntsville, Utah 84317

Encl. Figure 1, Site Vicinity Map
Figure 2, Aerial Coverage
Figure 3, Geologic and Flood Hazard Map
Figure 4, Shaded Relief and Slope Map



Base:
 1991 USGS 7.5 Minute topographic map titled
 "Mantua, Utah" from Utah AGRC;
<http://gis.utah.gov/>

0 1000 2000 3000 ft



1:24,000

Exhibit F

FIGURE 1
SITE VICINITY MAP

GCS 2016.4

GCS 2016.4



UTABA
DAM

Property
Boundary

Proposed
Caretaker
House

North Fork Road

Base:
2014 1.0m NAIP Color Orthoimagery,
from Utah AGRC; <http://gis.utah.gov/>

0 300 600 ft

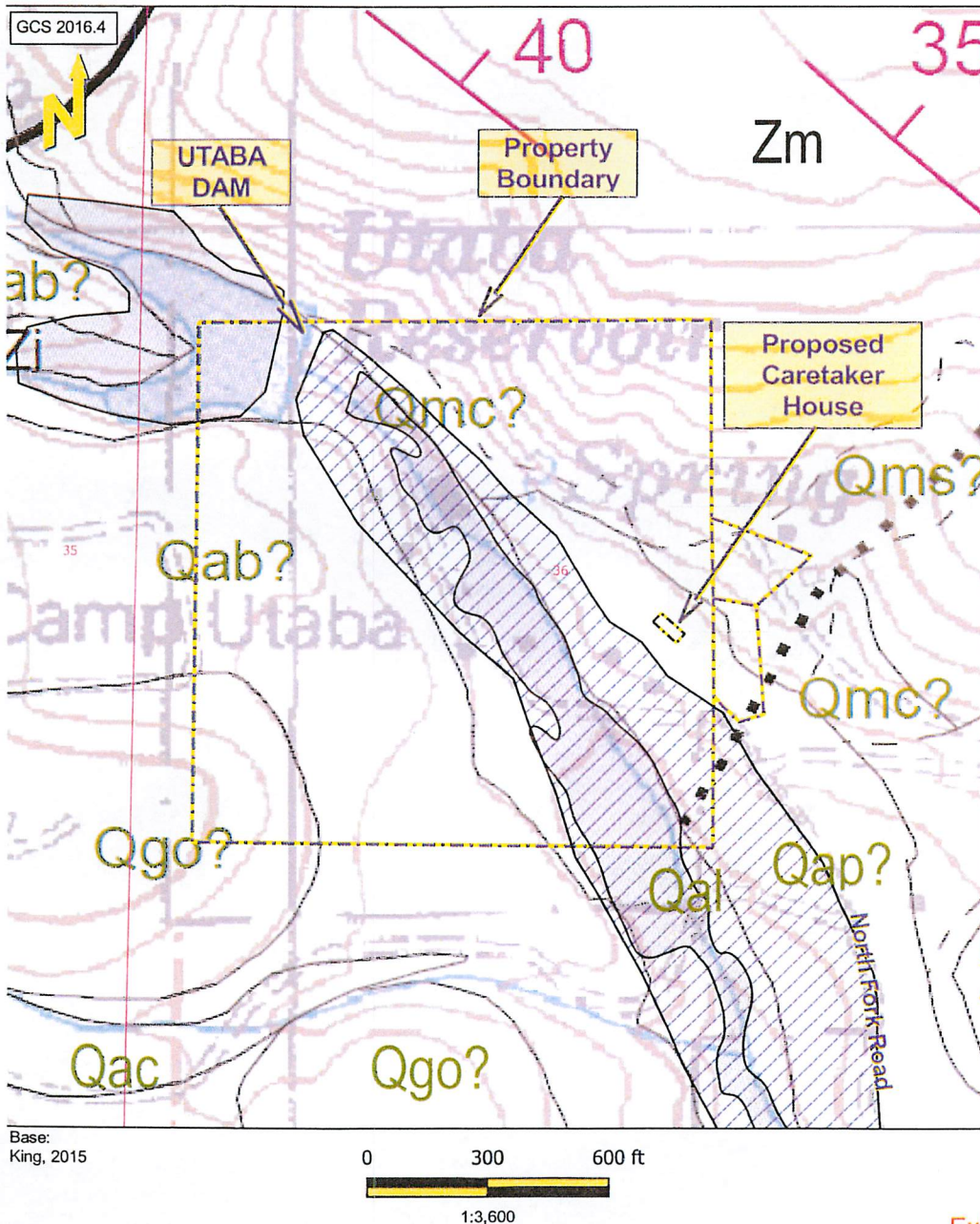


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Exhibit F

FIGURE 2
AERIAL COVERAGE

GCS 2016.4



Geologic Classification

Geology after Coogan and King, 2016; and King, 2015

- ☐ Qal - Stream alluvium and flood-plain deposits (Holocene and uppermost Pleistocene) – Sand, silt, clay, and gravel in channels, flood plains, and terraces...

-Qal classified areas should be considered exposed to potential flood hazards, and liquefaction potential hazards.

- ☐ Qac - Alluvium and colluvium (Holocene and Pleistocene) – Unsorted to variably sorted gravel, sand, silt, and clay in variable proportions; includes stream and fan alluvium, colluvium, and, locally, mass-movement deposits...

-Qac classified areas should be considered exposed to flooding and debris-flow hazards.

- ☐ Qap? & Qab? - Lake Bonneville-age alluvium (upper Pleistocene) – Like undivided alluvium but height above present drainages appears to be related to shorelines of Lake Bonneville and is within certain limits, and unconsolidated to weakly consolidated; alluvium labeled Qap and Qab is related to Provo (and slightly lower) and Bonneville shorelines of Lake Bonneville...

- ☐ Qmc? - Landslide and colluvial deposits, undivided (Holocene and Pleistocene) – Poorly sorted to unsorted clay- to boulder-sized material; mapped where landslide deposits are difficult to distinguish from colluvium...

-Qmc classified areas should be considered exposed to landslide and slope-creep hazards.

- ☐ Qms? - Landslide deposits (Holocene and upper and middle? Pleistocene) – Poorly sorted clay- to boulder-sized material; includes slides, slumps, and locally flows and floods...

-Qms classified areas should be considered exposed to landslide and debris-flow hazards.

- ☐ Qgo? - Older glacial till and outwash (upper and middle? Pleistocene) – Mapped down-drainage from and locally laterally above Pinedale deposits as undivided...

- ☐ Zi - Inkorn Formation (upper Proterozoic) – Argillite to psammite...meta-sandstone over meta-siltstone...

- ☐ Zm - Mutual Formation (upper Proterozoic) - Grayish-red to purple coarse-grained quartzite...

Flood Hazards

FEMA - Flood Insurance Rating Zones (2015)

- ☐ Zone A - Areas subject to inundation by the 1-percent-annual-chance flood event generally determined using approximate methodologies. Because detailed hydraulic analyses have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown. Mandatory flood insurance purchase requirements and floodplain management standards apply.

Weber County Engineering UTABA Dam Failure Inundation Mapping (1994)

