



Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a de minimis expansion of a pre-existing underground pump station to an above ground pump house owned by Pine View West Water Company.

Type of Decision: Administrative

Applicant: Snowbasin Resort

Authorized Agent: John Loomis

File Number: CUP 2015-19

Property Information

Approximate Address: Vacant Property

Project Area: 26.121 acres

Zoning: CVR-1

Existing Land Use: Agriculture, recreation, public utility substation

Proposed Land Use: Agriculture, recreation, public utility substation

Parcel ID: 20-005-0031

Township, Range, Section: T6N, R1E, Section 10

Adjacent Land Use

North: Agriculture	South: Agriculture/Reservoir
East: Reservoir	West: Residential

Staff Information

Report Presenter: Ronda Kippen
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: SM

Applicable Codes

- Title 101, Chapter 1 General Provisions, Section 7, Definitions
- Title 104, Chapter 11 Commercial Valley Resort Zone (CVR-1 Zone)
- Title 104, Chapter 28 Ogden Valley Sensitive Lands Overlay Districts
- Title 104, Chapter 1 Design Review
- Title 104, Chapter 2 Ogden Valley Architectural, Landscape and Screening Design Standards
- Title 108, Chapter 4 Conditional Uses
- Title 108, Chapter 10 Public Buildings and Public Utility Substations and Structures

Background and Summary

Pine View West Water Company is requesting administrative approval to a site plan for an expansion of a pre-existing underground pump station which provides culinary water to the adjacent subdivisions. The water company would like to construct a pump house over their existing vault to allow for easier access and eliminate the confined space issues regarding the subterranean vault (see Exhibit A). The proposed structure will be a 6' X 12' cedar toned board and batten pump house with asphalt shingles. The pump house will have two concrete pipe bollards, painted caution yellow, along the side of the building next to the 66' ROW leading to Pine View Reservoir.

It appears the underground vault which houses the subterranean pump and associated electrical panel was installed during the early development of the Pine View West and Radford Hills subdivisions and was approved as part of the required subdivision improvements for the expansion of the culinary water system serving these subdivisions. Based on the earlier approvals of the above mentioned subdivision improvements, the proposed pump house has been deemed de minimis in nature; allowing for administrative approval of the proposal.

The proposed application has been reviewed against certain standards in the Uniform Land Use Code of Weber County, Utah (LUC) and appears to meet these standards. The following is staff's evaluation of the request.

Analysis

General Plan: The Ogden Valley General Plan identifies the need for new water sources to meet the demands of future growth while balancing the concern regarding the number of private wells and the cumulative impacts on water availability and water quality. The proposal supports the long-term goal to improve and expand the Valley's existing water systems throughout developing areas (*see the 1998 Ogden Valley General Plan §9.03 Water System & 9.04 Private Wells*).

Zoning: The intent and purpose of the CVR-1 Zone per the LUC §104-11-1 is:

“(a) The purpose of this zone is to provide locations in the Ogden Valley and at major recreation resort areas, where service facilities and goods normally required by the public in the pursuit of general recreation activities can be obtained.”

The CVR-1 Zone has specific standards identified in the LUC §104-11-6 that shall be met as part of the development process. Those standards are as follows:

- Minimum lot area: 2.5 acre site, with the following minimum area requirement for uses within that site:
 - Other uses: none.
- Minimum lot width: 150 feet minimum frontage.
- Minimum yard setbacks:
 - Front: 30 feet minimum.
 - Side: 20 feet minimum, except as otherwise required by this or any other county ordinance.
 - Rear: 20 feet minimum, except as otherwise required by this or any other county ordinance.
- Building height: Conditional use permit is required if over 25 feet in height.

The proposed use is conditionally allowed in the CVR-1 zone and has been reviewed as a “Public utility substations”. The CVR-1 zone does not identify a minimum lot size for other uses and all public utility substations per LUC §108-10-2 has been waived.

The location and arrangement of public utility substations and structures must be in accordance with construction plans submitted to and approved by the planning commission. The required approvals by the planning commission appear to have taken place in the early 1990's as part of the subdivision improvements process for the adjacent subdivisions. The earlier approvals required the Pine View West Water Company to acquire additional water sources for which they obtained from Ogden City and the subsequent vault housing the pump was installed; therefore, the proposed expansion meets the intent of the administrative approval process.

The Ogden Valley Sensitive Lands Overlay Districts Zone has specific standards identified in the LUC §104-28-2 that shall be met as part of the development process. The applicable standards are as follows:

Development standards.

(1) Setbacks. No structure, accessory structure, road, or parking area shall be built within the required setback from a river or stream as measured from the high water mark of the river or stream. The high water mark shall be determined by the Weber County engineer. The areas within the setback shall be maintained in a manner that protects the quality of water in the river or stream and the habitat of native vegetation and wildlife along the river or stream.

a. Structures, accessory structures, roads, or parking areas shall not be developed or located within 100 feet on both sides of the North Fork, South Fork, and Middle Fork of the Ogden River, from the high water mark of the river.

b. Structures, accessory structures, roads, or parking areas shall not be developed or located within 75 feet on both sides of year-round streams, as determined from the high water mark of the stream.

c. Structures, accessory structures, roads, or parking areas shall not be developed or located within 50 feet from the high water mark of a natural ephemeral stream.

