

# Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
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## Property Owner Contact Information

Name of Property Owner(s) <i>Snowbasin Resort</i>		Mailing Address of Property Owner(s) <i>Snowbasin Resort P.O. Box 460 Huntsville, Utah 84317</i>	
Phone <i>801-620-1000</i>	Fax <i>801-620-1314</i>		
Email Address (required) <i>info@snowbasin.com</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

## Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) <i>John Loomis</i>		Mailing Address of Authorized Person <i>Snowbasin Resort P.O. Box 460 Huntsville Utah 84317</i> * Attn. John Loomis	
Phone <i>801-819-6607</i>	Fax <i>801-620-1314</i>		
Email Address <i>jloomis@snowbasin.com</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

## Property Information

Project Name <i>Pineview West Water Pump House</i>	Total Acreage <i>26.121</i>	Current Zoning <i>CVR-1</i>
Approximate Address <i>Taping Unit 317</i>	Land Serial Number(s) <del>200050017</del> <i>26.121 AC</i> <i>200050031 - 26.121 AC</i>	<i>Pump house 72 ft <math>\approx</math></i>
<i>449 - SR - 162 (Foot Ramp)</i>		

Proposed Use: *Construction of a 6' x 12' Pump House - Pine View West Water*

### Project Narrative

Pine View West Water proposes to construct a 6 feet x 12 feet pump house over an existing 4ft. in diameter vault that houses the pump and electrical panel. The pump house will be constructed on the 66' ROW (686-450), see map. Currently the pump that service Radford Hills subdivision is subterranean in the vault. The proposal is to construct the pump house over the existing vault and the pump would be housed in the pump house for easier access and eliminate confined space rules.

**Basis for Issuance of Conditional Use Permit**

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

N/A

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

N/A

**Property Owner Affidavit**

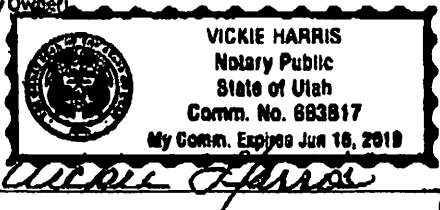
I (We), Snowbasin Resort depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

John Loomis

\* John Loomis  
(Property Owner)

(Property Owner)

Subscribed and sworn to me this 7 day of October 2015

  
Vickie Harris  
(Notary)

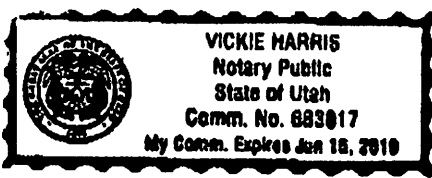
**Authorized Representative Affidavit**

I (We), Snowbasin Resort, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), John Loomis to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\* John Loomis  
(Property Owner)

(Property Owner)

Dated this 7 day of October 2015, personally appeared before me John Loomis the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

  
Vickie Harris  
(Notary)

Vickie Harris  
(Notary)

## Narrative for Conditional Use Permit for Pineview West Water Company Pump House Construction

Pineview West Water Company is proposing to construct a 6ft. X 12ft. pump house over an existing vault which currently houses the pump that services Culinary Water for Radford Estates and beyond.

Pineview West purchases water from the City of Ogden, the current vault that houses the pump is a Concrete four foot diameter, six foot deep cylindrical vault with a concrete lid and a steel manhole lid that serves as access. The structure is similar to a sewer manhole without the cone shaped portion on top. A 240 volt electrical and control panel is also in the vault. The vault is located approximately 100 feet North and West of the Forest Service North South Port Ramp Marina Boundary (see map and photo) . The vault is located on the R.O.W which was acquired and documented by Ed and Mildred Radford, 1961—R.O.W.686-450—66ft. in width, see document.

The pump house building will be constructed in a pole construction manner, please see T&C DESIGN Plans with 2"X 6" conventional framed walls, prefabricated roof trusses, composite siding (cedar tone in color), asphalt shingles (heather or elk), insulation in roof and walls, the vault lid will remain in place, the service pipe to and from pumps will be core drilled through the existing concrete lid and the pumps (2- 1 for backup) will be mounted to the existing lid. An expanded metal lid will replace the steel manhole lid so access, if need, is obtainable down into the vault. A concrete floor will be poured around the perimeter of the existing vault lid. The Electrical panel and Control panel will be mounted to the wall for easy access. The door currently located on the East South East Side, facing the Marina may be moved to the right side/road side (North East View) of the building for easier access with pump equipment. Two 6" in diameter steel pipe bollards 4 ft. in height, painted caution yellow will be placed at each corner of the road side of the building. A VEE Shaped planter box will be constructed in front of the Pump House, SR 162 view/North, North West View with Pinus Mugo planted in the planter box for screening of the building. A ½" water line (max.) with a backflow preventer will provide water (drip system method) to the Pinus Mugo Shrubs. Rocky Mountain Power services the building; the service will be located on the fence side /southwest view of the building.