- ☒ Rainy Day Inundation Zone

FIGURE 3
GEOLOGIC AND
FLOOD HAZARD MAP
GCS Geoscience

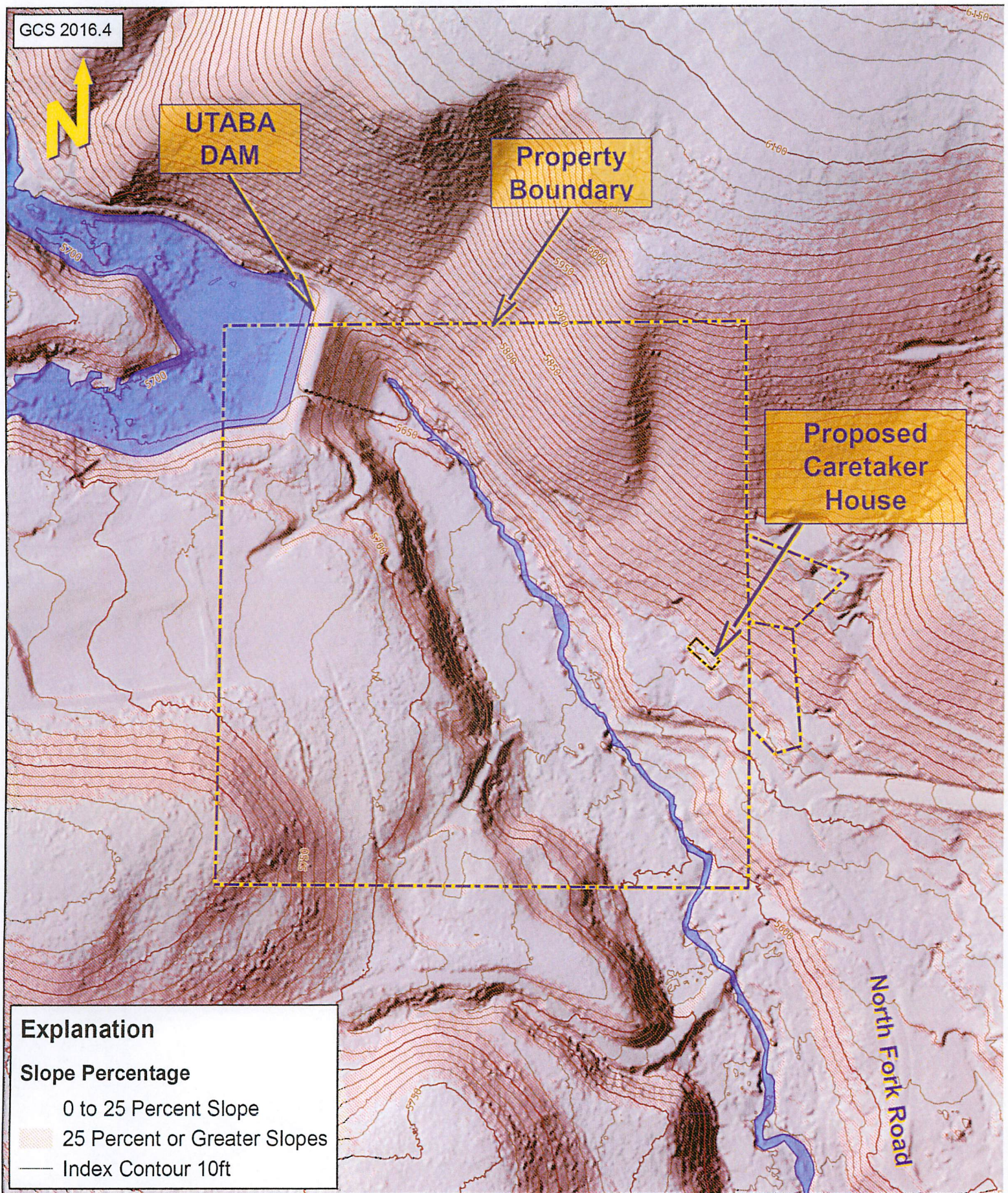


FIGURE 4
SHADED RELIEF
AND SLOPE MAP



Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for approval of Conditional Use Permit CUP 2016-14 an amendment to the parking and landscaping at Kimberly Clark, located at 2010 Rulon White Blvd., Ogden.

Decision Type: Administrative

Agenda Date: Tuesday, June 28, 2016

Applicant: Mike Brunner, Representative of Kimberly Clark

File Number: CUP 2016-14

Property Information

Approximate Address: 2010 Rulon White Blvd., Ogden UT.

Project Area: 133.48 acres

Zoning: Manufacturing Zone (M-1)

Existing Land Use: Manufacturing, processing, and packaging of toiletries

Proposed Land Use: Manufacturing, processing, and packaging of toiletries

Parcel ID: 19-041-0076

Township, Range, Section: T6N R1W Sec 6, T6N R2W Sec 1, T7N R1W Sec 31, and T7N R2W Sec36

Adjacent Land Use

North:	Manufacturing	South:	Manufacturing
East:	Manufacturing	West:	Manufacturing

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: RK

Applicable Ordinances

- Weber County Land Use Code Title 104 Zones Chapter 22 Manufacturing Zone (M-1)
- Weber County Land Use Code Title 108 Zones Chapter 4 (Conditional Use)
- Weber County Land Use Code Title 108 Standards Chapter 1 (Design Review)
- Weber County Land Use Code Title 108 Standards Chapter 8 (Parking and Loading space, Vehicle Traffic, and Access Regulations)

Background

The applicant is requesting approval of Conditional Use Permit CUP 2016-14 an amendment to the parking and landscaping at Kimberly Clark. The property is currently in the Manufacturing Zone (M-1), and located at 2010 Rulon White Blvd., Ogden, UT. The amendment to the site plan includes a re-design of the visitor parking lot, truck access entrance, and the addition of biking and walking trails on the north side of the site. This will provide better access for pedestrians to Rulon White Blvd.

The applicant has provided a narrative (Exhibit A) of the re-design, as well as site, landscaping, and grading plans (Exhibit C).

Analysis

General Plan: The proposal conforms to the Western Weber General Plan in a manner that further promotes business within the Weber Industrial Park. Uses that meet the requirements of applicable Land Use Codes conform to the General Plan. This conditional use application addresses water, wastewater, access, and other issues which are discussed in the General Plan.

Land Use Code Standards: As part of the site plan approval process, the proposal has been reviewed against the adopted current zoning code to ensure that the regulations and standards have been adhered to. It appears that the proposed site

plan is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Conditional Use: No harmful effects would occur with this re-design of the parking area and truck access entrance. Currently much of the affected area is paved and being use jointly as truck access and visitor parking. With the redesign the two will be separated. Any landscaping lost due to the re-design has been accounted for as landscaped islands with and surrounding the parking lot. Due to the new bikeways and trails some of the existing fencing and turf grass will be removed. This change will better separate areas of public access and the nearby landscaped detention basin and facilities.

Zoning: Manufacturing Zone M-1.

Lot area, frontage/width and yard regulations: Previously approved site, with no changes proposed to the parcel boundary.

Sensitive lands: Not applicable as no identified sensitive lands are within the Weber Industrial Park.

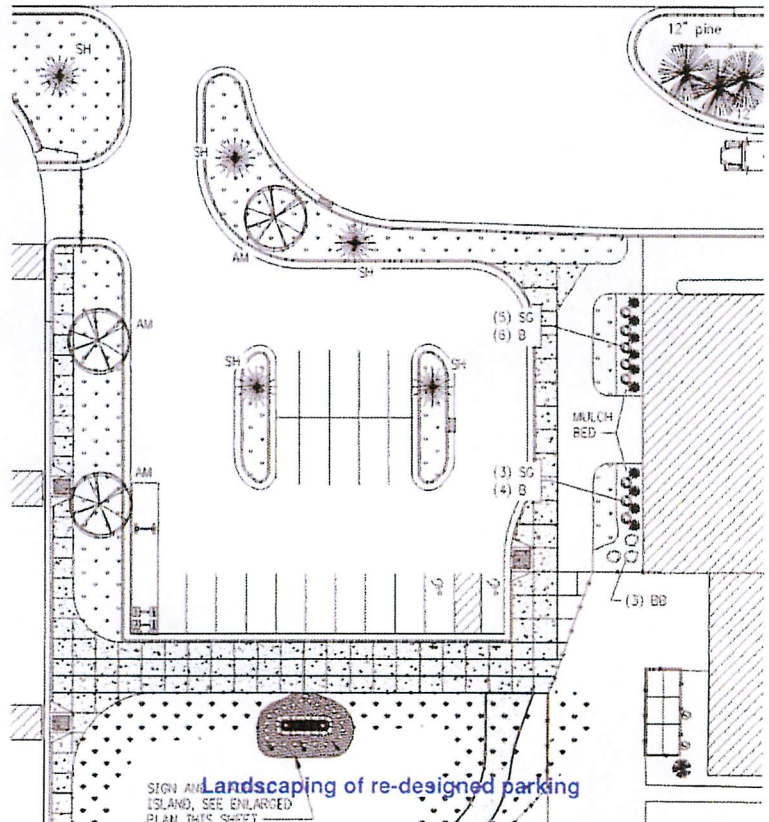
Flood Plain: Not applicable as the site is not near any indetified flood plain.

Culinary water and sanitary sewage disposal: Not applicable as no additional usage is proposed with the re-design.

Geologic and Natural Hazards: The proposed location does not contain any identified geologic or natural hazards.

Review Agencies: The Weber County Engineering Division, the Weber County Surveyor's Office, and the Weber Fire District have reviewed and approved the proposal. All review agency comments have been attached as Exhibit B.

Additional design standards and requirements: All proposed parking stalls and access ways meet the minimum standards required. (LUC §108-8).



Public Notice: Noticing has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed conditional use amendment.

Summary of Administrative Considerations

Are the project layout (site plan), proposed land use, and building design consistent with, and does it meet the applicable requirements of the Weber County Land Use Code?

- The application meets the applicable standards in the Weber County Land Use Code.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Building Inspection Division
- Requirements of the Weber Fire District
- Requirements of the Weber Morgan Health Department

Staff Recommendation

Staff recommends approval of this conditional use application for a parking lot and landscaping redesign for Kimberly Clark in the M-1 Zone. The recommendation is subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Director. This recommendation is based on the following findings:

- The manufacture and packaging of toiletries are allowed in the M-1 Zone as a conditional use.
- The site plan meets all applicable site standards in the Weber County Land Use Code.
- The criteria for issuance of a conditional use permit have been met because mitigation of potential detrimental effects can be accomplished.