An ephemeral stream known as "Rattlesnake Creek" is located on the site, outside of the proposed improvement area. The proposed location meets all of the CVR-1 zone site development standards as well as the development standards of the Ogden Valley Sensitive Lands Overlay District Zone.

Conditional Use Review: In the event a change is proposed that differs from the originally approved proposal or conditions of the original approval, an amendment to the original conditional use permit shall be required as provided herein. LUC §108-4-3(2)(b)(7) states:

"De minimis revisions to a previously approved conditional use permit may be approved by the planning director provided it can be determined that the changes are slight, inconsequential, and not in violation of any substantive provision of this Code. The planning director's written approval of a de minimis revision shall be appended to the written decision of the planning commission. Revisions that are de minimis shall not require public notice."

A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. Pine View West Water has provided adequate plans of the proposed improvements and site layout. Based on the review of the proposal, it is anticipated that there will not be detriment effects generated by the proposed improvements.

Design Review: The CVR-1 zone and the proposed conditional use expansion, mandate a design review as outlined in LUC §108-1 to ensure that the general design, layout and appearance of the building remains orderly and harmonious with the surrounding neighborhood. Certain areas of the design review are only applicable due to the nature of the request. As part of this review, staff has considered the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

- *Considerations relating to traffic safety and traffic congestion.* Access to the site will be gained off of Highway 158 via a private right of way. Two 6" concrete bollards will be placed next to the structure to provide protection from possible vehicular damage (see Exhibit B). Currently, there is a stop sign at the intersection of the private right of way and Highway 158 and the site meets the clear sight distance standards as outlined in LUC §108-2-8.
- *Considerations relating to landscaping.* The area of disturbance is very minimal. The proposal has been designed to include the minimal amount of landscaping included an irrigation drip system that is required per LUC §108-2-5 (see Exhibit B). A backflow valve will be installed to provide the necessary irrigation water for the proposed landscaping.
- *Considerations relating to buildings and site layout.* The proposed pump house is 6' x 12' (see Exhibit C). The external surface of the structure is proposed to be constructed of cedar toned board and batten with "Heather" or "Elk" colored asphalt roof. It appears that the proposed architectural details met the intent of the Ogden Valley Architectural, Landscaping and Screening Design Standards as outlined in LUC §108-2-4.
- *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant will need to adhere to any conditions of the Engineering Division including but not limited to onsite SWPPP and site clean-up. A condition has been made part of the Planning Division's recommendations to ensure that this standard is met.
- *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.* The proposed site does not have any type of development agreement associated with the property; therefore considerations pertaining to this portion of the code are not applicable at this time.

Review Agencies: Prior to the commencement of work, the applicant will need to receive the approval from all applicable agencies for the proposed pump house improvements. A condition has been made part of the Planning Division's recommendations to ensure that all conditions of the review agencies will be met.

Conformance to the General Plan

The proposed use conforms to the Ogden Valley General Plan by providing improvements to an existing water system to meet the demands of the Valley's existing water systems throughout developing areas.

Summary of Considerations

In order for a conditional use to be approved it must meet the requirements of applicable ordinances listed in this staff report, which include the standards outlined in LUC §108-4. The decision requirements per LUC §108-4-4 are:

“(a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to substantially mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards of this chapter, or relevant standards or requirements of any other chapter of this Land Use Code. When considering any of the standards, the land use authority shall consider the reasonably anticipated detrimental effects of the proposed use in the context of current conditions and, to the extent supported by law, the policy recommendations of the applicable general plan.

“(b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.”

It will need to be determined if the proposal meets the requirements of the applicable Uniform Land Use Code of Weber County. Additional conditions may be imposed in order to ensure full compliance with the required standards.

Staff Recommendation

The Planning Division recommends approval of file# CUP 2015-19, a conditional use permit for a de minimis expansion of a pre-existing underground pump station to an above ground pump house owned by Pine View West Water Company, located on parcel# 20-005-0031. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. Prior to the issuance of a conditional use permit, a physical address must be assigned by the Weber County Surveying Department.
2. Requirements of the Weber County Building Inspection Division.
3. Requirements and recommendations of the Weber Fire District.
4. Requirements of the Weber County Engineering Division.
5. Requirements of the Weber County Health Department.

This recommendation is based on the following findings:

1. The proposed use conforms to the Ogden Valley General Plan.
2. The proposed use, if conditions are imposed, will not be detrimental to the public health, safety, or welfare.
3. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
4. The proposed use will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Staff Administrative Approval

Based upon the findings listed above, administrative approval for CUP 2015-19 for a de minimis expansion of a pre-existing underground pump station to an above ground pump house owned by Pine View West Water Company, located on parcel# 20-005-0031, is hereby approved this the 2ND day of NOVEMBER, 2015.



