

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2018 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2018 IRC, 2018 WSEC AND 2018 IEC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. GARAGE AREAS, PORCHES, DECKS & FIREPLACE ENCLOSURES ARE NOT INCLUDED IN LIVING AREA SQ. FT. THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL CAULKING AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION. SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

PROJECT INFORMATION:

PROJECT NAME:

SHIELDS RESIDENCE

PROJECT ADDRESS:

2233 E 5950 N
LIBERTY, UTAH

PROJECT NUMBER:

2507-23

SQ. FT. TOTALS

LIVING AREAS

1ST FLOOR - 2061 Sq Ft
2ND FLOOR - 1005 Sq Ft
BONUS ROOM-MIL - 353 Sq Ft
MIL QUARTERS - 640 Sq Ft

TOTAL LIVING - 4059 Sq Ft

NON-LIVING AREAS

FRONT PORCH - 930 Sq Ft
GARAGE - 1956 Sq Ft
PORCH, SIDE COVERED - 128 Sq Ft

TOTAL NON-LIVING - 3014 Sq Ft

TOTALS

TOTAL LIVING / NON - 7073 Sq Ft

DRAWING / REVISION DATE:

10/2/2025

DESIGNER:

JAMES STREET HOMES
801-784-7644 OFFICE
509-412-2527 CELL
www.JSHHOMEDESIGN.com
OGDEN, UTAH



SHIELDS RESIDENCE

JAMES
STREET
HOMES

BARNWERX

COVER SHEET

SHIELDS RESIDENCE:
2233 E 5950 N
LIBERTY, UTAH

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2061 Sq Ft
2ND FLOOR -	1005 Sq Ft
BONUS ROOM-MIL -	353 Sq Ft
MIL QUARTERS -	640 Sq Ft
TOTAL LIVING -	4059 Sq Ft
NON-LIVING AREAS	
FRONT PORCH -	930 Sq Ft
GARAGE -	1956 Sq Ft
PORCH, SIDE COVERED -	128 Sq Ft
TOTAL NON-LIVING -	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON -	7073 Sq Ft

DATE:	10/2/2025
PLAN NUMBER :	2507-23
SHEET	

1



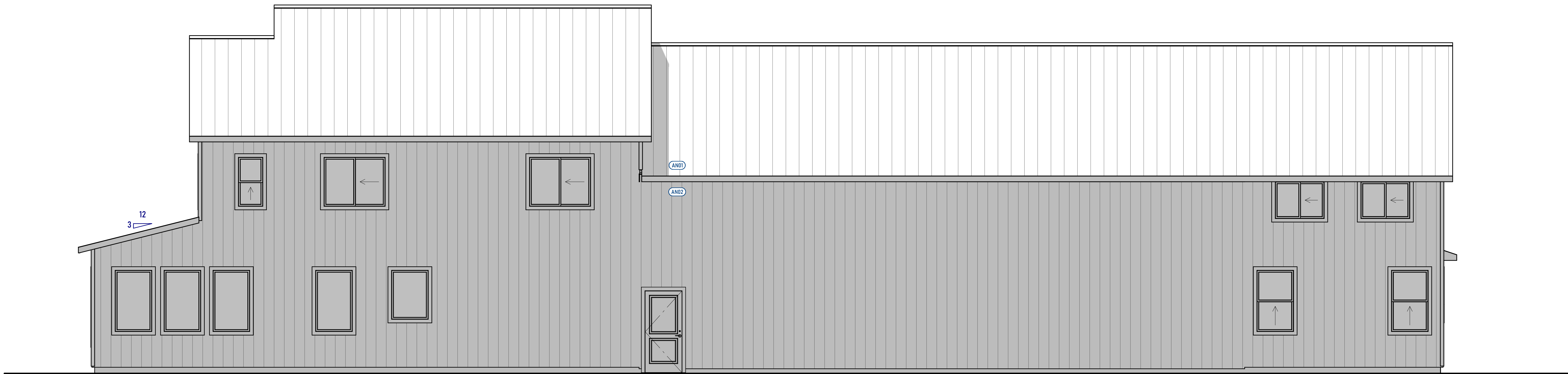
JAMES STREET
HOMES

YOUR DREAM HOME BEGINS HERE
NOTE THIS PLAN IS THE PROPERTY OF JAMES STREET HOMES
DO NOT COPY WITHOUT WRITTEN PERMISSION



FRONT ELEVATION
SCALE - 1/4" = 1'-0"

ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



BACK ELEVATION
SCALE - 1/4" = 1'-0"

DISCLAIMER:
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ANY PART OF THE USA. REFER TO LOCAL BUILDING
REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING
LOCALLY FOR BUILDING PERMITS.

Elevations are
approximate,
based on information
provided.
Field verify based on site
conditions.

JAMES
STREET
HOMES

BARNWERX

ELEVATIONS

SHIELDS RESIDENCE:
2233 E 5950 N
LIBERTY, UTAH

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2091 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING	4059 Sq Ft
NON LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1950 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3008 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7067 Sq Ft

DATE: 10/2/2025
PLAN NUMBER: 2507-23
SHEET

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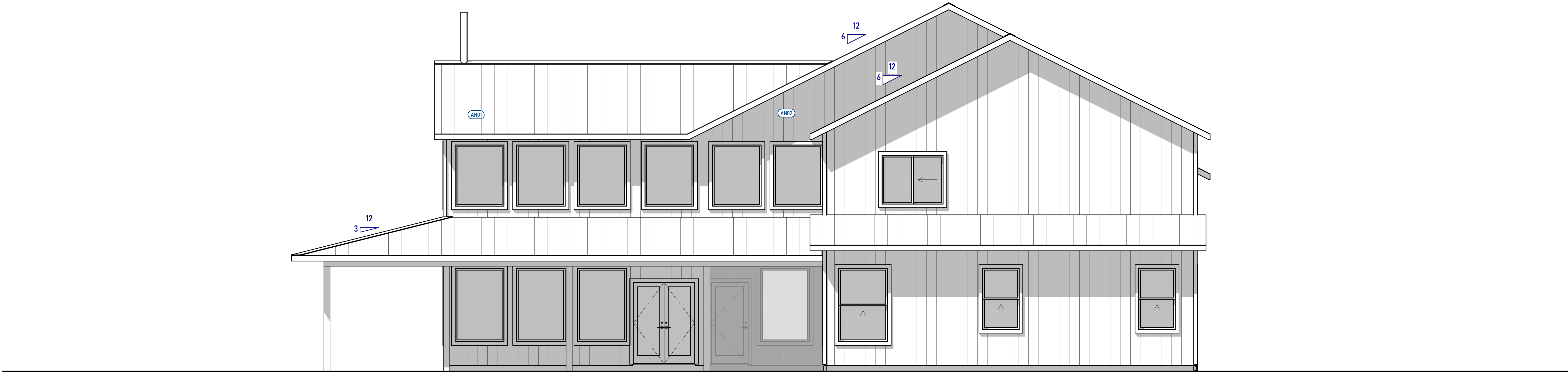


JAMES STREET
HOMES
YOUR DREAM HOME BEGINS HERE

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LEFT ELEVATION
SCALE - 1/4" = 1'-0"



RIGHT ELEVATION
SCALE - 1/4" = 1'-0"