Administrative Approval

Administrative final approval of Conditional Use Permit CUP 2016-14 an amendment to the parking and landscaping at Kimberly Clark a manufacturer and packager of toiletries is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: Tuesday, June 28, 2016.


Rick Grover

Weber County Planning Director

Exhibits

- A. Application and narrative
- B. Agency reviews
- C. Site Plans

Photo of the proposed site



Notice map for the proposed site

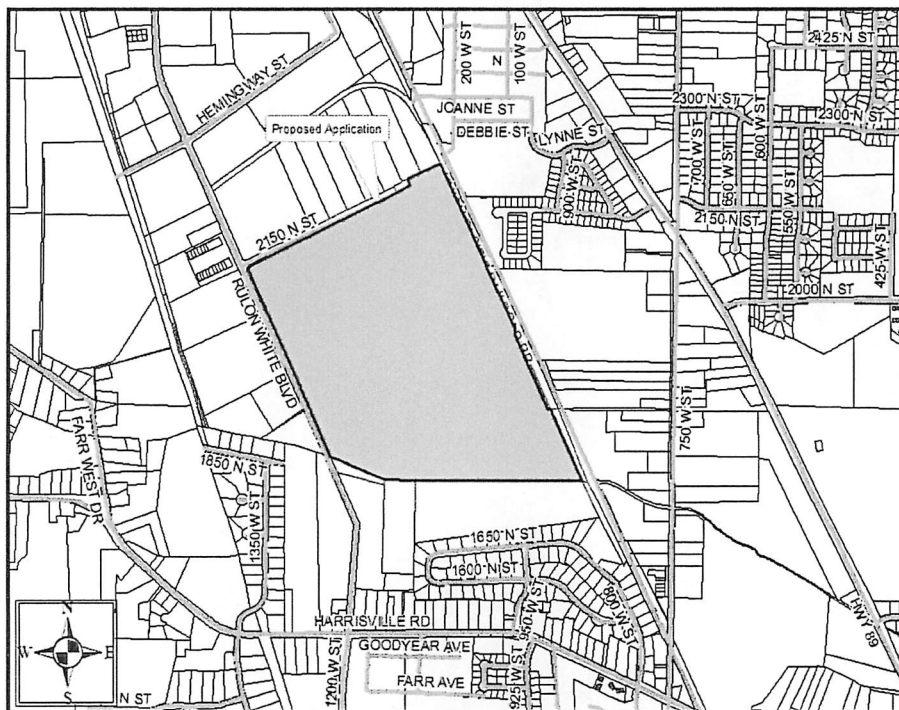


Exhibit A

Weber County Design Review Application			
Application submittals will be accepted by appointment only (801) 399-8791, 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) Kimberly Clark - Mike Brunner (Ogden Plant Manager)		Mailing Address of Property Owner(s) 2010 Rulon white Blvd Ogden, UT 84404	
Phone 801-786-2203	Fax	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address (required) mybrunne@kcc.com			
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) Raasch Associates, Inc. (Tom Katers)		Mailing Address of Authorized Person 400 AMS Ct Green Bay, WI 54313	
Phone 920-434-2128	Fax 920-434-2117	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address tkaters@raaschassoc.com			
Property Information			
Project Name Exceptional Workplace Renovations		Current Zoning M-1 Light Industrial	Total Acreage 87
Approximate Address 2010 Rulon White Blvd Ogden, UT 84404		Land and Serial Number(s) 190410076	
Proposed Use Light Industrial			
Project Narrative This project involves re-design of the visitor parking lot, truck access entrance, and the addition of a bike/walking trail. Included in the submittal are a proposed future building addition and bike trail. The re-design focuses on adding greenspace within the visitor parking lot and providing a more pedestrian friendly drop off and walkways. Semi traffic is routed to its own entrance now split off from the visitor entrance. The proposed bike/walking trail will allow bikers/walkers to access the trail off of Rulon White Blvd and bypass parking lots and drives to the facility's main entrance.			

Exhibit B Review Agencies Comments

Engineering Review 1

Project: Kimberly Clark CUP

User: Chad Meyerhoffer

Department: Weber County Engineering Division

Created: 2016-06-08

Approved: Yes

Notes: This letter concerns the above referenced Development. I have had a chance to review the plan(s) and have the following comment(s): **Written responses to the following comments are required.**

1. In the submitted Drainage Information it states an allowable release rate of 0.15cfs. In the JBR report that I read the release was a maximum of 0.1 cfs which is what the county requires. Does this change the calculations?
2. Please inform our office when construction is complete, we would like to verify that the orifice and detention pond are still in conformance to the site approvals and this submittal. If work is done as suggested in the report we would like to inspect that as well.
3. Any work that is done within the County Right of Way requires an excavation permit.

I have tried to address all items of concern from the Engineering Department. However, this review does not forego other items of concern that may come to this department's attention during additional reviews or during construction of improvements. If you have any comments or questions concerning this review, feel free to contact me.

Thanks,

Chad Meyerhoffer

Weber County Engineering

801-399-8004

cmeyerho@co.weber.ut.us

Weber Fire District Review

Project: Kimberly Clark CUP

User: Brandon Thueson

Department: Weber Fire District

Created: 2016-05-26

Approved: Yes

Specific Comments:

1. If there are any changes to the buildings or any new buildings, then these will be subject to a plan review and approval prior to any construction beginning.
2. Fire Hydrant(s): Access to hydrants shall not be blocked or hampered by the changes in landscaping and site access. Coordinate with the Fire Marshal's office if any hydrants are affected by the changes in landscaping.
3. Provide a temporary address marker at the building site during construction.
4. Fire Access roads to the property shall have a minimum clear width of 20 feet (face of curb to face of curb) and a vertical clearance of 13 foot 6 inches and shall be capable of supporting a 75,000 pound load.

Every effort has been made to provide a complete and thorough review of these plans. This review DOES NOT relieve the owner, contractor and/or developer from compliance with any and all applicable codes, and standards.

Any change or revision of this plan will render this review void and will require submittal of the new, or revised, layout for fire department review. If you have any questions, please contact me at 801-782-3580.

Reviewed by: Brandon Thueson

Fire Marshal

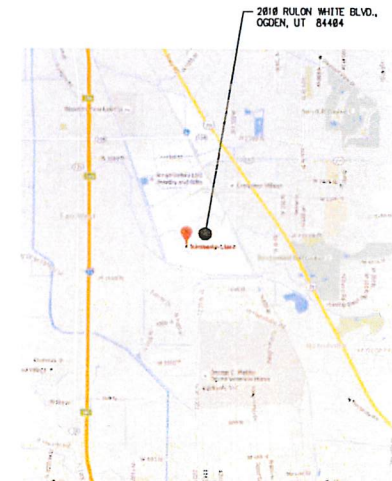
OGDEN, UTAH

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SYMBOLS		MATERIALS	
SYMBOL	DESCRIPTION	PATTERN	DESCRIPTION
	SECTION NUMBER PLAN DETAIL W/D SHEET REF.		EXISTING BUILDING
	SHEET NUMBER		ACCESSIBLE PARKING STRIPING
	PLAN DESIGNATION NORTH ARROW		NEW CONCRETE PAVING
	DEMOLITION NOTES		EARTH
	CONSTRUCTION NOTES		AGGREGATE BASE
	NORTH ARROW		NEW SEEDED GRASS
	TEXT BOX		