The reason for the need of the Pump house is for easier access of equipment, drier environment for electrical equipment and confined space issues regarding the subterranean vault.

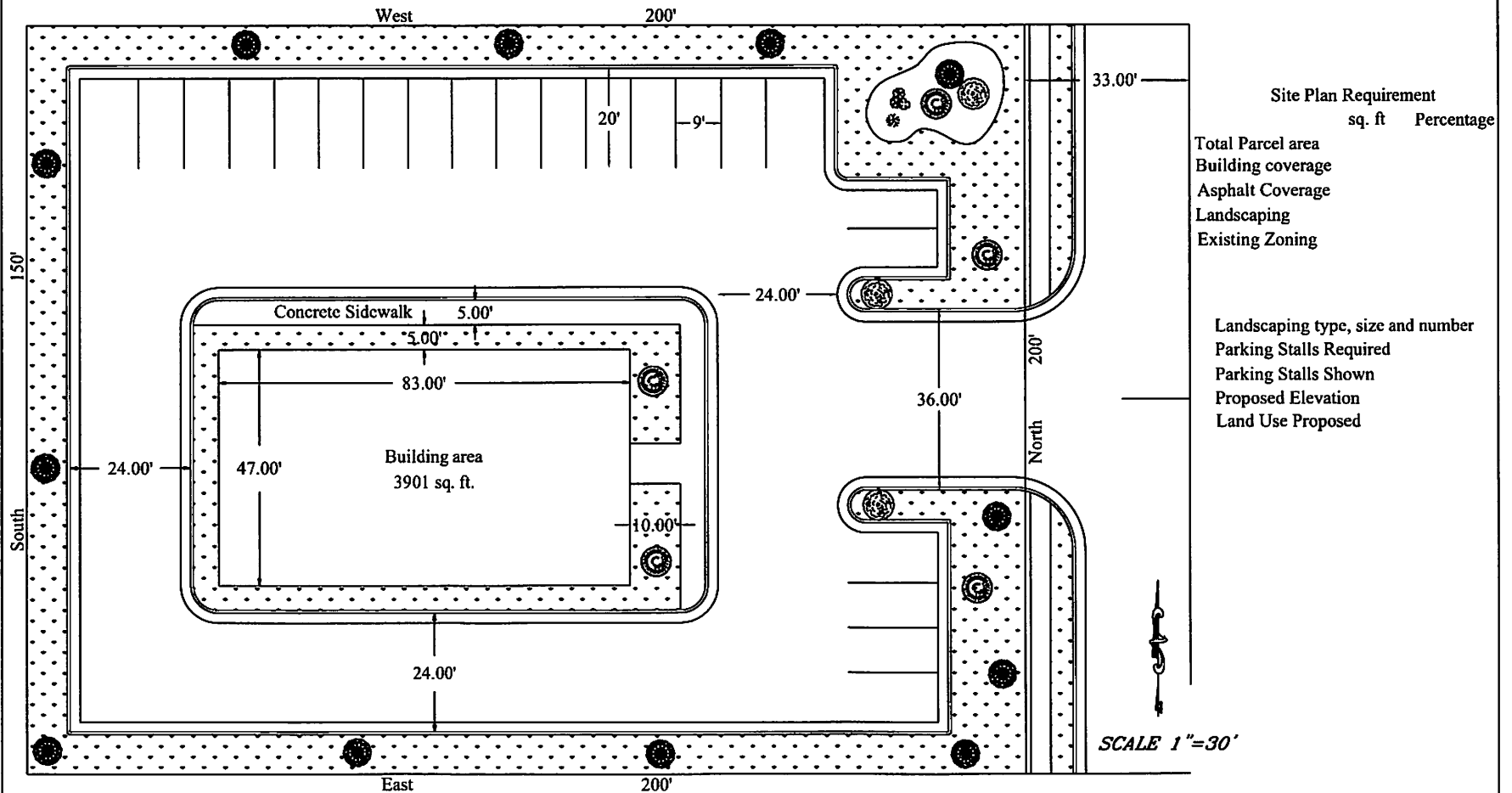
Thank you for your consideration--- Pineview West Water Company

**Check List for Site Plan Review.**

Name of the proposed development  
 Name and address of the owner of property  
 Name and address of the preparer of the site plan  
 Statement describing the intended use of the development  
 A north arrow and scale not less than 1:50  
 The tax ID number of the development site  
 The land use and zoning of the development site  
 Adjacent land use and zoning  
 \* Identify the percentage of the property covered by buildings and hard surface

Adjacent streets shall be shown and identified, along with distance from centerline to property  
 Building setbacks and distances  
 Easement on property and on abutting property, that could be affected  
 A letter from the Water and Sewer company serving the project or a septic tank approval letter  
 \* Elevation drawings depicting architectural theme, building features, materials and colors is required  
 \* A grading and drainage plan is required  
 Landscaping plan

\* Lighting plan  
 Detailed sign information including color and material  
 Fire hydrant location  
 Parking information - size and number of stalls  
 The geometric layout and dimensions of proposed building, driveways, parking areas, loading areas, signs and other features of the development  
 Existing structures  
 Storm water management plan



\* Does not apply to Home Occupation Conditional Use Applications

Note: This is not a substitution for reading the Weber County Zoning Ordinance.