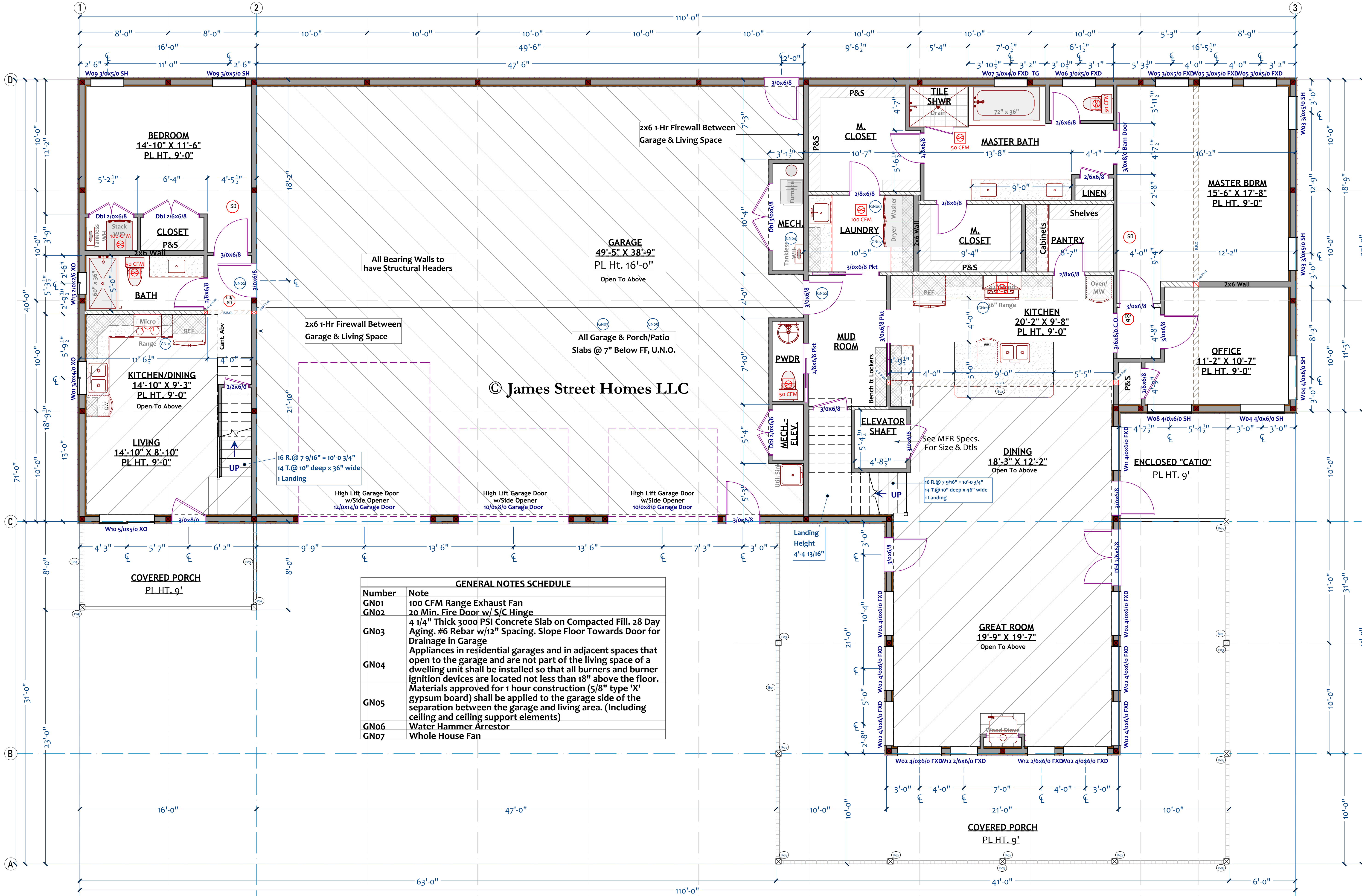
ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding

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based on information
provided.
Field verify based on site
conditions.



SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2091 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING	4059 Sq Ft
NON-LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1950 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3004 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7063 Sq Ft



MAIN LEVEL FLOOR PLAN
SCALE - 1/4" = 1'-0"

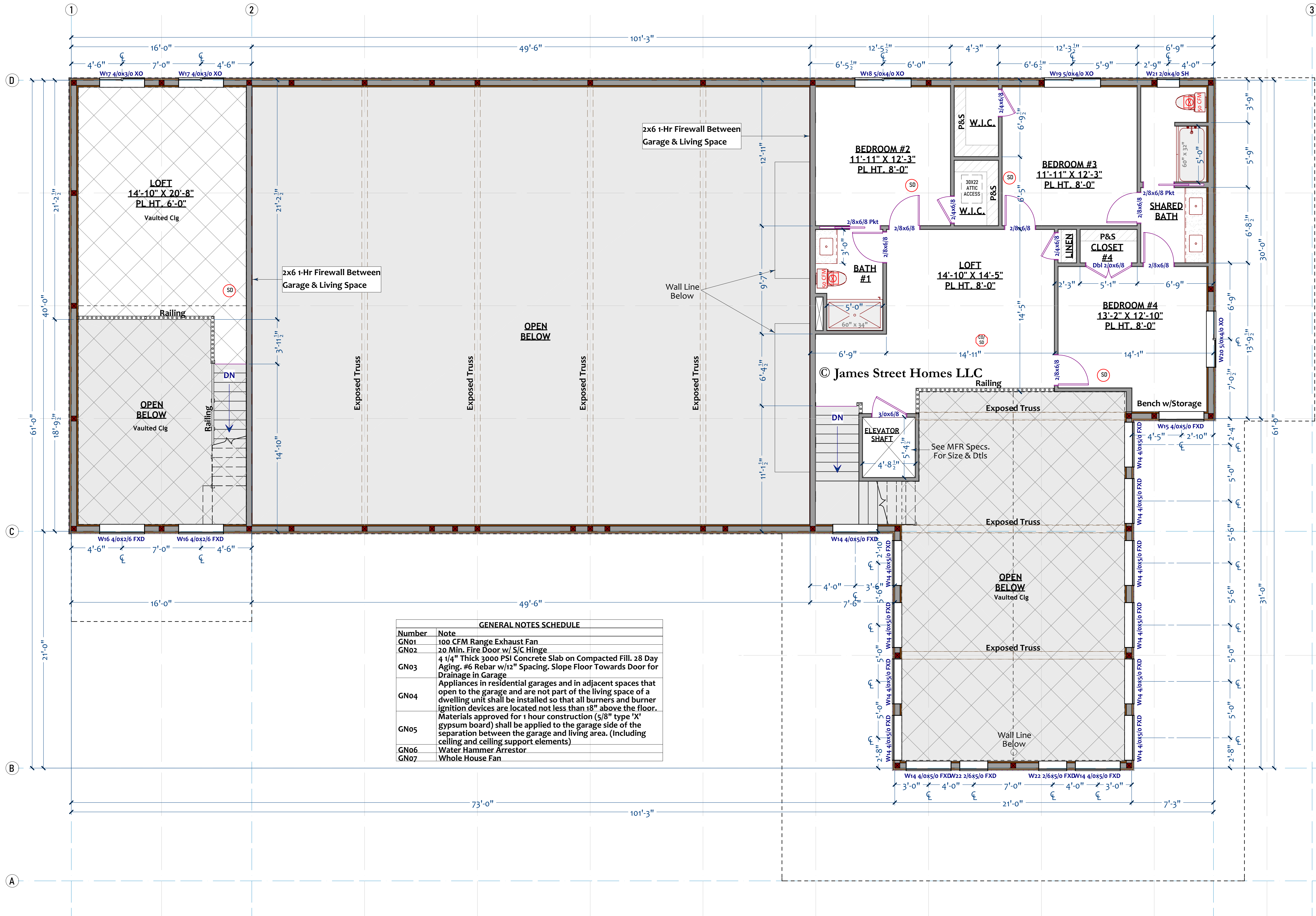
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- RAISED CEILING AREA
PRIMARY RAISED
PLATE HEIGHT
- RAISED CEILING AREA
SECONDARY RAISED
PLATE HEIGHT
- VAULTED CEILING AREA



SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2061 Sq Ft
2ND FLOOR -	1095 Sq Ft
BONUS ROOM-MIL -	333 Sq Ft
MIL QUARTERS -	640 Sq Ft
TOTAL LIVING -	4099 Sq Ft
NON LIVING AREAS	
FRONT PORCH -	930 Sq Ft
GARAGE -	1956 Sq Ft
PORCH, SIDE COVERED -	128 Sq Ft
TOTAL NON-LIVING -	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON -	7913 Sq Ft