A		F	
ACC	ACCURACIOUS	F1C	FIRST-THIRDS CHAMBERS
AF	AFRICAN MEDICAL ALBUM	F1D	AFRICAN DICTIONARY
AG	AGONY	F2C	AGONY
AGL	AGLOUTINATE	F2D	AGLOUTINATED
AGM	AGM	F3C	AGM
AGN	AGNOSTIC	F3D	AGNOSTIC
AGP	AGP	F4C	AGP
AGT	AGT	F4D	AGT
AGU	AGU	F5C	AGU
AGV	AGV	F5D	AGV
AGW	AGW	F6C	AGW
AGX	AGX	F6D	AGX
AGY	AGY	F7C	AGY
AGZ	AGZ	F7D	AGZ
AGAA	AGAA	F8C	AGAA
AGAB	AGAB	F8D	AGAB
AGAC	AGAC	F9C	AGAC
AGAD	AGAD	F9D	AGAD
AGAE	AGAE	F10C	AGAE
AGAF	AGAF	F10D	AGAF
AGAG	AGAG	F11C	AGAG
AGAH	AGAH	F11D	AGAH
AGAI	AGAI	F12C	AGAI
AGAJ	AGAJ	F12D	AGAJ
AGAK	AGAK	F13C	AGAK
AGAL	AGAL	F13D	AGAL
AGAM	AGAM	F14C	AGAM
AGAN	AGAN	F14D	AGAN
AGAO	AGAO	F15C	AGAO
AGAP	AGAP	F15D	AGAP
AGAQ	AGAQ	F16C	AGAQ
AGAR	AGAR	F16D	AGAR
AGAS	AGAS	F17C	AGAS
AGAT	AGAT	F17D	AGAT
AGAU	AGAU	F18C	AGAU
AGAV	AGAV	F18D	AGAV
AGAW	AGAW	F19C	AGAW
AGAX	AGAX	F19D	AGAX
AGAY	AGAY	F20C	AGAY
AGAZ	AGAZ	F20D	AGAZ
AGBA	AGBA	F21C	AGBA
AGBB	AGBB	F21D	AGBB
AGBC	AGBC	F22C	AGBC
AGBD	AGBD	F22D	AGBD
AGBE	AGBE	F23C	AGBE
AGBF	AGBF	F23D	AGBF
AGBG	AGBG	F24C	AGBG
AGBH	AGBH	F24D	AGBH
AGBI	AGBI	F25C	AGBI
AGBJ	AGBJ	F25D	AGBJ
AGBK	AGBK	F26C	AGBK
AGBL	AGBL	F26D	AGBL
AGBM	AGBM	F27C	AGBM
AGBN	AGBN	F27D	AGBN
AGBO	AGBO	F28C	AGBO
AGBP	AGBP	F28D	AGBP
AGBQ	AGBQ	F29C	AGBQ
AGBR	AGBR	F29D	AGBR
AGBS	AGBS	F30C	AGBS
AGBT	AGBT	F30D	AGBT
AGBU	AGBU	F31C	AGBU
AGBV	AGBV	F31D	AGBV
AGBW	AGBW	F32C	AGBW
AGBX	AGBX	F32D	AGBX
AGBY	AGBY	F33C	AGBY
AGBZ	AGBZ	F33D	AGBZ
AGCA	AGCA	F34C	AGCA
AGCB	AGCB	F34D	AGCB
AGCC	AGCC	F35C	AGCC
AGCD	AGCD	F35D	AGCD
AGCE	AGCE	F36C	AGCE
AGCF	AGCF	F36D	AGCF
AGCG	AGCG	F37C	AGCG
AGCH	AGCH	F37D	AGCH
AGCI	AGCI	F38C	AGCI
AGCJ	AGCJ	F38D	AGCJ
AGCK	AGCK	F39C	AGCK
AGCL	AGCL	F39D	AGCL
AGCM	AGCM	F40C	AGCM
AGCN	AGCN	F40D	AGCN
AGCO	AGCO	F41C	AGCO
AGCP	AGCP	F41D	AGCP
AGCQ	AGCQ	F42C	AGCQ
AGCR	AGCR	F42D	AGCR
AGCS	AGCS	F43C	AGCS
AGCT	AGCT	F43D	AGCT
AGCU	AGCU	F44C	AGCU
AGCV	AGCV	F44D	AGCV
AGCW	AGCW	F45C	AGCW
AGCX	AGCX	F45D	AGCX
AGCY	AGCY	F46C	AGCY
AGCZ	AGCZ	F46D	AGCZ
AGDA	AGDA	F47C	AGDA
AGDB	AGDB	F47D	AGDB
AGDC	AGDC	F48C	AGDC
AGDD	AGDD	F48D	AGDD
AGDE	AGDE	F49C	AGDE
AGDF	AGDF	F49D	AGDF
AGDG	AGDG	F50C	AGDG
AGDH	AGDH	F50D	AGDH
AGDI	AGDI	F51C	AGDI

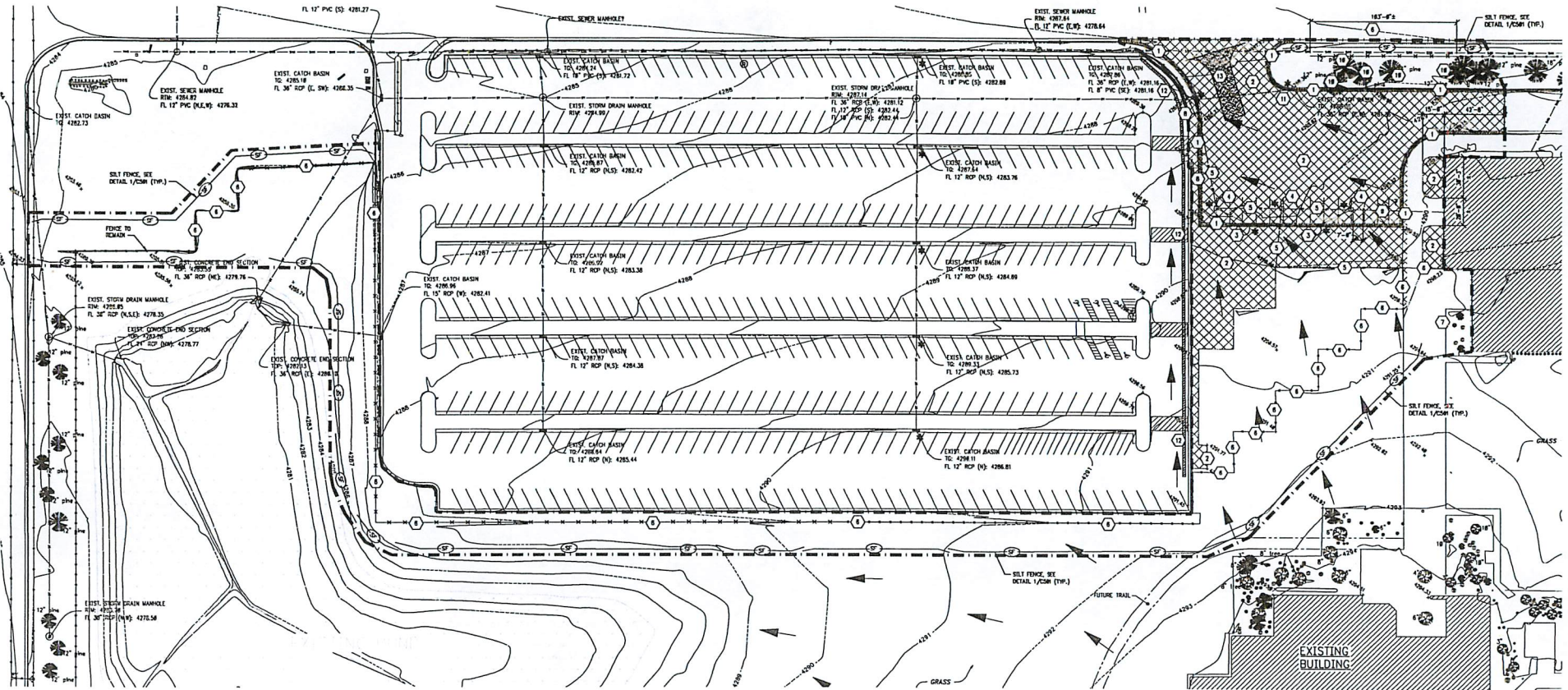
0	EXIST. STONE MANTLE	—ST—	STONY SENDER LINE
0	EXIST. STANWATER MANHOLE	—S—	STANWATER SENDER LINE
1	EXIST. STANWATER INLET	—T—	TURNED TELEPHONE LINE
0	EXIST. POWER POLE	—E—	BURIED OR OVERHEAD ELECTRIC LINE
0*	EXIST. TELEPHONE POLE	—G—	BURIED GARDEN LINE
0	EXIST. FUSE INCHANT	—W—	WATER SERVICE
0	EXIST. MAIN VALVE	+ XXX.XX	EXIST. SPOT ELEVATIONS
1	EXIST. SIGN	XXXX.XX	NEW SPOT ELEVATIONS
0	EXIST. INSULATION BOX	—	DIRECTION OF LIGHTS OBSTRUCTION
0	NEW STORMWATER CATCHMENT	—	DIRECTION OF EXISTING WATERFLOWS
0	NEW STORMWATER CURB INLET	—(SF)—	DIRECTION OF PROPOSED WATERFLOWS
0	EXIST. PINE TREE		SELF FORCE
0	EXIST. TREE		
0	EXIST. BURNING		
0	EXIST. GRASSES		
0	EXIST. HEDGE		
0	ACCESSIBLE STAIR		