Scott Mendoza
Weber County Planning Division

Exhibits

- A. Application and Narrative
- B. Site Plan Details
- C. Building Plans



Exhibit A-Application & Narrative

Weber County Conditional Use Permit Application			
Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) <i>Snowbasin Resort</i>		Mailing Address of Property Owner(s) <i>Snowbasin Resort P.O. Box 460 Henrieville, Utah 84317</i>	
Phone <i>801-620-1000</i>	Fax <i>801-620-1314</i>		
Email Address (required) <i>info@snowbasin.com</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) <i>John Bloomis</i>		Mailing Address of Authorized Person <i>Snowbasin Resort P.O. Box 460 Henrieville Utah 84317</i> * Attn. John Bloomis	
Phone <i>801-819-6607</i>	Fax <i>801-620-1314</i>		
Email Address <i>j.bloomis@snowbasin.com</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Property Information			
Project Name <i>Pineview West Water Pump House</i>		Total Acreage <i>26.121</i>	Current Zoning <i>CVR-1</i>
Approximate Address <i>Taping Unit 317 449-SR-162 (Port Ramp)</i>		Land Serial Number(s) 200050017 <i>26.121 Ac. Pump house 72 ft²</i> <i>200050031 - 26.121 AC</i>	
Proposed Use <i>Construction of a 6'x12' Pump House - Pineview West Water</i>			
Project Narrative <i>Pine View West Water propose to construct a 6 feet x 12 feet pump house over an existing 4ft. in diameter vault that houses the pump and electrical panel. The pump house will be constructed on the 66' ROW (686-450), see map. Currently the pump that service Radfordthiels subdivision is subterranean in the vault. The proposal is to construct the pump house over the existing vault and the pump would be housed in the pump house for easier access and eliminate confined space rules.</i>			

Exhibit A-Application & Narrative

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

N/A

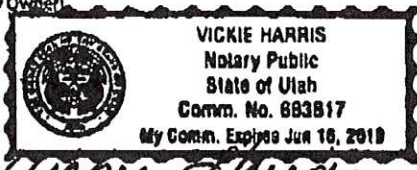
That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

N/A

Property Owner Affidavit

I (We), Snowbain Resort, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

John Loomis
* John Loomis
(Property Owner)

(Property Owner)

Vickie Harris
(Notary)

Subscribed and sworn to me this 7 day of October, 20 15

Authorized Representative Affidavit

I (We), Snowbain Resort, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), John Loomis, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

* John Loomis
(Property Owner) (Property Owner)

Dated this 7 day of October 20 15, personally appeared before me John Loomis the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.


Vickie Harris
(Notary)

Exhibit A-Application & Narrative

Narrative for Conditional Use Permit for Pineview West Water Company Pump House Construction

Pineview West Water Company is proposing to construct a 6ft. X 12ft. pump house over an existing vault which currently houses the pump that services Culinary Water for Radford Estates and beyond.

Pineview West purchases water from the City of Ogden, the current vault that houses the pump is a Concrete four foot diameter, six foot deep cylindrical vault with a concrete lid and a steel manhole lid that serves as access. The structure is similar to a sewer manhole without the cone shaped portion on top. A 240 volt electrical and control panel is also in the vault. The vault is located approximately 100 feet North and West of the Forest Service North South Port Ramp Marina Boundary (see map and photo) . The vault is located on the R.O.W which was acquired and documented by Ed and Mildred Radford, 1961—R.O.W.686-450—66ft. in width, see document.

The pump house building will be constructed in a pole construction manner, please see T&C DESIGN Plans with 2"X 6" conventional framed walls, prefabricated roof trusses, composite siding (cedar tone in color), asphalt shingles (heather or elk), insulation in roof and walls, the vault lid will remain in place, the service pipe to and from pumps will be core drilled through the existing concrete lid and the pumps (2- 1 for backup) will be mounted to the existing lid. An expanded metal lid will replace the steel manhole lid so access, if need, is obtainable down into the vault. A concrete floor will be poured around the perimeter of the existing vault lid. The Electrical panel and Control panel will be mounted to the wall for easy access. The door currently located on the East South East Side, facing the Marina may be moved to the right side/road side (North East View) of the building for easier access with pump equipment. Two 6" in diameter steel pipe bollards 4 ft. in height, painted caution yellow will be placed at each corner of the road side of the building. A VEE Shaped planter box will be constructed in front of the Pump House, SR 162 view/North, North West View with Pinus Mugo planted in the planter box for screening of the building. A ½" water line (max.) with a backflow preventer will provide water (drip system method) to the Pinus Mugo Shrubs. Rocky Mountain Power services the building; the service will be located on the fence side /southwest view of the building.

The reason for the need of the Pump house is for easier access of equipment, drier environment for electrical equipment and confined space issues regarding the subterranean vault.

Thank you for your consideration--- Pineview West Water Company

Exhibit B-Site Plan Details

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TAXING UNIT: 317

SE 1/4
SECTION 10, T.6N., R.1E., S.L.B. & M.