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2061 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING	4039 Sq Ft
NON LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1950 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3008 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7037 Sq Ft



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- RAISED CEILING AREA
- PRIMARY RAISED PLATE HEIGHT
- RAISED CEILING AREA
- SECONDARY RAISED PLATE HEIGHT
- VAULTED CEILING AREA

Garage Door Schedule							
Number	Floor	Room Name	Qty	Label	Type	EX/IN	Fire
D01	1	Garage	2	10/0x8/0	Garage	EX	
D02	1	Garage	1	12/0x14/0	Garage	EX	

Exterior Door Schedule								
Number	Floor	Room Name	Qty	Label	Door Unit	Hinge	EX/IN	Fire
D01	1	Mud Room/Garage	1	3/0x6/8		Hidden (3)	EX	Yes
D02	1	Garage	2	3/0x6/8		Hidden (3)	EX	
D03	1	Hall/Garage	1	3/0x6/8		Hidden (3)	EX	Yes
D04	1	Living/Covered Porch	1	3/0x8/0		Hidden (3)	EX	
D05	1	Dining/Enclosed "Catio"	1	3/0x6/8		Hidden (3)	EX	
D06	1	Great Room/Covered Porch	1	Dbl 2/6x6/8		Hidden (6)	EX	
D07	1	Great Room/Covered Porch	1	3/0x6/8		Hidden (3)	EX	

Interior Door Schedule								
Number	Floor	Room Name	Qty	Label	Type	Hinge	EX/IN	Fire
D01	1	Master Toilet/Master Bath	1	2/6x6/8	Hinged	L	IN	
D02	1	Master Bath/M. Closet	1	2/8x6/8	Hinged	R	IN	
D03	1	Hall/Kitchen	1	3/6x8/o C.O.	Doorway		IN	
D04	1	Master Bath/Linen	1	2/6x6/8	Hinged	R	IN	
D05	1	Master Bdrm/Master Bath	1	3/0x8/o Barn Door	Barn	R	IN	
D06	1	Hall/Office	1	3/0x6/8	Hinged	L	IN	
D07	1	Master Bdrm/Hall	1	3/0x6/8	Hinged	L	IN	
D08	1	M. Closet/Master Bath	1	2/8x6/8	Hinged	R	IN	
D09	1	Mud Room/Under Stairs	1	3/0x6/8	Hinged	L	IN	
D10	1	Mud Room/Pwdr	1	2/8x6/8 Pkt	Pocket	L	EX	
D11	1	Mud Room/Kitchen	1	3/0x6/8 Pkt	Pocket	L	IN	
D12	1	Mech./Garage	1	Dbl 3/0x6/8	Double Hinged	L/R	IN	
D13	1	M. Closet/Laundry	1	2/8x6/8	Hinged	L	IN	
D14	1	Dining/Elevator Shaft	1	3/0x6/8	Hinged	R	IN	
D15	1	Bath/Hall	1	2/8x6/8	Hinged	L	IN	
D16	1	Bedroom/Hall	1	3/0x6/8	Hinged	R	IN	
D17	1	Closet/Bedroom	1	Dbl 2/0x6/8	Double Hinged	L/R	IN	
D18	1	Pantry/Kitchen	1	2/8x6/8	Hinged	R	IN	
D19	1	Living/Kitchen/Dining	1	2/2x6/o	Hinged	R	IN	
D20	1	Closet/Bedroom	1	Dbl 2/6x6/8	Double Hinged	L/R	IN	
D21	1	Closet/Office	1	2/8x6/8	Hinged	R	IN	
D22	1	Mech.-Elev./Garage	1	Dbl 2/0x6/8	Double Hinged	L/R	IN	
D23	1	Laundry/Mud Room	1	3/0x6/8 Pkt	Pocket	L	IN	
D24	2	Bath #1/Bedroom #2	1	2/8x6/8 Pkt	Pocket	L	IN	
D25	2	Shared Bath/Bedroom #3	1	2/8x6/8	Hinged	L	IN	
D26	2	Loft/Bedroom #2	1	2/8x6/8	Hinged	R	IN	
D27	2	Bedroom #3/W.I.C.	1	2/4x6/8	Hinged	L	IN	
D28	2	W.I.C./Bedroom #2	1	2/4x6/8	Hinged	L	IN	
D29	2	Loft/Bedroom #3	1	2/8x6/8	Hinged	L	IN	
D30	2	Bath #1/Loft	1	2/8x6/8	Hinged	R	IN	
D31	2	Bedroom #4/Loft	1	2/8x6/8	Hinged	R	IN	
D32	2	Bedroom #4/Closet #4	1	Dbl 2/0x6/8	Double Hinged	L/R	IN	
D33	2	Bedroom #4/Shared Bath	1	2/8x6/8	Hinged	L	IN	
D34	2	Shared Bath/Shared Bath	1	2/8x6/8 Pkt	Pocket	L	IN	
D35	2	Linen/Loft	1	2/4x6/8	Hinged	R	IN	
D36	2	Loft/Elevator Shaft	1	3/0x6/8	Hinged	R	IN	

DOOR SCHEDULE

Window Schedule												
Number	Floor	Room Name	Label	SideLight/Transom	Qty	Type	Egress	Temp.	Sq Ft	Top	Bottom	Slab To Bottom
W01	1	Kitchen/Dining	W01 3/0x4/0 XO		1	Right Sliding	Yes		12	94"	46"	
W02	1	Great Room/Covered Porch	W02 4/0x6/0 FXD		8	Fixed Glass			24	94"	22"	
W03	1	Master Bdrm	W03 3/0x5/0 SH		2	Single Hung	Yes		15	94"	34"	
W04	1	Office	W04 4/0x6/0 SH		2	Single Hung	Yes		24	94"	22"	
W05	1	Master Bdrm	W05 3/0x5/0 FXD		3	Fixed Glass			15	94"	34"	
W06	1	Master Toilet	W06 3/0x5/0 FXD		1	Fixed Glass			15	94"	34"	
W07	1	Master Bath	W07 3/0x4/0 FXD TG		1	Fixed Glass		Yes	12	94"	46"	
W08	1	Office/Enclosed "Catio"	W08 4/0x6/0 SH		1	Single Hung	Yes		24	94"	22"	
W09	1	Bedroom	W09 3/0x5/0 SH		2	Single Hung	Yes		15	94"	34"	
W10	1	Living/Covered Porch	W10 5/0x5/0 XO		1	Right Sliding	Yes		25	94"	34"	
W11	1	Dining/Enclosed "Catio"	W11 4/0x6/0 FXD		1	Fixed Glass			24	94"	22"	
W12	1	Great Room/Covered Porch	W12 2/6x6/0 FXD		2	Fixed Glass			15	94"	22"	
W13	1	Bath	W13 2/0x2/6 XO		1	Right Sliding			5	94"	64"	
W14	2	Open Below	W14 4/0x5/0 FXD		13	Fixed Glass			20	94"	34"	
W15	2	Bedroom #4	W15 4/0x5/0 FXD		1	Fixed Glass			20	94"	34"	
W16	2	Open Below	W16 4/0x2/6 FXD		2	Fixed Glass			10	60"	30"	
W17	2	Loft	W17 4/0x3/0 XO		2	Right Sliding			12	60"	24"	
W18	2	Bedroom #2	W18 5/0x4/0 XO		1	Right Sliding	Yes		20	84"	36"	
W19	2	Bedroom #3	W19 5/0x4/0 XO		1	Right Sliding	Yes		20	84"	36"	
W20	2	Bedroom #4	W20 5/0x4/0 XO		1	Right Sliding	Yes		20	84"	36"	
W21	2	Shared Bath	W21 2/0x4/0 SH		1	Single Hung	Yes		8	84"	36"	
W22	2	Open Below	W22 2/6x5/0 FXD		2	Fixed Glass			12.5	94"	34"	
Totals:									909			