LOCATION MAP
 SCALE: NONE
 TRUE NORTH PLAN NORTH

SHEET INDEX	
GENERAL	
A	000 TITLE SHEET
DETAILS	
B	010 SITE ELEVATION, GROUND AND EXISTING TOPGRAPH
C	020 SITE DRAINAGE PLAN
D	030 SITE FLOODING PLAN
E	040 SITE UTILITIES OVERLAYS
F	050 SITE DETAIL SHEET
G	060 SITE DETAIL SHEET
NOTES	
H. RECALCULATED/REMOVED/REMOVED/REMOVED	



SITE EROSION CONTROL AND DEMOLITION PLAN
SCALE: 1" = 50'-0"

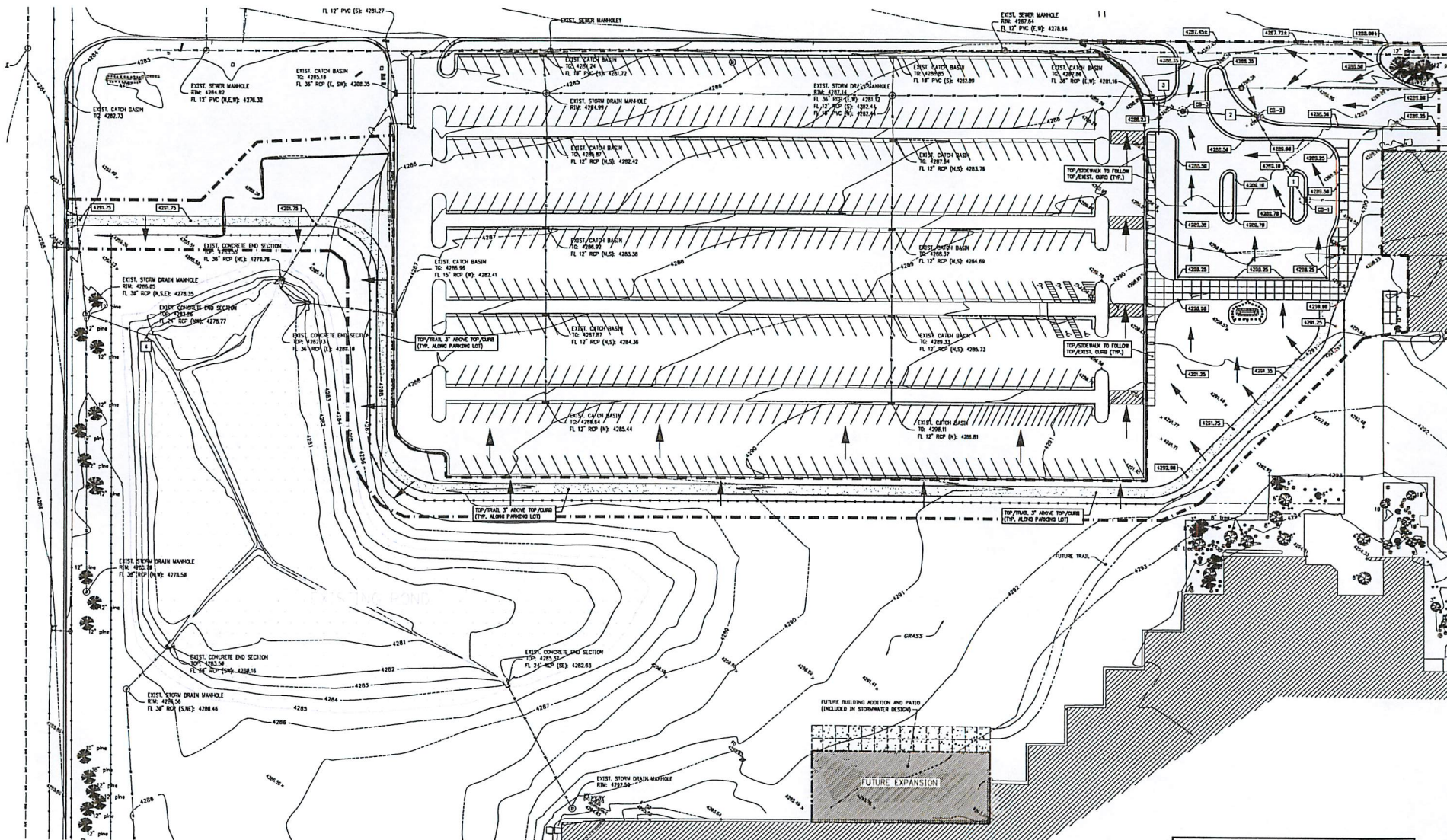
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS:**
ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE NEW YORK STATE EROSION CONTROL STANDARDS.
1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON THE PLAN.
 2. MODIFICATIONS TO EROSION CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS TO BMP'S.
 3. INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, BEFORE ANTICIPATED STORM EVENTS AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER TO ENSURE PROPER FUNCTION. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. IF THEY ARE NOT, REPAIR ANY DAMAGE OBSERVED IMMEDIATELY.
 4. WRITTEN DOCUMENTATION OF THE EROSION AND SEDIMENT CONTROL INSPECTIONS SHALL BE TURNED OUTSIDE THE REGULAR INSPECTION AND REPORT ON-SITE FOR AGENCY INSPECTION REVIEW.
 5. EROSION CONTROL FOR TREND CONSTRUCTION:
 - a. PLACE DISCARDED BRUSH MATERIAL ON THE DOWN SIDE OF THE TREND.
 - b. BACKFILL, COMPACT, AND STABILIZE THE TREND IMMEDIATELY AFTER PORE CONSTRUCTION.
 - c. DISCHARGE TREND WATER THROUGH FILTERING BARS IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER.
 6. PROVIDE TEMPORARY SOIL STABILIZATION WHERE CONSTRUCTION HAS TEMPORARILY CEASED FOR MORE THAN 14 DAYS. HYDROMULCHING USING STRAW AND WOOD FIBER WITH A FERTILIZER (FERTILIZER SPECIFIED BY MANUFACTURER) AND APPLIED IMMEDIATELY BY HANDING, FERTILIZER TEMPORARY AND PERMANENT SEEDING DETAIL 1/2/COR.
 7. INSTALL EROSION CONTROLS AROUND THE BASE OF ANY STRUCTURES.
 8. PROVIDE ON-SITE DUST CONTROL PER NEW YORK STATE DUST CONTROL BMP 1/COR.
 9. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES COVERED BY ESTABLISHED VEGETATIVE COVER.

- CONSTRUCTION REQUIREMENTS:**
1. PROJECT TO BEGIN MAY 2016 AND BE COMPLETED BY MAY 2018.
 2. PROVIDE STORM DRAIN INLET PROTECTION IN EXISTING CATCHBASINS WITH THIS SYMBOL (S-1) AND ALSO BY ALL NEW CATCHBASINS, SEE DETAIL 1/2/COR. MAINTAIN EXISTING CATCHBASINS PLANNED FOR DEMOLITION UNTIL REMOVED.
 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE, APPROVE LOCATIONS WITH OWNER AND PROVIDE STOPS DESIGNATING FOR ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT THE DISTURBED AREAS AT THOSE LOCATIONS.
 4. PROVIDE DEMOLITION PER NOTES ON THIS SHEET, SEE ELECTRICAL DRAWINGS FOR ELECTRICAL UTILITY LOCATIONS.
 5. CONDUCT MOIST SITE GRADING FOR CONCRETE PARKING LOTS AND DRIVEWAYS, CURBSIDE, SIDEWALK, AND WALKING/BIKE TRAIL.
 6. EXCAVATE FOR AND PLACE UTILITIES.
 7. PROVIDE FINISH GRADING AND COMPLETE INSTALLATION OF GRAVEL BASE, POOR CONCRETE CURBSIDE AND SIDEWALKS, POOR CONCRETE PAVING, PROVIDE WALKING/BIKE TRAIL, ASPHALT PAVING.
 8. PROVIDE 6" OF TOPSOIL WITHIN ISLANDS, ALONG EACH SIDE OF THE WALKING/BIKE TRAIL, AND AS MIXED WITHIN DISTURBED LIMITS.
 9. INSTALL CHAINLINK FENCE.
 10. COMPLETE LANDSCAPING AND ESTABLISH VEGETATION IN AREAS NOT SPECIFIED BY OTHER SURFACES WITHIN THE DISTURBED LIMITS.
 11. REMOVE SEDIMENT FROM ASSOCIATED EXISTING AND NEW CATCHBASINS PER NOTE 15.
 12. REMOVE EROSION CONTROLS.
 13. CONTRACTOR MAY MODIFY REQUIREMENTS AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION, UNLESS/UNLESS CONTRACTOR HADN'T EROSION CONTROLS IN ACCORDANCE WITH THE "CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS".
 14. CONTRACTOR TO DISPOSE OF SOLID, SEDIMENT, FILTER BACKWASH, OR OTHER WASTE THAT IS REMOVED FROM OR RESULTS FROM THE TREATMENT OF EROSION CONTROLS OF STORM SEWERS IN COMPLIANCE WITH APPLICABLE STATE LAWS AND REGULATIONS AND IN A MANNER THAT PREVENTS ANY WASTE FROM ENTERING CITY SEWERS AND WATERS OF THE STATE. ALL SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LANDFILL.