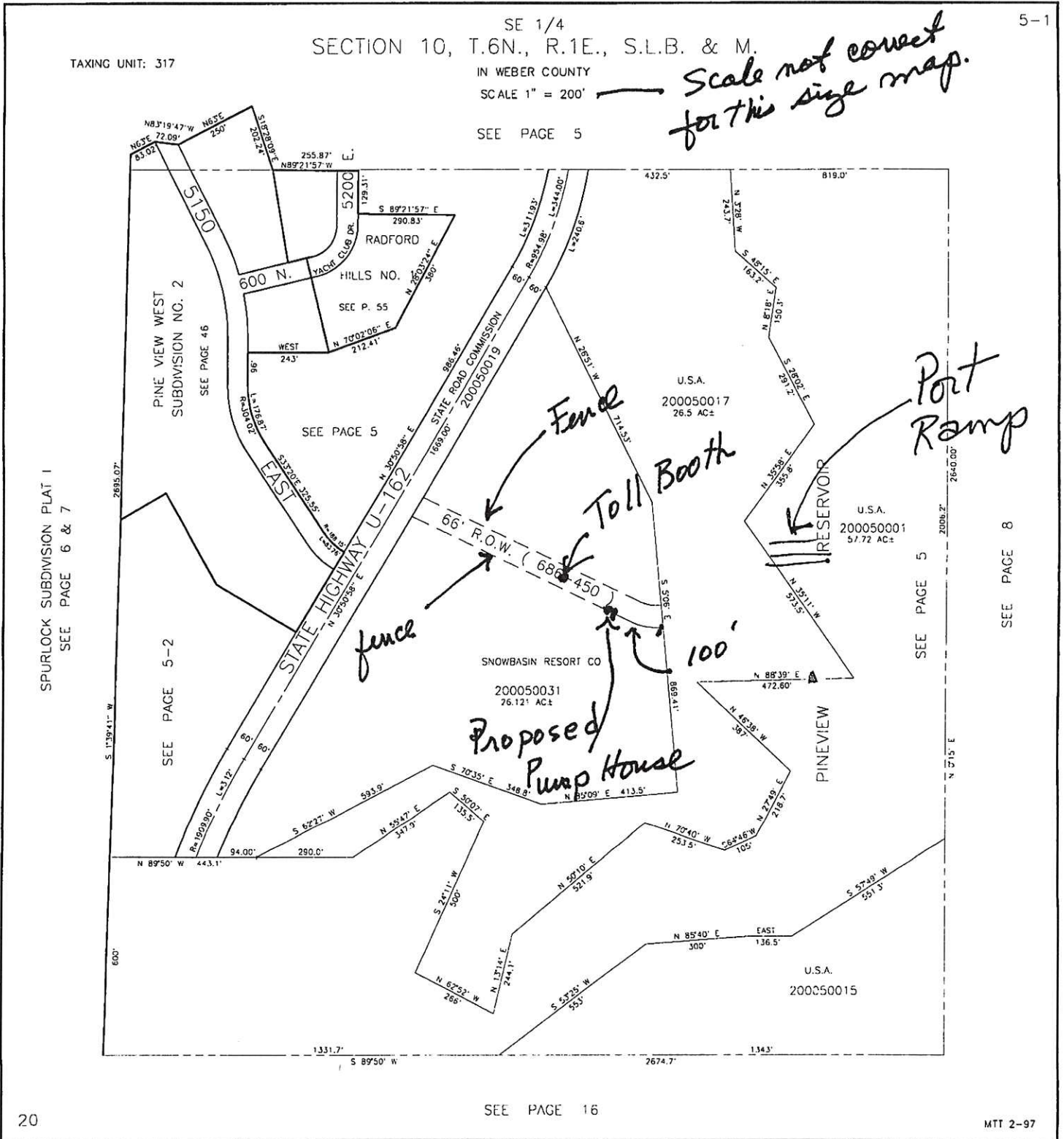
IN WEBER COUNTY

SCALE 1" = 200'