WINDOW SCHEDULE



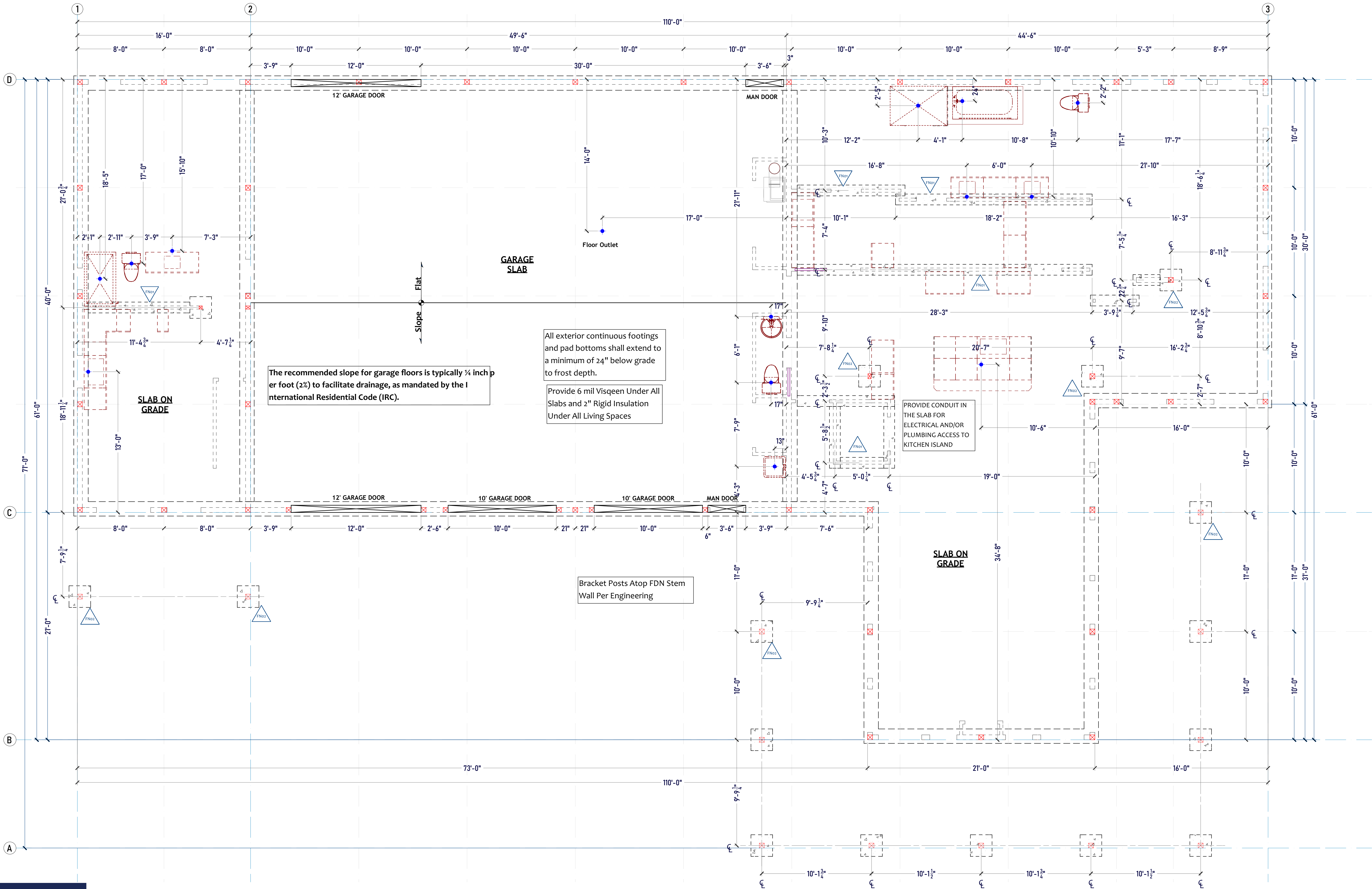
BARNWERX

SHIELDS RESIDENCE:
2233 E 5950 N
LIBERTY, UTAH

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2061 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING	4059 Sq Ft
NON-LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1950 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3044 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7903 Sq Ft

DATE:	10/2/2025
PLAN NUMBER :	2507-23
SHEET	

STEM WALL & FOOTING SCHEDULE	
Number	Note
FN01	Typ. 12" x 6" Conc. Strip Footing
FN02	24" SQ x 8" D Conc. Footing Pad, Typ.



All exterior continuous footings and pad bottoms shall extend to a minimum of 24" below grade to frost depth.

Provide 6 mil Visqueen Under All Slabs and 2" Rigid Insulation Under All Living Spaces

PROVIDE CONDUIT IN THE SLAB FOR ELECTRICAL AND/OR PLUMBING ACCESS TO KITCHEN ISLAND

Bracket Posts Atop FDN Stem Wall Per Engineering

The recommended slope for garage floors is typically 1/4 inch per foot (2%) to facilitate drainage, as mandated by the International Residential Code (IRC).

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Plumbing Drop
LEGEND

BARNWERX

Foundation Plan

SHIELDS RESIDENCE:
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LIBERTY, UTAH

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2061 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING	4039 Sq Ft
NON LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1956 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON LIVING	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON	7053 Sq Ft