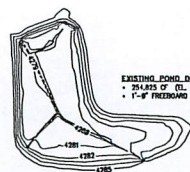
- GENERAL DEMOLITION NOTES:**
- PRIOR TO ANY CONSTRUCTION ON SITE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES.
 - BEFORE DEMOLITION BEGINS, INSTALL EROSION CONTROL MEASURES.
 - ALL DEMOLITION WORK SHALL BE PERFORMED WITH "TALK CARE AND DILIGENCE" SO AS TO PREVENT THE UNNECESSARY DESTRUCTION OR INTERFERENCE OF CONCEALED UTILITIES WHICH ARE KNOWN TO REMAIN IN USE AND THE ROUTING FOR WHICH COULD NOT BE PREDETERMINED. UNTIL DEMOLITION HAS STARTED, ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT/ENGINEER.
 - REMOVE ALL CONSTRUCTION DESIGNATED TO BE REMOVED TO REEVALUATE NEW WORK AS INDICATED IN THE DEMOLITION SET. CONTRACTOR SHALL OWNERS ALL ITEMS TAKEN FOR REMOVAL, THAT SHOULD REMAIN IN THEIR POSSESSION OR BE REMOVED FROM SITE.
 - REMOVE PORTIONS OF EXISTING CONSTRUCTION AS SHOWN AND PATCH TO MATCH CONSTRUCTION.
 - ALL UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATIONS.

- DEMOLITION KEY:**
1. REMOVE PORTION OF EXISTING CONCRETE CURBSIDE.
 2. REMOVE PORTION OF EXISTING CONCRETE PAVING.
 3. REMOVE EXISTING STORM DRAIN INLET.
 4. REMOVE EXISTING CATCHBASIN.
 5. REMOVE EXISTING STORM WATER PIPING AND TRENCH GRADE.
 6. REMOVE PORTION OF EXISTING FENCE AND LANDSCAPING WASTE PROVIDED.
 7. REMOVE EXISTING BARBERS AS NECESSARY FOR NEW BICYCLE RACK ENCLOSURE.
 8. REMOVE EXISTING DECORATIVE FENCE AND SLIDE GATE.
 9. EXISTING STORM WATER PIPING TO REMAIN.
 10. REMOVE EXISTING LANDSCAPING AND STORAGE AS NECESSARY FOR NEW CONSTRUCTION. REPLACE STORAGE FOR OTHER LOCATION.
 11. EXISTING CATCHBASIN AND STORM PIPING TO REMAIN. REMOVE GATE INLET CONSTRUCTION. REPLACE WITH NEW FRAME AND SOLID 24\"/>

Exhibit C



SITE GRADING PLAN
SCALE: 1" = 30'-0"



EXISTING POND DETENTION
SCALE: NONE

PROJECT LIMITS (---)

PRE-CONSTRUCTION SURFACES
PROJECT AREA = 18,852 s.f. (0.43 Ac)
IMPERVIOUS = 34,388 s.f. (0.78 Ac)
PERVIOUS = 88,388 s.f. (2.01 Ac) = 64.5%

POST-CONSTRUCTION SURFACES
PROJECT AREA = 18,852 s.f. (0.43 Ac)
IMPERVIOUS = 43,791 s.f. (1.00 Ac)
PERVIOUS = 34,341 s.f. (0.78 Ac) = 57.8%

FUTURE BUILDING EXPANSION

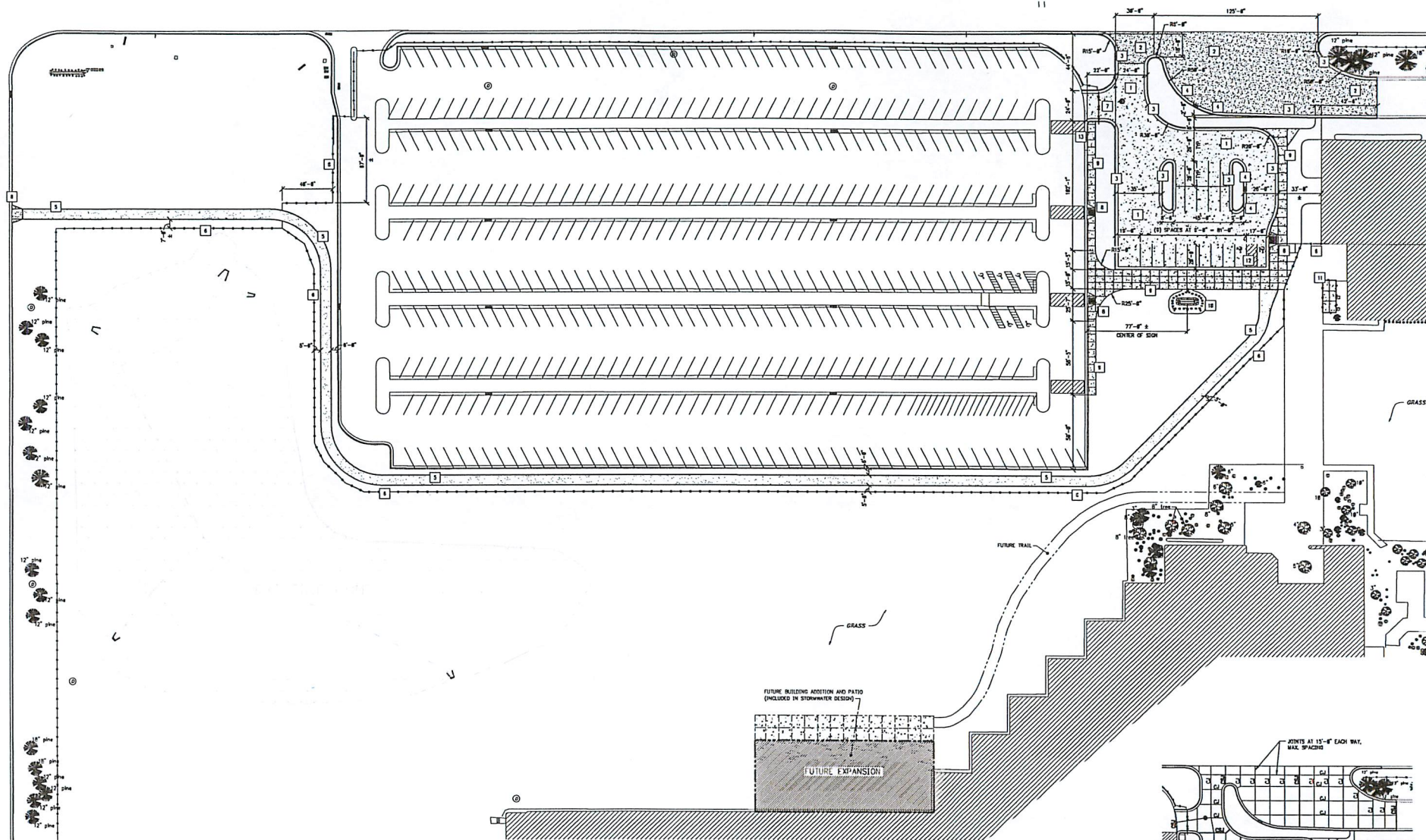
PRE-CONSTRUCTION SURFACES
PROJECT AREA = 15,377 s.f. (0.35 Ac)
IMPERVIOUS = 8 s.f. (0.00 Ac)
PERVIOUS = 15,377 s.f. (0.35 Ac)

POST-CONSTRUCTION SURFACES
PROJECT AREA = 15,377 s.f. (0.35 Ac)
IMPERVIOUS = 5,797 s.f. (0.13 Ac) (PATIO AND TRAIL)
PERVIOUS = 8 s.f. (0.00 Ac)
ROOF = 9,582 s.f. (0.22 Ac)

CATCHBASIN SCHEDULE					
TAG	SIZE (DIA.)	RIM	BOTT.	INVERT ELEVATIONS	REMARKS
CB-1	4'-6"	4285.25	4284.88	4287.14 (EXIST. 8' x 10')	CURB INLET, SEE 16/C501
CB-2	4'-6"	4287.75	4284.88	4284.75 (11')	CURB INLET, SEE 16/C501
CB-3	4'-6"	4285.88	EXIST.	4284.34 (11')	CATCHBASIN, SEE 16/C501

- CONSTRUCTION KEY:
- PROVIDE NEW 12" x 12'-0" PVC STORM PIPE.
- PROVIDE NEW 12" x 12'-0" PVC STORM PIPE.
- PROVIDE NEW 12" x 12'-0" PVC STORM PIPE, PROVIDE FLOW FOR HYDROLOGICAL PIPE CONNECTION TO EXIST. CATCHBASIN AT SH. 4284.34.
- PROVIDE NEW CATCHBASIN ADJACENT TO THE EXISTING POND OUTLET STRUCTURE, PER DETAIL 16/C501.