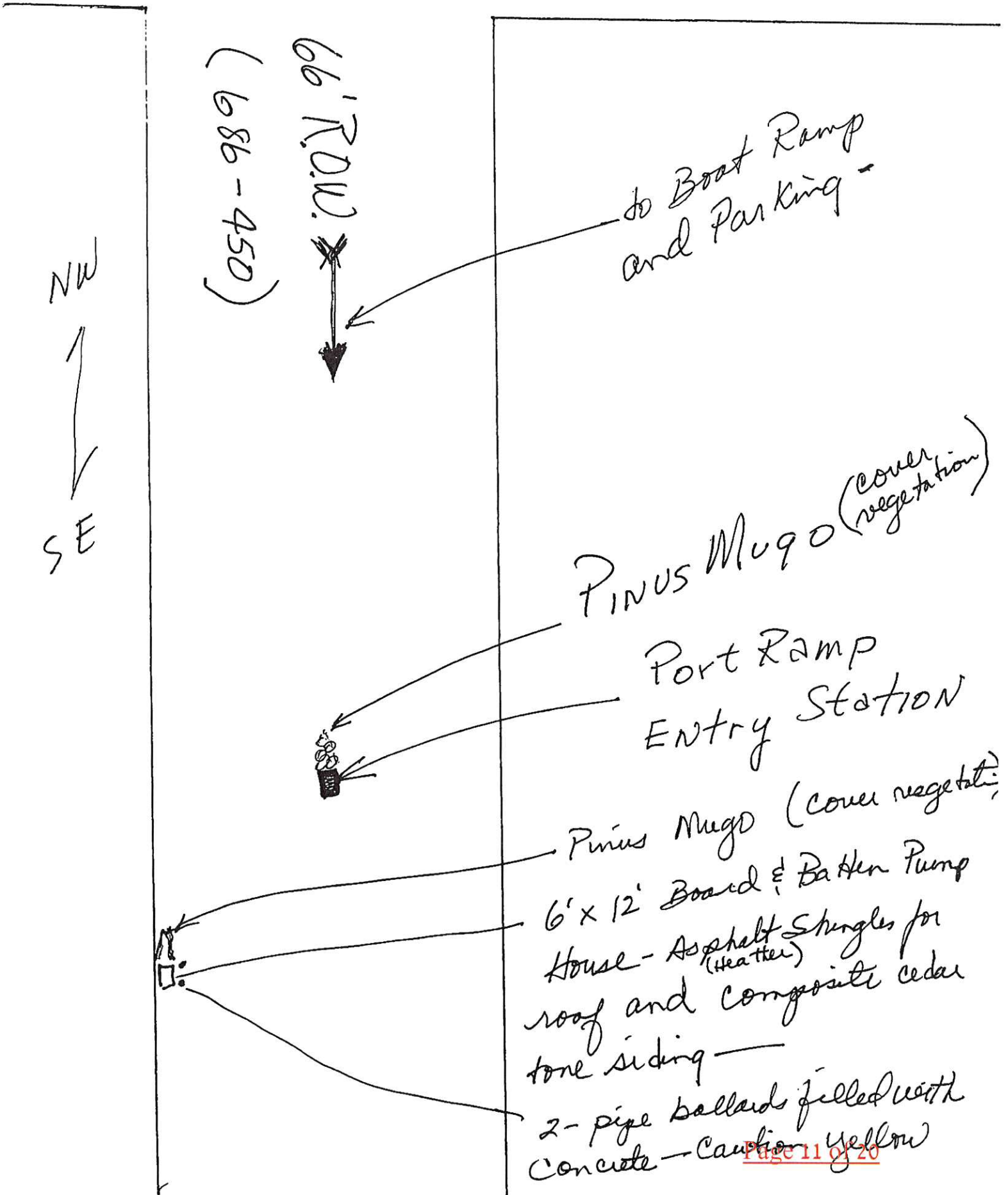
SEE PAGE 5

*Scale not correct
for this size map.*

5-1



S



EXISTING ENTRY STATION



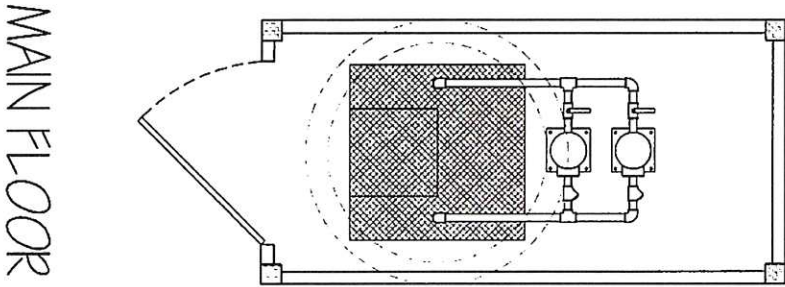
Exhibit B-Site Plan Details **EXISTING SUBTERRANEAN
41 DIAMETER VAULT**