DATE: 10/2/2025
PLAN NUMBER: 2507-23
SHEET

8

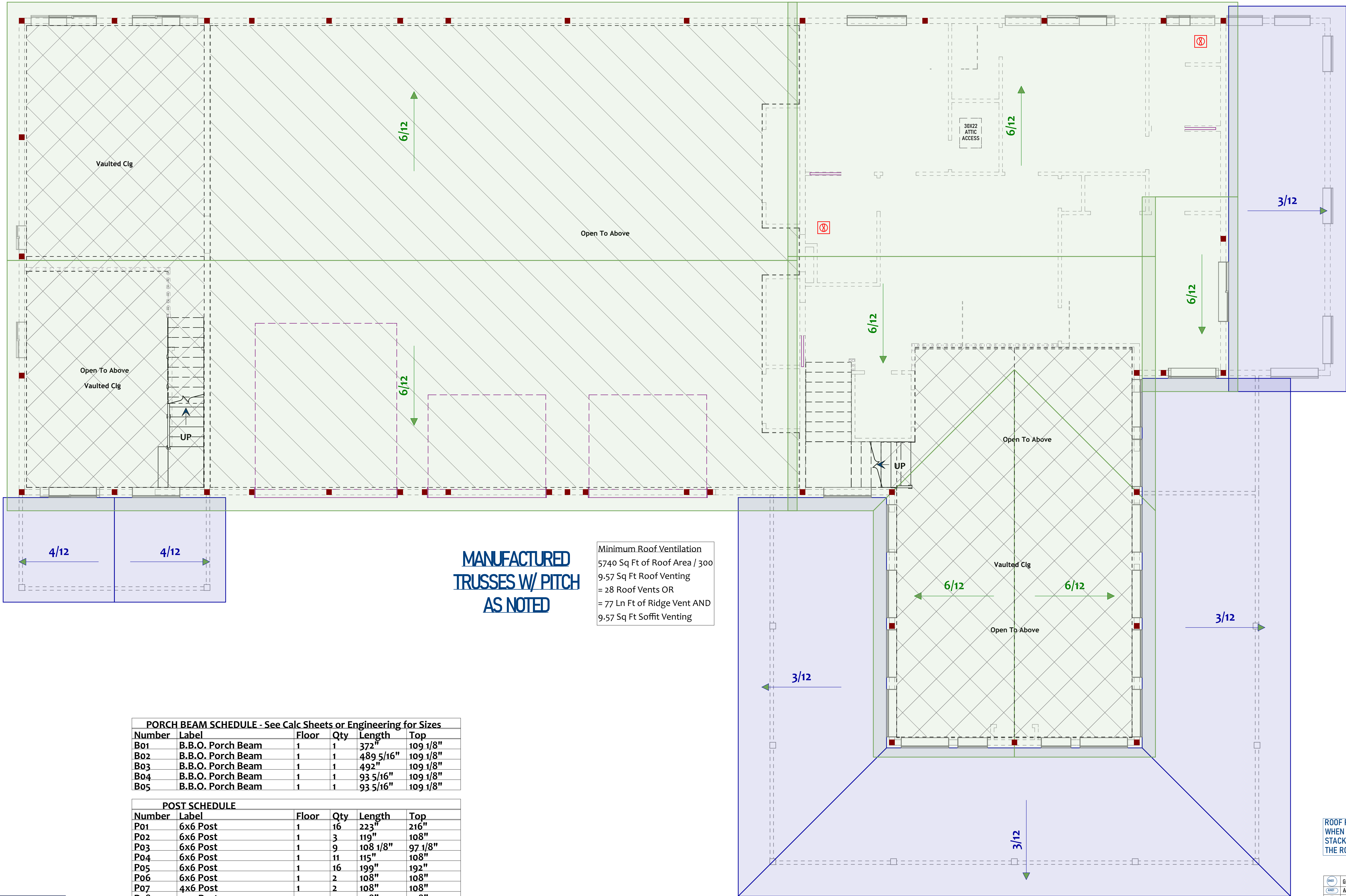
JAMES STREET HOMES
YOUR DREAM HOME BEGINS HERE



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JAMES
STREET
HOMES

PROPOSED FOUNDATION PLAN
SCALE - 1/4" = 1'-0"



PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes					
Number	Label	Floor	Qty	Length	Top
B01	B.B.O. Porch Beam	1	1	372"	109 1/8"
B02	B.B.O. Porch Beam	1	1	489 5/16"	109 1/8"
B03	B.B.O. Porch Beam	1	1	492"	109 1/8"
B04	B.B.O. Porch Beam	1	1	93 5/16"	109 1/8"
B05	B.B.O. Porch Beam	1	1	93 5/16"	109 1/8"

POST SCHEDULE					
Number	Label	Floor	Qty	Length	Top
P01	6x6 Post	1	16	223"	216"
P02	6x6 Post	1	3	119"	108"
P03	6x6 Post	1	9	108 1/8"	97 1/8"
P04	6x6 Post	1	11	115"	108"
P05	6x6 Post	1	16	199"	192"
P06	6x6 Post	1	2	108"	108"
P07	4x6 Post	1	2	108"	108"
P08	4x4 Post	1	1	108"	108"

Minimum Roof Ventilation
5740 Sq Ft of Roof Area / 300
9.57 Sq Ft Roof Venting
= 28 Roof Vents OR
= 77 Ln Ft of Ridge Vent AND
9.57 Sq Ft Soffit Venting

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ROOF FAN VENT LOCATION:
WHEN POSSIBLE, ALL FAN DUCTS & PLUMBING
STACKS SHALL TERMINATE ON THE BACK SIDE OF
THE ROOF.

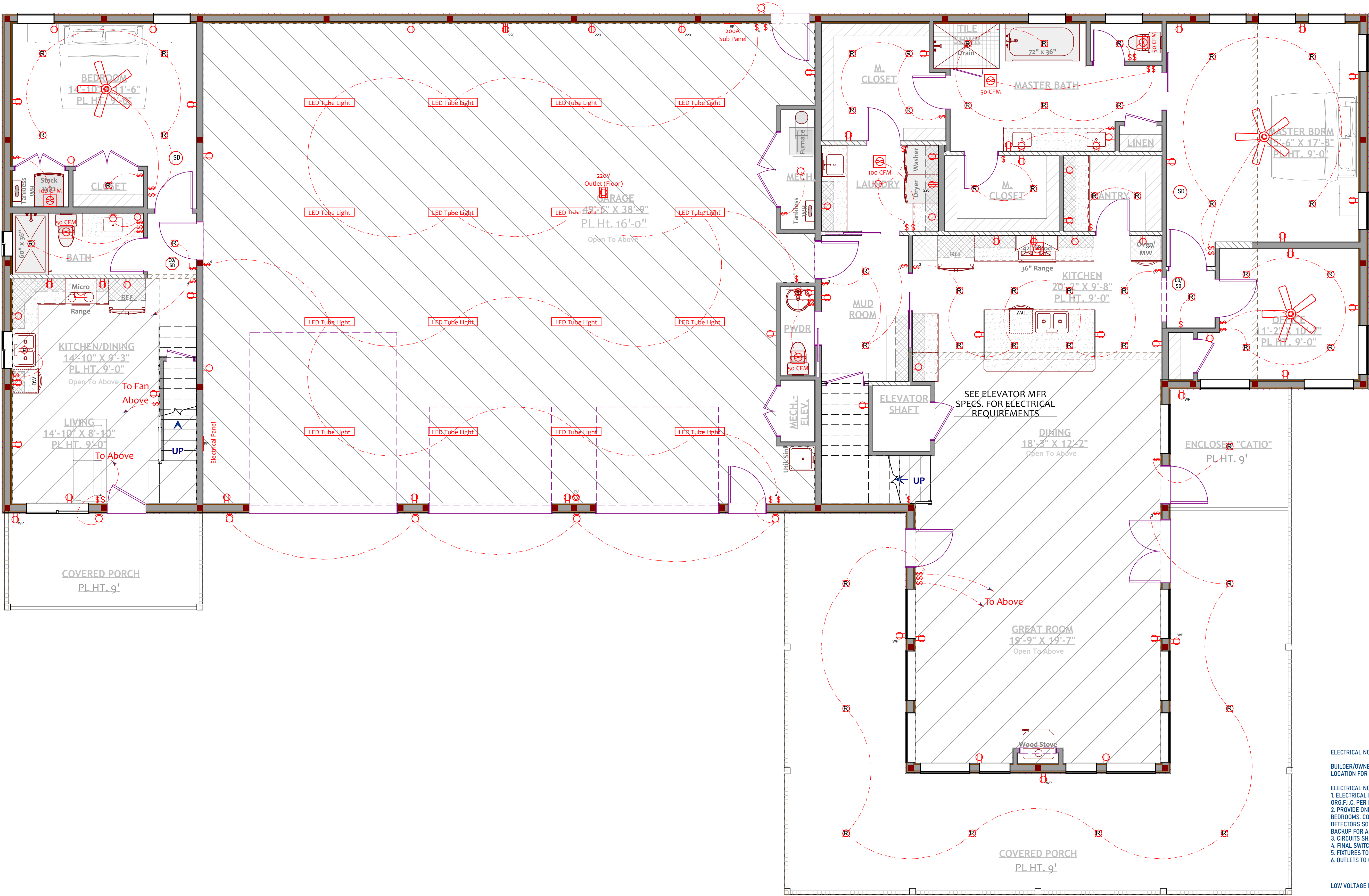
GENERAL NOTES	RAISED CEILING AREA PRIMARY RAISED PLATE HEIGHT
ARCH. NOTES	RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT
FRAMING NOTES	VAULTED CEILING AREA
ROOF NOTES	
PLUMBING NOTES	
FOOTING & STEM. WALL NOTES	

BEAM BY OTHERS (B.B.O.)
SEE BEAM CALC SHEET

ROOF PLAN
SCALE - 1/4" = 1'-0"



SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2066 Sq Ft
2ND FLOOR	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
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NON LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1956 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7073 Sq Ft



MAIN FLOOR PROPOSED ELECTRICAL PLAN
SCALE - 1/4" = 1'-0"