NOTE:
REFERENCE SYMBOLS KEY ON SHEET 01B.



SITE PAVING PLAN
SCALE: 1" = 30'-0"

PROJECT ADDRESS:
2818 RALPH WHITE BLVD., OGDEN, UT 84464

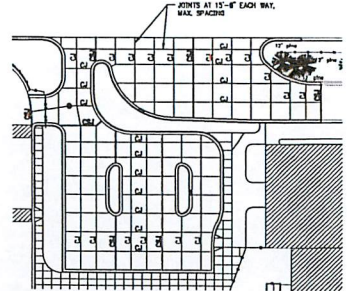
PARCELS:
1581/1578

ZONING:
M-1 LIGHT INDUSTRIAL

AREAS:
• PROPERTY = 87.88 Ac.
• DISTURBED LIMITS = 2.36 Ac (INCLUDING TRAIL)

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB
2. RE-USE EXISTING SIGNAGE AT ACCESSIBLE STALLS
3. ALL PARKING STALL STRIPING SHALL NOT BE LESS THAN 4" WIDE
4. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING

- CONSTRUCTION KEY:**
- 1 CONCRETE PAVING AT AUTO PARKING, REF. DETAIL 3/CMS
 - 2 CONCRETE PAVING AT TRUCK DRIVE, REF. DETAIL 1/CMS
 - 3 CONCRETE CURBING, SLOPING AWAY FROM THE CURB, REF. 3/CMS
 - 4 CONCRETE CURBING EITHER SIDE OF CURB DRIVE, REF. 8/CMS
 - 5 8'-0" WIDE TRAIL, ASPHALT PAVING, REF. DETAIL 4/CMS
 - 6 CHAIN-LINK FENCE, REF. DETAIL 10/CMS
 - 7 RELOCATED EXISTING FENCE GATE
 - 8 CONCRETE CURB RAMP, REF. DETAIL 3/CMS
 - 9 CONCRETE SIDEWALK WITH CURB, JOINTS AT 8'-0" O.C., REF. DETAIL 3/CMS
 - 10 NEW CONCRETE SIGN AND FLARE, RAISED ISL, REF. DETAIL, ON SHEET C10
 - 11 COVERED SIDE STORAGE ON CONCRETE PAUL, REF. DETAIL 3/CMS
 - 12 ACCESSIBLE PARKING STALLS, REF. DETAIL 8/CMS
 - 13 MATCH EXISTING CONCRETE CURB DIMENSIONS, REF. 7/CMS

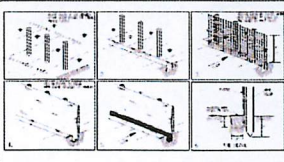


JOINT PLAN
SCALE: 1" = 15'-0"

CS - CONTROL JOINT, SEE DETAIL 14/CMS
CSA - CONSTRUCTION JOINT, SEE DETAIL 13/CMS AND DETAIL 14/CMS

NOTE:
REFERENCE SYMBOLS KEY ON SHEET C10

BMP: Silt Fence SF



OBJECTIVES

- Handwashing Practices
- Control Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Sensitive Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- A temporary sediment barrier consisting of interwoven filter fabric stretched across and secured to supporting posts.

APPLICATION:

- Perimeter control: place barrier at downgradient limits of disturbance
- Sediment barrier: place barrier at top of slope or wall structure
- Protection of existing waterways: place barrier at top of stream bank
- Hold protection: place fence separating catchments

INSTALLATION/APPLICATION CRITERIA:

- Place fence 2 feet apart on center along contour (or cross perpendicular) and drive 2 foot minimum into ground. Excavate an anchor trench immediately upgradient of fence.
- Secure with mesh (14 gage min. with 6 inch spacing) to upstream side of post. Attach with heavy duty 1 inch long wire staples. Tie wires or long legs.
- Protect fabric to prevent wind, avoid using length of barrier and expose over barrier. Secure fabric to mesh with nails, staples, or staples with leading edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

LIMITATIONS:

- Recommended maximum drainage area of 0.5 acre per 100 feet of fence and drive 2 foot minimum into ground.
- Recommended maximum aggregate slope length of 150 feet
- Recommended maximum slope grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs
- Ponding should not be allowed behind fence

MAINTENANCE:

- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- Look for and repair any gaps or tears in the barrier or underlying barriers.
- Stake or replace damaged areas of the barrier and remove accumulated sediment.
- Remove debris as necessary to prevent short-circuiting.
- Remove accumulated sediment when it reaches 10 the height of the fence.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

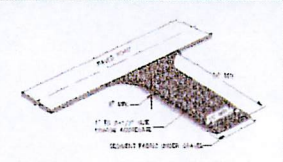
IMPLEMENTATION REQUIREMENTS

- Costed Costs
- OSM Costs
- Maintenance
- Training

WEBER COUNTY
ENGINEERING DEPARTMENT
2300 Washington Blvd., Suite 240
Ogden, UT 84401
(801) 320-0374

1 SILT FENCE
SCALE: NONE

BMP: Stabilized Construction Entrance SCE



OBJECTIVES

- Handwashing Practices
- Control Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Sensitive Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- A stabilized part of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATIONS:

- At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applied to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Clear and grade area and grade to provide minimum slope of 2%.
- Consult local agency and place filter fabric if deemed recommended for sediments to remain for more than 3 months.
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

LIMITATIONS:

- Requires periodic top dressing with addition of stone.
- Should be used in conjunction with about sweeping on adjacent public right-of-way.

MAINTENANCE:

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by sweeping or washing.
- Repair and/or replace gravel as required to maintain control in good working condition.
- Compact stabilized area as required to accommodate traffic and prevent erosion at driveways.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

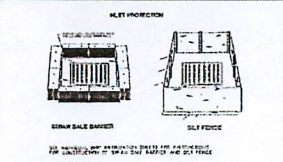
IMPLEMENTATION REQUIREMENTS

- Costed Costs
- OSM Costs
- Maintenance
- Training

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Ogden, UT 84401
(801) 320-0374

2 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NONE

BMP: Inlet Protection = Silt Fence or Straw Bale IP



OBJECTIVES

- Handwashing Practices
- Control Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Sensitive Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- Sediment barrier erected around storm drain inlet.

APPLICATION:

- Construct at storm drainage inlet located down gradient of areas to be disturbed by construction (for sites in paved areas see other information sheets for inlet protection)

INSTALLATION/APPLICATION CRITERIA:

- Provide upgradient sediment control, such as silt fence during construction
- When construction of inlet is complete, erect straw bale barrier or silt fence surrounding perimeter of inlet. Follow manufacturer and guidelines on individual BMP information sheets for straw bale barrier and silt fence construction.

LIMITATIONS:

- Recommended maximum contributing drainage area of one acre.
- Limited when located in open unimproved areas.
- Requires shallow slopes adjacent to inlet.

MAINTENANCE:

- Inspect inlet protection following storm event and at a minimum of once monthly.
- Remove accumulated sediment when it reaches 4-inches in depth.
- Repair or replace barrier/fence as needed.
- Look for bypassing or undercutting and recompact soil around barrier/fence as required.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste


IMPLEMENTATION REQUIREMENTS

- Costed Costs
- OSM Costs
- Maintenance
- Training

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3 INLET PROTECTION
SCALE: NONE

BMP: Dust Control DC



OBJECTIVES

- Handwashing Practices
- Control Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Sensitive Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:

- Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Dust sweeping is limited to areas that are paved.

INSTALLATION/APPLICATION CRITERIA:

- Effective dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturer's recommendations should be followed for installation (as well as the design of the equipment).
- Two kinds of dust suppressors are common: brush and vacuum. Vacuum suppressors are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturer's recommendations and should be inspected regularly.

LIMITATIONS:

- Is generally more expensive than manual systems.
- May be impossible to maintain by plant personnel (the more elaborate equipment).
- In labor and equipment intensive and may not be effective for all pollutants (dust, odors, etc.).