EXAMPLE - BOARD + BATTEN

CEDARTONE

DESIGNER:
T & C DESIGN



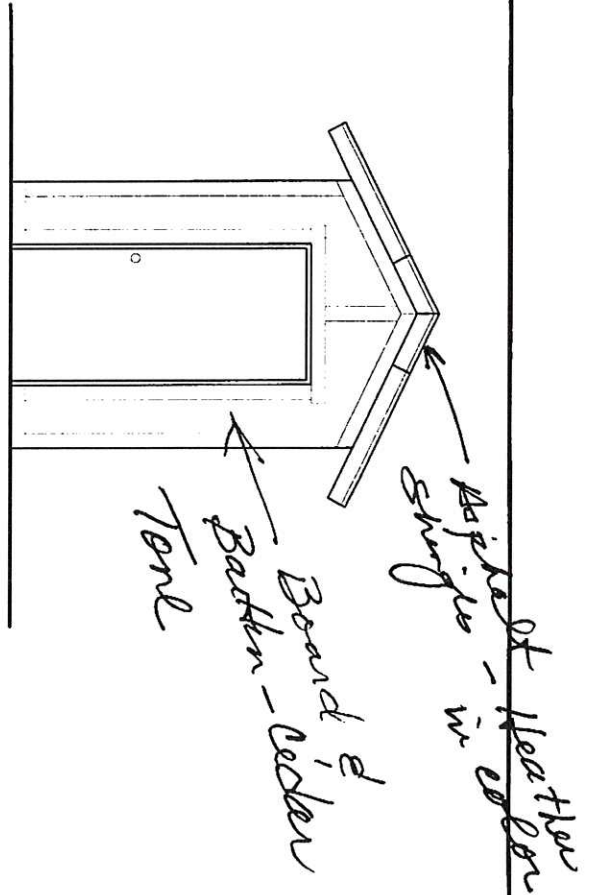
MAIN FLOOR

6" pipe
board

6" pipe
board

TABLE OF CONTENTS	
CS	COVER SHEET
1	ELEVATIONS
2	FOOTING/ FOUNDATION PLAN
3	MAIN FLOOR & ROOF FRAMING PLANS
4	WALL CROSS SECTION

FRONT ELEVATION
Looking From Marina
East South East View

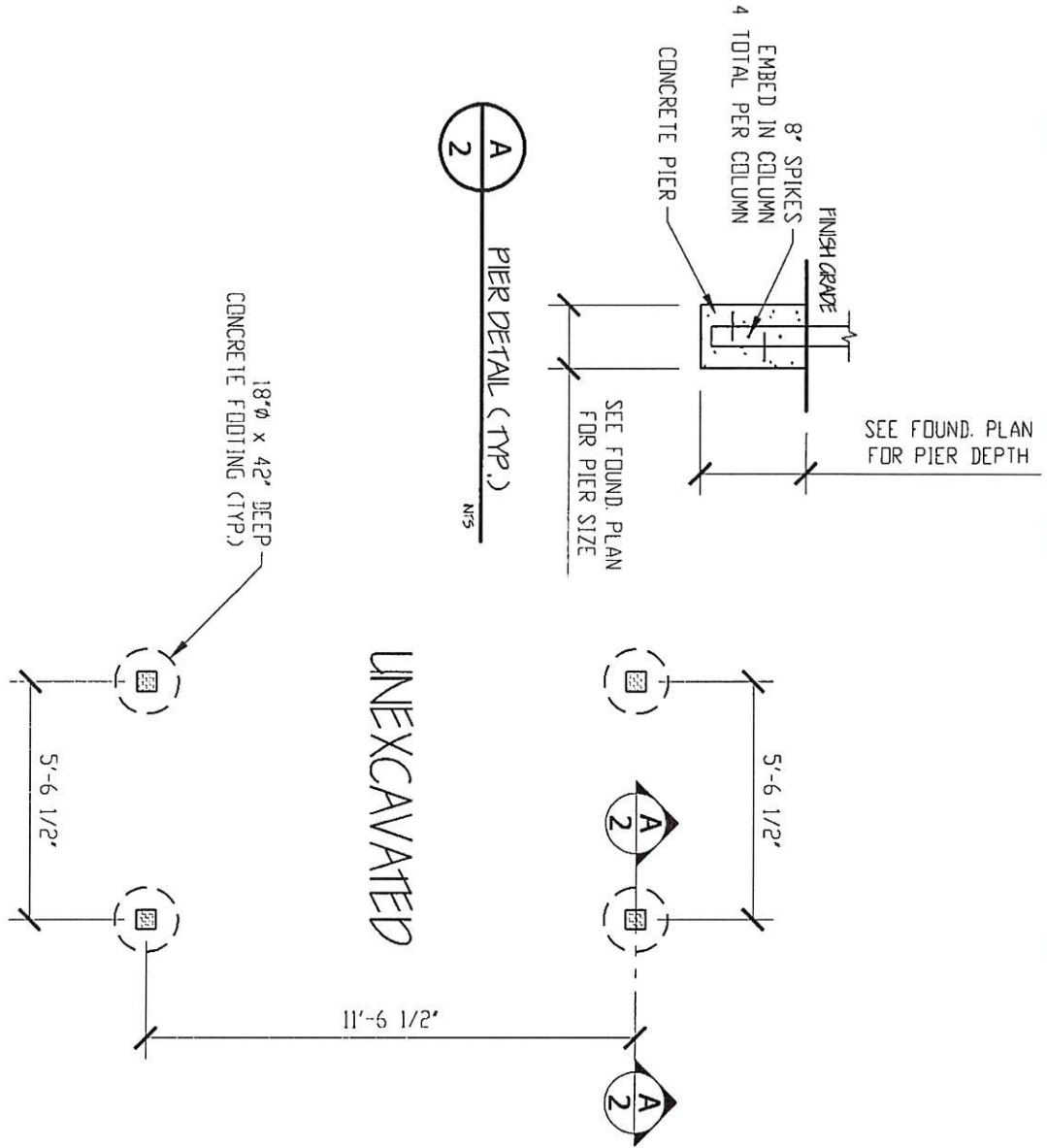


Aspirator - weather strings in cedar
Board & Batten - cedar
Tone

<p>SCALE: 1/4" = 1'</p>	<p>COMMENTS</p> <p>ALL WORK IS TO BE CONSIDERED WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.</p>	<p>T & C DESIGN</p> <p>1170 SOUTH 2000 WEST OGDEN, UT 84404</p>	<p>PINE VIEW WATER PUMP HOUSE</p>
<p>DATE: 09/16/15</p>	<p>DESIGNED BY: T & C DESIGN</p>	<p>SHEETS: 5</p>	<p>DATE: 09/16/15</p>