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	Ceiling Fan
	Chandelier Light Fixture
	Hanging Light Fixture
	Sconce Light Fixture
	Bar Light Fixture
	Tube Light Fixture
	Smoke Detector, CO, Smoke/CO
	Electrical Panel, Low Volt Panel
	Thermostat, Alarm Control Unit
	Intercom, Doorbell
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mount, Wall Mount
	Security Cameras
	Ventilation Fans
	Recessed Light Fixtures
	Flush Mount Light Fixture, Pendant
	Semi-Flush Light Fixture, Flood Light
	Wall Mounted Light Fixture, Emergency Light & Exit
	110V Outlets: Duplex, W. Proof, GFCI, AFCI, Switch
	110V Outlets: 50A, 30A, Floor Outlet, Freezer
	110V Outlets: USB, WiFi, Switched
	220V Receptacle, Junction Box
	Switches: Single Pole, 3-Way, 4-Way, Weather Proof
	Switches: Dimmer, Timer, Occupancy Sensor, Outlet
	Wall Jacks: TV, Telephone, CAT5, CAT5-TV, CAT6
	Electrical Connection Line, Low Volt Connection

ELECTRICAL LEGEND

ELECTRICAL NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE 6 F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
5. FIXTURES TO BE SELECTED BY OWNER/BUILDER.
6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO: (IF INCLUDED)
1. LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR
2. AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY BUILDER/OWNER
4. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/LOW VOLTAGE PANEL; SYSTEM TO BE APPROVED BY BUILDER/OWNER

	GENERAL NOTES		RAISED CEILING AREA PRIMARY RAISED PLATE HEIGHT
	ARCH. NOTES		RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT
	FRAMING NOTES		VAULTED CEILING AREA
	ROOF NOTES		
	PLUMBING NOTES		
	FOOTING & STEM WALL NOTES		

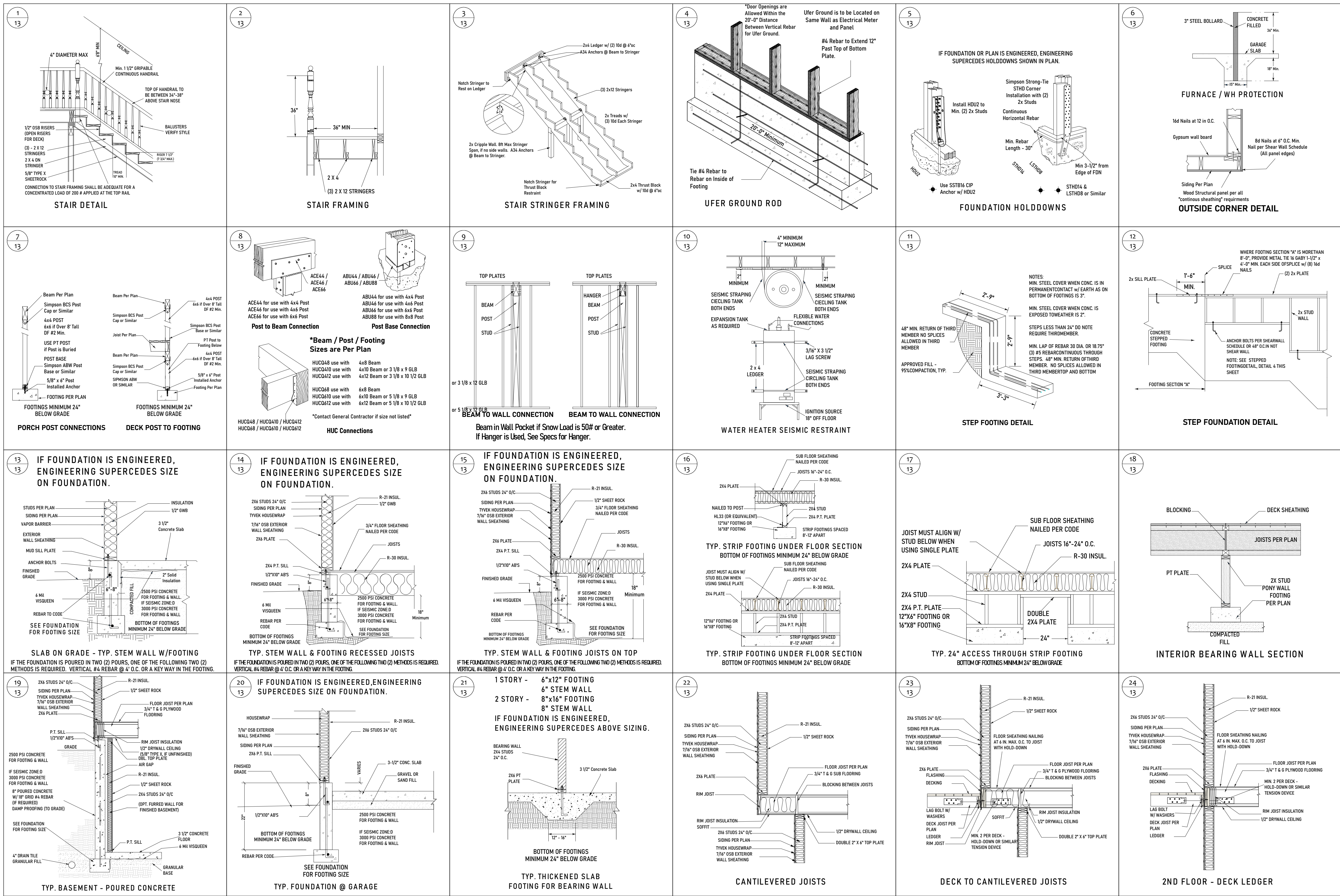


SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2096 Sq Ft
2ND FLOOR -	1005 Sq Ft
BONUS ROOM-MIL -	333 Sq Ft
MIL QUARTERS -	640 Sq Ft
TOTAL LIVING -	4099 Sq Ft
NON LIVING AREAS	
FRONT PORCH -	930 Sq Ft
GARAGE -	1956 Sq Ft
PORCH, SIDE COVERED -	128 Sq Ft
TOTAL NON-LIVING -	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON -	7913 Sq Ft