## Conditional Use Permit Application

The purpose and intent of Conditional Uses is to provide for additional review of certain uses to ensure compatible integration with the surrounding area. A Conditional Use Permit shall follow the provisions of Weber County Land Use Code Title 108 Chapter 4.

The proposal will be reviewed by the Land Use Authority based on its effects on the individual site or surrounding area. The applicant shall demonstrate that reasonable conditions are proposed, or can be imposed, to substantially mitigate the anticipated detrimental effects of the proposed use in accordance with the standards of Section 108-4-5 of the Weber County Land Use Code, or relevant standards or requirements of any other chapter of the Land Use Code.

A pre-application meeting is required prior to application submittal; please call (801) 399-8791 to make an appointment. Date of pre-application review meeting: \_\_\_\_\_ Time: \_\_\_\_\_

APPLICATION DEADLINE: Thirty (30) days prior to the next regularly scheduled Planning Commission meeting provided that the application can be deemed complete, reviewed and ready for presentation.

The Western Weber County Planning Commission holds their meetings on the 2<sup>nd</sup> Tuesday of the month.  
The Ogden Valley Planning Commission holds their meetings on the 4<sup>th</sup> Tuesday of the month.

### Application Submittal Checklist

The Planning Division will only accept complete applications with supporting documents as outlined below. Submitting an application does not guarantee that this application will be placed on the next Planning Commission agenda.

The following is required as part of the application form submittal:

- Complete Application Form including project narrative
- A non-refundable fee made payable to Weber County (See *Fee Schedule*)
- Vicinity Map showing the general property location
- A site plan showing details and other requirements as may be applicable in Title 108 Chapter 1 (Design Review), Title 108 Chapter 2 (Architectural, Landscape and Screening Design Standards), Title 108 Chapter 4 (Conditional Uses) Title 108 Chapter 8 (Parking and Loading Space, Vehicle Traffic and Access Regulations), and Title 108 Chapter 9 (Motor Vehicle Access).
- Water and wastewater plan
- Studies, reports, and other information that may be necessary to demonstrate compliance with applicable standards of 108-4-5 of the Weber County Land Use Code.
- All documents submitted in the application shall be accompanied by a PDF file of the respective document. All plans (including but not limited to site plans, architectural elevations/renderings, etc.), and subsequent submittals and revisions, shall be accompanied by a full scale set of PDF files of the respective plans.
- Obtain signature of the owner(s) on the application and any authorized representatives



**Fee Schedule**

Property Zoning CVR-1 Fee Required \$ 225.<sup>00</sup>

- Conditional Use Permit (Less than 5,000 sq. ft.) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225
- Conditional Use Permit (5,000 sq. ft. or greater) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225 + \$15 per 1,000 sq. ft.
- Conditional Use Permit for Planned Residential Unit Development (P.R.U.D.) \$500
- Conditional Use Amendments \$125

**Decision Requirements**

Pursuant to Section 108-4-4, a conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to substantially mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards of this chapter, or relevant standards or requirements of any other chapter of this Land Use Code. When considering any of the standards, the Land Use Authority shall consider the reasonably anticipated detrimental effects of the proposed use in the context of current conditions and, to the extent supported by law, the policy recommendations of the applicable general plan.

If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

**Appeal, Revocation, Expiration, and Abandonment**

The decision of the Planning Commission may be appealed to the Board of Adjustment by filing such appeal within 15 days after the written decision of the Planning Commission.

The County Commission may uphold or reverse the decision of the Planning Commission and impose any additional conditions that it may deem necessary in granting an appeal. The decision of the County Commission shall be final.

A Conditional Use Permit may be revoked by the Planning Commission upon failure to comply with the applicant's approved proposal, or any applied standard, or applicable requirement, provision, restriction, or condition of approval. Violation of any condition of approval of a conditional use permit shall constitute a violation of this Land Use Code. Rules for revocation are provided in Section 102-4-3.

Unless there is substantial action under a conditional use permit within a maximum period of one year of its approval from the Land Use Authority, the conditional use permit shall expire. The Land Use Authority may grant a maximum extension of six months. Upon expiration of any extension of time granted by the Land Use Authority, the approval for the conditional use permit shall expire and become null and void.

When an approved Conditional Use has been discontinued and/or abandoned for a period of one (1) year, the Conditional Use Permit becomes null and void. In order to restore the Conditional Use, a new application shall be filed for review and consideration by the Planning Commission.