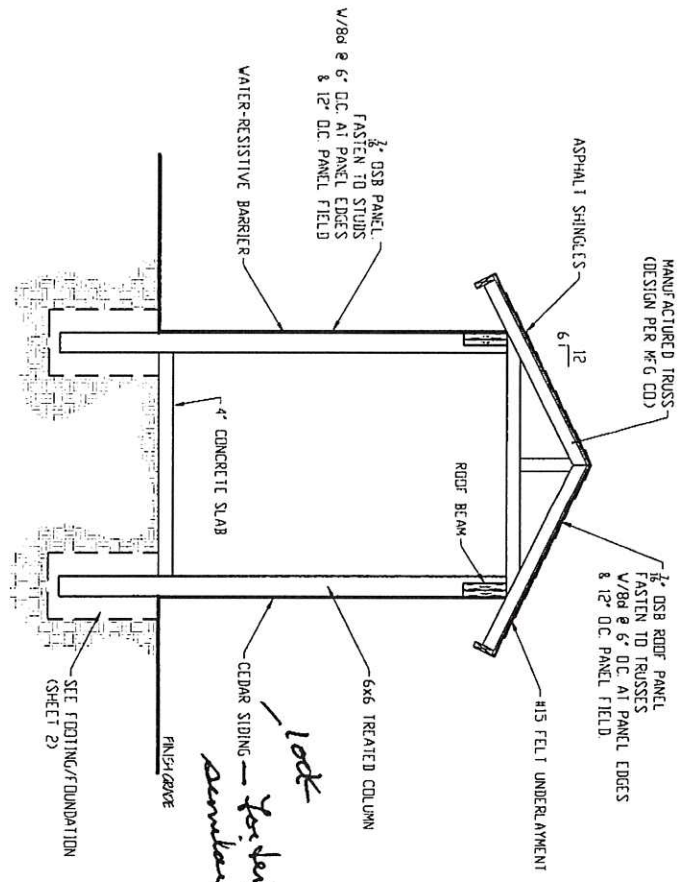
Exhibit C-Building Plans

FOOTING / FOUNDATION PLAN

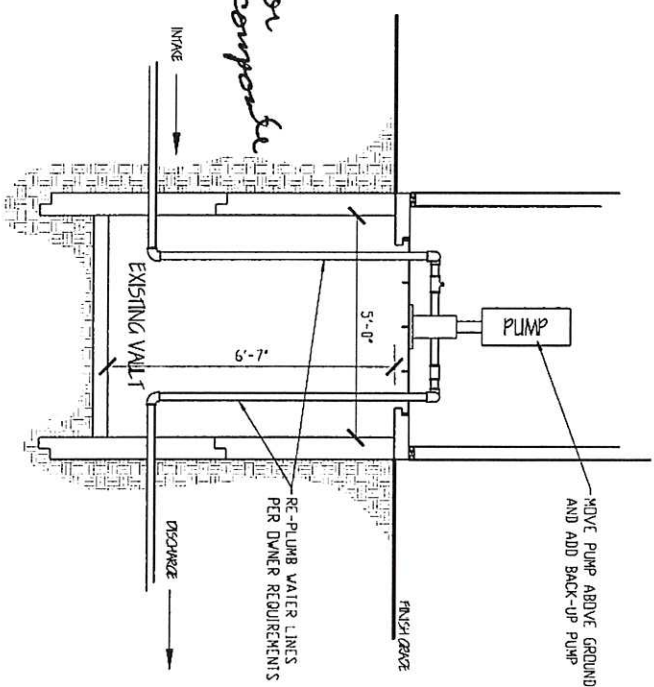


SHEET 2	DATE: 09/16/15	DRAWN BY: RBM/KEN/DP/HR (801)-762-7055	PINE VIEW WATER PUMP HOUSE	T & C DESIGN 1170 SOUTH 2000 WEST OGDEN, UT 84404	COMMENTS ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.	SCALE: 1/4"=1'-0"
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TYPICAL WALL SECTION