MAINTENANCE:

- If water sprayers are used, dust-contaminated water should be collected and taken.
- For treatment. Areas not properly treated may be re-treated to keep dust from spreading.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste


IMPLEMENTATION REQUIREMENTS

- Costed Costs
- OSM Costs
- Maintenance
- Training

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4 DUST CONTROL
SCALE: NONE

BMP: Temporary and Permanent Seeding TPS



OBJECTIVES

- Handwashing Practices
- Control Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Sensitive Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:

- Temporary seeding - establishment of short term cover by application of rapidly germinating seed mix. (alternatively hydroseeding may be utilized).
- Permanent seeding - establishment of fast term cover by application of permanent seed mix (alternatively and may be utilized).

APPLICATION:

- Establishment of cover at final grade and which will not be disturbed for construction activities on site. Also areas that are not at final grade but which will be left undisturbed in areas of one year.

LIMITATIONS:

- Unsuitable areas that will not be subject to traffic or high usage.
- May require irrigation and mulch which creates potential for impacting runoff quality.
- May only be applied during appropriate planting season, temporary cover required until then.

INSTALLATION:

- Plough till to a depth of 2 inches. Add fertilizer, mature topsoil as necessary.
- Evenly distribute seed using a commonly accepted method such as: broadcast seeding, drilling, hydroseeding.
- Use a seed mix appropriate for soil and location that will provide rapid germination and growth. Check with County for recommended mix and application rates.
- Cover area with mulch if required due to steep slopes or unsuitable weather conditions.

MAINTENANCE:

- Provide irrigation as required to establish growth and to maintain plant cover through duration of project.
- Re-seed as necessary to provide 70% coverage.
- Remediate any areas damaged by erosion or traffic.
- When 75% coverage is achieved inspect monthly for damage and remediate as necessary.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

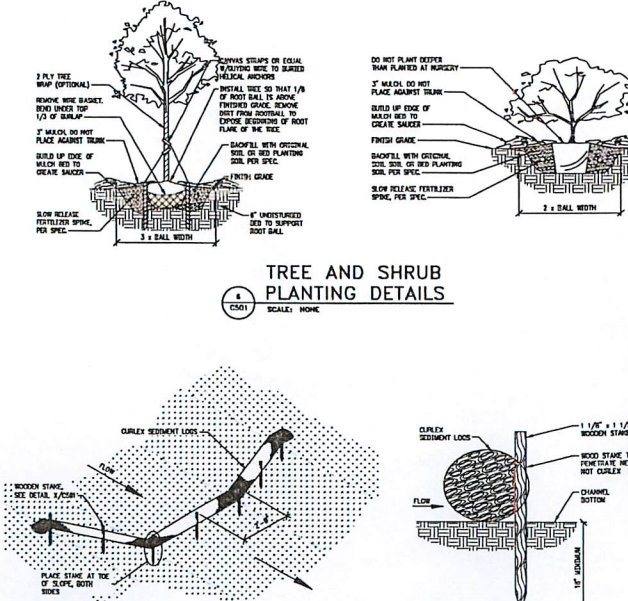
IMPLEMENTATION REQUIREMENTS

- Costed Costs
- OSM Costs
- Maintenance
- Training

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5 TEMPORARY AND PERMANENT SEEDING
SCALE: NONE

TREE AND SHRUB PLANTING DETAILS



DO NOT PLANT DEEPER THAN PLANTED AT NURSERY

3" MAJOR DO NOT PLACE AGAINST TRUNK

BUILD UP EDGE OF MAJOR BED TO CREATE SAUCER

FINISH GRADE

BACKFILL WITH GRADE, 2:1:1, 2:1:1, OR 3:1:1 PLANTING SOIL PER SPEC.

SLOW RELEASE FERTILIZER SPICE, PER SPEC.

2" x 4" BALL WIDTH

DO NOT PLANT DEEPER THAN PLANTED AT NURSERY

3" MAJOR DO NOT PLACE AGAINST TRUNK

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FINISH GRADE

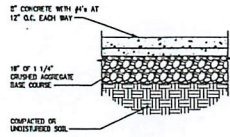
BACKFILL WITH GRADE, 2:1:1, 2:1:1, OR 3:1:1 PLANTING SOIL PER SPEC.

SLOW RELEASE FERTILIZER SPICE, PER SPEC.

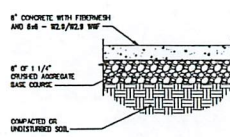
2" x 4" BALL WIDTH

7 CURLEX SEDIMENT LOG
SCALE: NONE

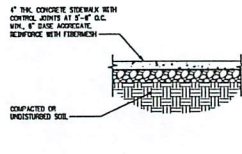
8 STAKE DETAIL
SCALE: NONE



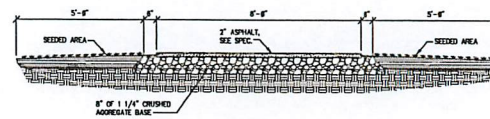
1 CONCRETE PAVING AT TRUCK DRIVE
SCALE: NONE



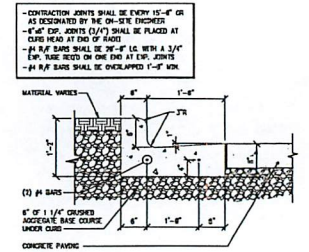
2 CONCRETE PAVING AT AUTO PARKING
SCALE: NONE



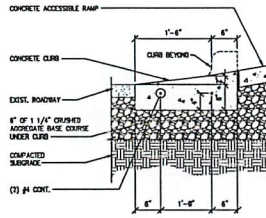
3 SIDEWALK
SCALE: NONE



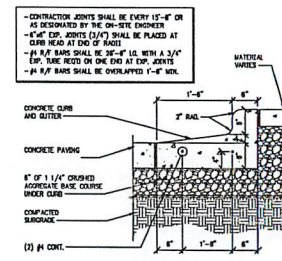
4 WALKING/BIKE TRAIL
SCALE: NONE



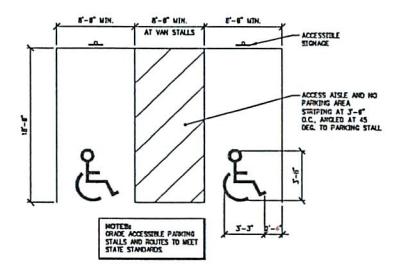
5 ACCESSIBLE CURB RAMP
SCALE: NONE



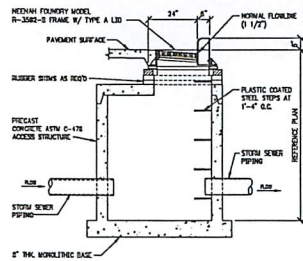
6 ENTRANCE CURB
SCALE: NONE



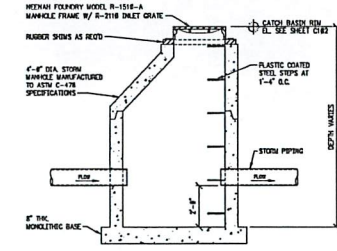
7 CONCRETE CURB
SCALE: NONE



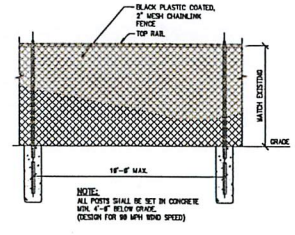
8 ACCESSIBLE PARKING STALL
SCALE: NONE



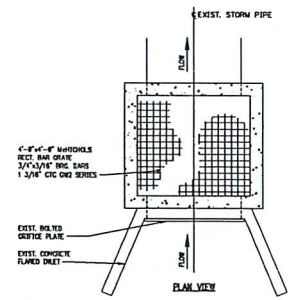
9 CURB INLET
SCALE: NONE



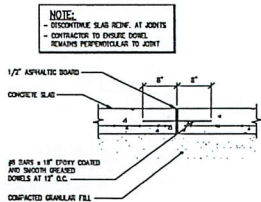
10 CATCHBASIN
SCALE: NONE



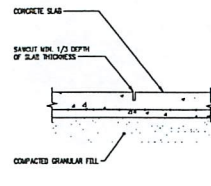
11 CHAINLINK FENCE
SCALE: NONE



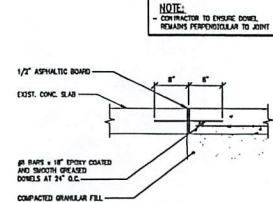
12 CATCHBASIN
SCALE: NONE



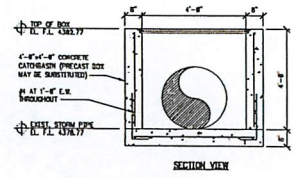
13 CONSTRUCTION JOINT
SCALE: NONE



14 CONTROL JOINT
SCALE: NONE



15 JOINT NEW/EXIST.
SCALE: NONE



16 CATCHBASIN
SCALE: NONE