JAMES
STREET
HOMES

TYPICAL DETAILS

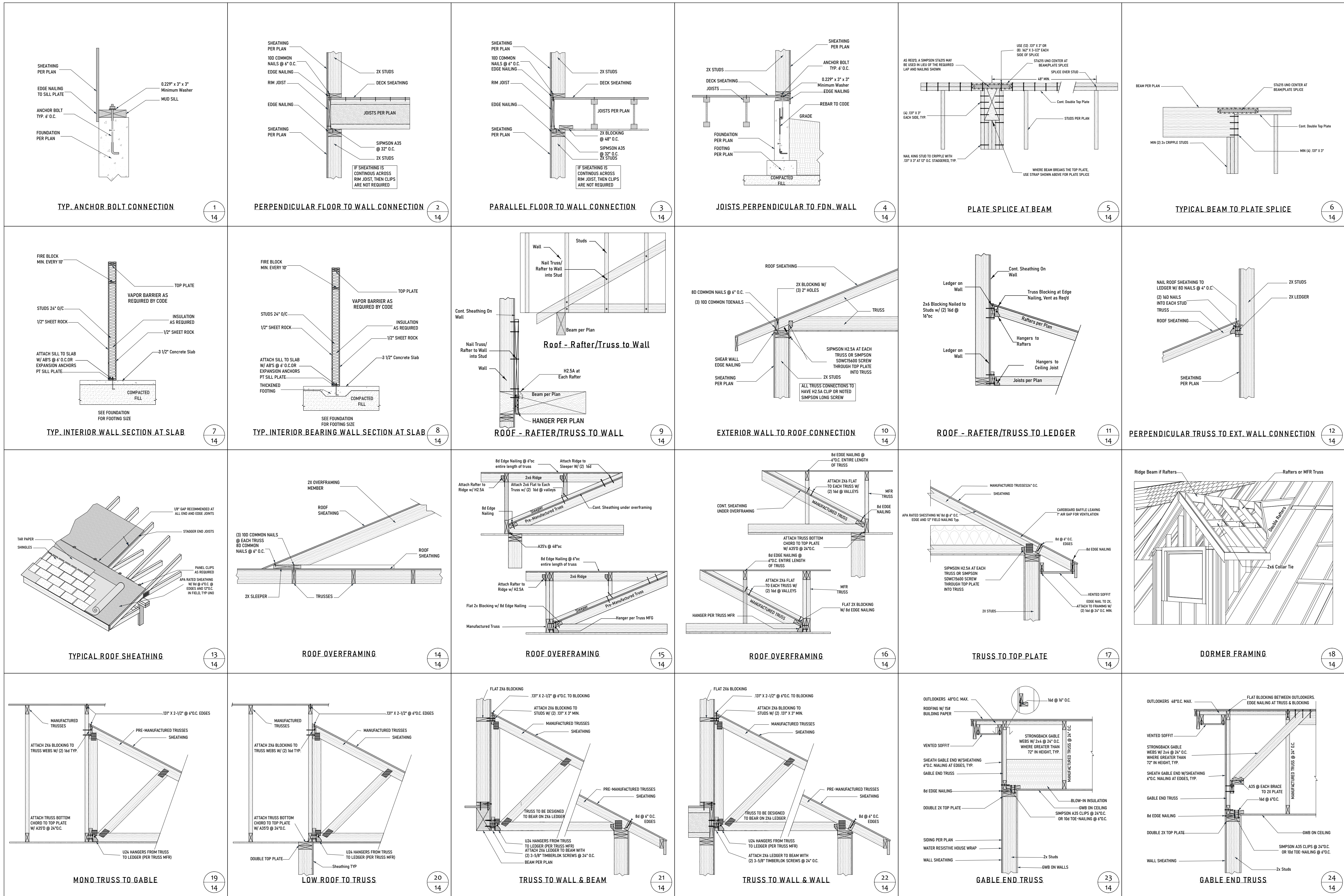
ALL DETAILS/NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES, DETAILS AND DRAWINGS SUPERCEDE THESE. DETAILS REFLECT THE MINIMUM VALUES OF THE 2021 IRC. DETAILS ARE NOT TO SCALE. DETAILS ARE DRAWN TO CODE MINIMUM. ENERGY CREDIT OPTIONS CHOSEN BY THE BUILDER/HOMEOWNER THAT REQUIRE GREATER R VALUES SHALL SUPERCEDE MINIMUM VALUES NOTED IN THE DETAILS.



SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2061 Sq Ft
2ND FLOOR	1095 Sq Ft
BONUS ROOM-MIL. MIL. QUARTERS	333 Sq Ft
TOTAL LIVING	4059 Sq Ft
NON LIVING AREAS	
FRONT PORCH	930 Sq Ft
GARAGE	1956 Sq Ft
PORCH, SIDE COVERED	128 Sq Ft
TOTAL NON-LIVING	3014 Sq Ft
TOTALS	
TOTAL LIVING / NON-	7073 Sq Ft

TYPICAL FRAMING DETAILS

ALL DETAILS/NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES, DETAILS AND DRAWINGS SUPERCEDE THESE. DETAILS REFLECT THE MINIMUM VALUES OF THE 2021 IRC. DETAILS ARE NOT TO SCALE. DETAILS ARE DRAWN TO CODE MINIMUM. ENERGY CREDIT OPTIONS CHOSEN BY THE BUILDER/HOMEOWNER THAT REQUIRE GREATER R VALUES SHALL SUPERCEDE MINIMUM VALUES NOTED IN THE DETAILS.



SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2096 Sq Ft
2ND FLOOR -	1005 Sq Ft
BONUS ROOM-MIL.	333 Sq Ft
MIL. QUARTERS	640 Sq Ft
TOTAL LIVING -	4099 Sq Ft
NON LIVING AREAS	
FRONT PORCH -	930 Sq Ft
GARAGE -	1950 Sq Ft
PORCH, SIDE COVERED -	128 Sq Ft
TOTAL NON-LIVING -	3044 Sq Ft
TOTALS	
TOTAL LIVING / NON -	7973 Sq Ft

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IRC, 2021 WSEC AND 2018 IEC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. GARAGE AREAS, PORCHES, DECKS & FIREPLACE ENCLOSURES ARE NOT INCLUDED IN LIVING AREA SQ FT. THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL CAULKING AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION. SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

FLOOR PLANS NOTES:

IMPORTANT: ACTUAL DESIGN AND LAYOUT INCLUDING COLORS, TEXTURES AND UPGRADES MAY DIFFER FROM MLS LISTINGS AND CONTRACTUAL DOLLAR AMOUNT ON THE SELECTION SHEETS. ALL SELECTION SHEET ALLOWANCES ARE TO SUPERCEDEWHAT IS REPRESENTED ON THE APPROVED PLANS. DIMENSIONS: EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE OF WALL. STUD TO OUTSIDE OF WALL. STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED. INTERIOR WALLS: ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED. PLUMBING WALLS: ALL PLUMBING WALLS TO BE 2x6 @ 16" O.C. AND ARE NOTED ON PLAN. ANGLED WALLS: ALL ANGLED WALLS ARE AT A 45 DEG INCREMENT UNLESS OTHERWISE NOTES. FRAMING: FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED. EMERGENCY EGRESS: AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ FT W/ THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. WALKWAYS: THERE IS A MIN. CLEAR WIDTH AT ALL HALLWAYS, STAIRS, TO KITCHEN ISLANDS, ETC... CEILING HEIGHTS: FIRST FLOOR TO HAVE 9' PLATE HEIGHT. SECOND FLOOR TO HAVE 8' PLATE HEIGHT. BASEMENT TO HAVE 8' PLATE HEIGHT. UNLESS OTHERWISE NOTED. HEADER HEIGHTS: WINDOW HEADERS TO BE PLACED AT 93 3/8" UNLESS OTHERWISE NOTED. ATTIC ACCESS: ATTIC ACCESS NOTED ON PLAN. EXTERIOR STEPS: NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROXIMATE AND WILL VARY PER LOT. UPGRADES: CONSULT WITH CONTRACTOR/HOMEOWNER FOR ADDITIONAL UPGRADES SUCH AS APPLIANCES, PLUMBING FIXTURES, FLOORING, ETC... SELECTION ITEMS: SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. THIS INCLUDES APPLIANCES, CABINET LOCATIONS AND BUILT-INS ON PLAN MAY NOT BE INCLUDED. ELEVATIONS: ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROXIMATE GRADE, EXTERIOR STEPS, COLORS AND MATERIALS MAY VARY.

3D RENDERINGS ARE NOT TO SCALE; ALL 3D RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN 3D RENDERINGS. 3D RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION. FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER / CONTRACTOR PRIOR TO APPLICATION.

NAILING NOTES:

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOE NAIL EA. END (2)-8d
SOLE PLATE TO JOIST OR BLKG	FACE NAIL 16d @ 16" OC
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24" OC
DOUBLE TOP PLATES	FACE NAIL 16d @ 16" OC
CONTINUOUS HEADER, TWO PIECES	16d @ 16" OC ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER	16d @ 16" OC ALONG EA. EDGE
TOP PLATES, LAPs AND INTERSECTIONS	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAPs OVER PARTITIONS	FACE NAIL (3)-10d
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL (3)-10d
RAFTER TO PLATE	TOE NAIL (2)-16d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d @ 24" OC
2" PLANKS	(2)-16d @ EA.BRG.
7/16" OSB ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
7/16" OSB ROOF AND WALL	EDGES 1 1/2" Staple @ 4" OC
3/4" PLYWOOD/OSB SUBFLOOR	INTERMEDIATE 1 1/2" Staple @ 8" OC
2x MULTIPLE JOISTS - STAGGER @ 15" OC W/(2) @ EA. END OR SPLICE (3) OR FEWER 16d NAILS	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
(4) OR MORE 1/2" DIA M.B. W/ STANDARD NUT AND WASHERS	

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE 2304.9.1 OR IRC TABLE R602.3(i).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(i).