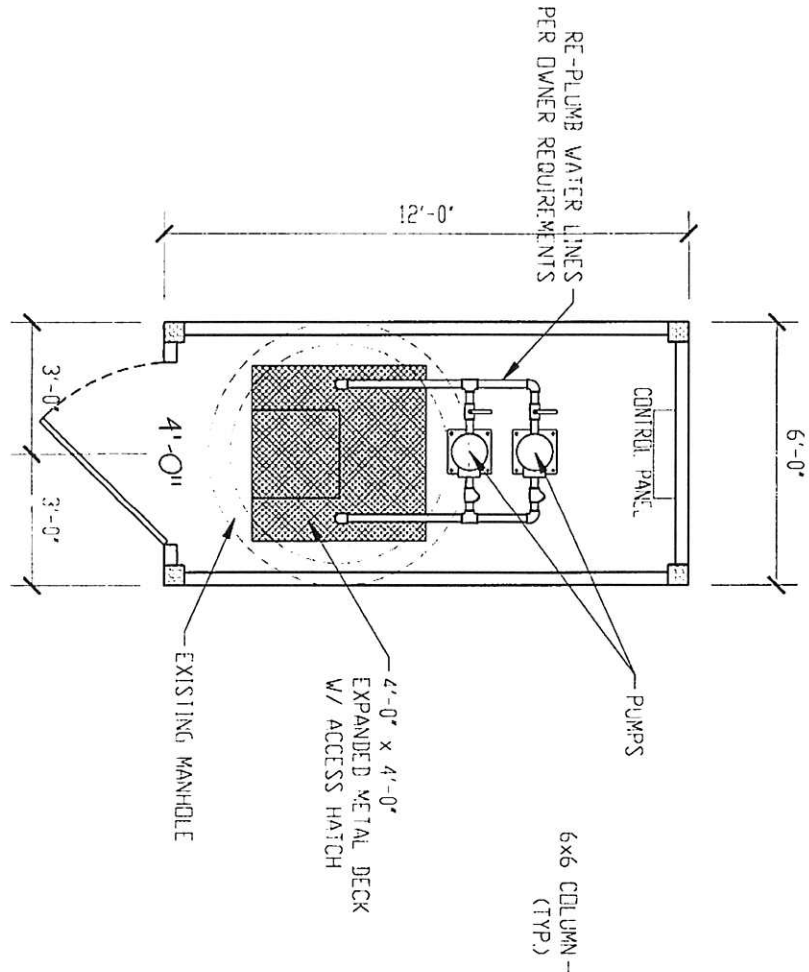
Vault Cross SECTION



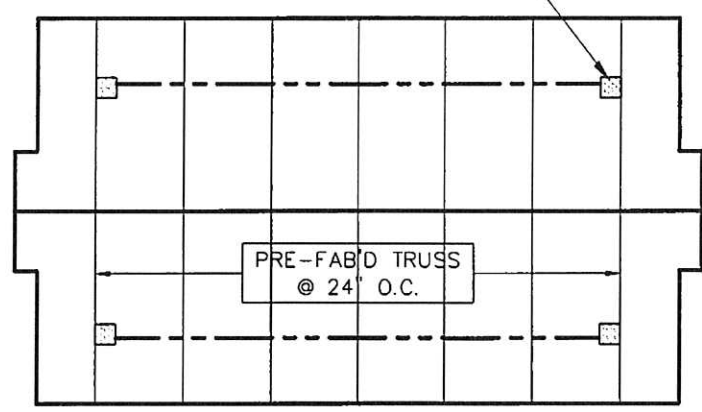
<p>DRAWN BY REVISOR DATE 09/16/15 SHEET 4</p>	<p>PINE VIEW WATER PUMP HOUSE</p>	<p>T & C DESIGN 1170 SOUTH 2000 WEST OGDEN, UT 84404</p>	<p>COMMENTS ALL WORK TO BE CONFORMANT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.</p>	<p>SCALE: 1/4" = 1'</p>
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Exhibit C-Building Plans

WALL SCHEDULE:	
	2x4 FRAMED WALL
	6x6 COLUMN



MAIN FLOOR PLAN
72 SQ FT



ROOF FRAMING PLAN

DRAWN: TIAK WENDELZWE (BAJ-10-07-05)	PINE VIEW WATER PUMP HOUSE	T & C DESIGN 1170 SOUTH 2000 WEST OGDEN, UT 84404	COMMENTS ALL WORK IS TO BE CONFORMANT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO SETTING CONSTRUCTION.	SCALE: 1/4" = 1'-0"
DATE: 09/16/16				
SHEETS: 5 OF 5				

Exhibit C-Building Plans

SmartSide | Model # 27874 |
 Internet # 100055901 |
 Store SKU # 509095
**48 in. x 96 in. Composite
 Panel Siding (Actual: 0.315
 in. x 48.56 in. x 95.87 in.)**



al: 0.315 in. x 48.56 in. x 95.87 in.)



ED STORE

ck
y 001

anel has a tan, wood-
rtified.

- Our proprietary SmartGuard process ensures excellent resistance to termites and fungal decay

Click Image to Zoom

- Thickness is uniform and it takes nails and other fasteners well
- Our 5/50 limited warranty is among the best in the industry
- On center spacing: 8 in.
- Note: Product may vary by store
- Note: Product may vary by store.

SPECIFICATIONS

DIMENSIONS

Product Depth (in.)	0.315	Product Width (in.)	48
Product Height (in.)	96	Thickness (In.)	.375
Product Length (in.)	96		