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, BCI OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES: POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2 OR HF-#2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2 OR HF-#2. ALL STUDS TO BE DF-#2 OR HF-#2 OR BETTER. PLYWOOD SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16 OR 7/16" OSB. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 15/32" OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB. "I" JOISTS SHALL BE MANUFACTURED BY TRUS JOIST, BCI OR ENGINEER APPROVED EQUAL. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER. ALL ROOF FRAMING 24" O.C. ATTIC VENTILATION: REQUIRED ABOVE HOUSE. 1 SQ FT PER 300 SQ FT OF CEILING UPLIFT LOAD REACTION THAT ARE IN EXCESS OF 175 LBS. MUST HAVE A MECHANICAL CONNECTOR CAPABLE OF RESISTING THE UPLIFT LOADS OF EACH TRUSS IN ACCORDANCE WITH THE 2021 IRC. MIN. SNOW LOAD 25 Lbs PER SQUARE FOOT.

FRAMING NOTES:

TYPICAL EXTERIOR WALL TO BE 2x6 SINGLE WALL OR DOUBLE WALL CONSTRUCTION. TYPICAL INTERIOR WALL TO BE 2x4 WALL CONSTRUCTION. SEE JOIST LAYOUT FOR JOIST TYPE AND SPACING. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS. PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS WHERE APPLICABLE. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED. LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE #2 or Better. 2. SILLS, PLATES BLOCKING, AND BRIDGING TO BE #2 or Better. 3. ALL STUDS TO BE #2 OR BETTER. 4. PLYWOOD/OSB SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. WALL SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G OSB FOR JOISTS 16", 19.2" OR 24" O.C. & 1 1/8" FOR JOISTS 32" O.C.. 5. I-JOISTS SHALL BE MANUFACTURED BY I-JOIST MANUFACTURER OR ENGINEER APPROVED EQUAL.

GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL HAVE ONE ZONE, UNLESS OTHERWISE NOTED. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F. WATER SOFTENER UNIT, IF INCLUDED, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED TO CODE.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 10". RISERS SHALL HAVE A MAX. RISE OF 7 3/4". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8". STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/ 8" TYPE "X" GYPSUM WALL BOARD. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL. STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL. 36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

WINDOW AND DOOR NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. 24" MINIMUM ELEVATION OF WINDOW OPENING ABOVE SECOND LEVEL FINISHED FLOOR.

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN LIVING AND NON-LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A FIRE RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS.

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. 2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. 3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TO STREET. 4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL. 5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED. CONCRETE NOTES: ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. PROPOSED CONSTRUCTION AREAS SHOULD BE CLEARED & GRUBBED OF ALL ORGANIC TOPSOIL & VEGETATION 1. CONCRETE DIMENSIONS ARE TYPICALLY TO FACE OF WALL 2. ALL CONCRETE SLABS IN CONDITIONED SPACE SHALL BE MINIMUM 4" THICK PLACED OVER 6 MIL POLY VAPOR BARRIER OVER A MINIMUM 4" BED OF COMPACTED GRAVEL/SAND. 3. PROVIDE ANCHOR BOLTS SIZES AS INDICATED (MIN. 1/2" DIA) ON THESE DRAWINGS, AT TOP OF CONCRETE FOUNDATION WALLS AT A MINIMUM OF 1'-0" FROM CORNERS AND MAXIMUM 6'-0" O.C. FOR BALANCE OF PERIMETER WALLS. TWO PER PLATE MINIMUM. 4. ALL CONCRETE FOOTING WALLS SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR ENGINEERED FILL, AT LEAST 2' BELOW GRADE WITH PRESUMPTIVE BEARING CAPACITY OF 1,500 PSF. 5. SEE FOUNDATION FOR FOOTING SIZES. TYPICAL FOOTING FOR A 1 STORY SHALL BE 12" WIDE BY 6" HIGH. FOUNDATION WALL FOR A 1 STORY SHALL BE 16" WIDE BY 8" HIGH. FOUNDATION WALL FOR A 2 STORY SHALL BE 8" WIDE. (SEE IRC TABLE R403.1(i)) 6. NOTES ON THE PLAN OR ENGINEERING SHALL SUPERSEDE THESE NOTES OR DETAILS. 7. REBAR IN FOOTING, WALL AND SLAB SHALL BE TO LOCAL CODE. IF THE FOUNDATION IS POURED IN TWO (2) POURS, ONE OF THE TWO (2) FOLLOWING METHODS IS REQUIRED. VERTICAL #4 REBAR @ 4' O.C. OR A KEY WAY IN THE FOOTING. 8. FOOTINGS SHALL BE STEPPED, IF REQUIRED, NO GREATER THAN 1-FOOT VERTICAL TO 2-FEET HORIZONTAL 9. ALL EXTERIOR CONTINUOUS FOOTINGS AND PAD BOTTOMS SHALL EXTEND TO A MINIMUM OF 24" BELOW GRADE TO FROST DEPTH. 10. CONCRETE FOUNDATION WALLS THAT EXCEED 9'-0" IN HEIGHT MUST BE REINFORCED WITH STEEL DESIGNED BY A LICENSED STRUCTURAL ENGINEER. 11. JOISTS MAY SIT IN RECESSED BEAM POCKETS OR ON TOP OF FOUNDATION. 12. SLOPE GARAGE SLAB 1/8" PER FOOT TOWARDS GARAGE DOOR. 13. ALL CONCRETE SHALL HAVE THE MINIMUM 28 DAY STRENGTH: GARAGE SLAB 3000 PSI - BASEMENT SLAB 3000 PSI EXTERIOR SLAB 3000 PSI - FOUNDATION SLAB 3000 PSI FOOTINGS 2500 PSI - FOUNDATION WALL 2500 PSI

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL OR FLEXIBLE DUCTS, PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS. LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE SHALL BE PERMITTED TO HAVE NO VENTS.

KITCHEN AND CABINET NOTES:

CONFIRM STAIN COLOR & WOOD SPECIES WITH HOME OWNER PRIOR TO ORDERING. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING. INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER. VERIFY APPLIANCE SPECIFICATIONS & OPERINGS. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS. USE MIN 6" DUCT FOR HOOD. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING

EXTERIOR FINISH NOTES:

EXTERIOR FINISH TO BE STUCCO, FIBER CEMENT OR LP SIDING AND/OR SHAKE OVER 7/16 OSB. COLOR BY OWNER. ROOFING TO BE 30 YEAR 130 MPH RATED ARCH ASPHALT OVER 15# FELT, 7/16 OSB. COLOR BY OWNER. DECKING TO BE COMPOSITE OR WOOD. FINAL MATERIAL AND COLOR BY OWNER. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY. ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM OPENING WIDTH OF 20 IN. THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. U.N.O. ON PLANS. ATTIC - PER PLAN WALLS - PER PLAN FLOORS - PER PLAN

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE I.R.C.

ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES: 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS. 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS. 3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION. 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER. 5. FIXTURES TO BE SELECTED BY OWNER/BUILDER. 6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO: (IF INCLUDED)

1. LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL, SPECIFIED BY FLOOR 2. AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER 3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY BUILDER/OWNER 4. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/LOW VOLTAGE PANEL; SYSTEM TO BE APPROVED BY BUILDER/OWNER

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2096 Sq Ft
2ND FLOOR -	1009 Sq Ft
BONUS ROOM-MIL -	333 Sq Ft
MIL QUARTERS -	640 Sq Ft
TOTAL LIVING -	4099 Sq Ft
NON-LIVING AREAS	
FRONT PORCH -	930 Sq Ft
GARAGE -	1956 Sq Ft
PORCH, SIDE COVERED -	438 Sq Ft
TOTAL NON-LIVING -	3324 Sq Ft
TOTALS	
TOTAL LIVING / NON -	7923 Sq Ft

DATE: 10/2/2025

PLAN NUMBER : 2507-23

SHEET

1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES 2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER/ OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 3) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 4) VERIFY ALL BEAM SIZES AND LOCATIONS. 5) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 6) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES.