



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

**Application Request:** File Number CUP 2024-02 - A request for approval of a conditional use permit for the Green Hills Country Estates culinary water treatment plant, a Public Utility Substation.

**Agenda Date:** Tuesday, November 19, 2024

**Applicant:** Brad Rasmussen, Representative

#### Property Information

**Approximate Address:** 922 N Maple Street, Huntsville, UT, 84317

**Project Area:** 3,920 SF

**Zoning:** Forest (F-5)

**Existing Land Use:** Green Hills Well Head

**Proposed Land Use:** Public Utility Substation

**Parcel ID:** 21-079-0003

**Township, Range, Section:** T6N, R2E, Section 9

#### Adjacent Land Use

<b>North:</b>	Residential	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Residential

#### Staff Information

**Report Presenter:** Felix Lleverino  
flleverino@co.weber.ut.us  
801-399-8767

**Report Reviewer:** TA

### Applicable Ordinances

- Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Title 104 Chapter 9 (F-5 Zone)
- Title 108 Chapter 1 (Design Review)
- Title 108 Chapter 4 (Conditional Uses)
- Title 108 Chapter 8 (Parking and Loading Space, Vehicle Traffic and Access Regulation)
- Title 108 Chapter 10 (Public Buildings and Public Utility Substations)

### Summary and Background

The applicant requests approval of a conditional use permit for a Public Utility Substation. The Green Hills Country Estates was issued a Compliance Agreement/Enforcement Order from the Utah Division of Drinking Water to design and build a treatment facility that meets the state requirements and ensures clean, safe drinking water for the Green Hills community. The 2,025 SF facility will be built within a common area lot within the Green Hill Country Estates Cluster Subdivision common area. The 18' 6" tall building is a flat-roofed concrete bunker built into the side of the hill which will minimize the visual impacts.

### Analysis

**General Plan:** As a conditional use, this operation is allowed in the F-5 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.

**Zoning:** The subject property is located within the Forest (F-5) Zone. The purpose of the F-5 Zone can be further described in LUC §104-9-1 as follows:

- The intent of the forest zones is to protect and preserve the natural environment of those areas of the county that are characterized by mountainous, forest or naturalistic land, and to permit development compatible to the preservation of these areas.*

b) *The objectives in establishing the forest zones are:*

1. *To promote the use of the land for forest, fish and wildlife and to facilitate the conservation of the natural resources, vegetation and attractions;*
2. *To reduce the hazards of flood and fire;*
3. *To prevent sanitation and pollution problems and protect the watershed;*
4. *To provide areas for private and public recreation and recreation resorts; and*
5. *To provide areas for homes, summer homes, and summer camp sites.*

A Public Utility Substation is defined by LUC §101-2-22-U as follows:

***"Utility.*** *The term "utility" means utility facilities, lines, and rights of way related to the provision, distribution, collection, transmission, transfer, storage, generation or disposal of culinary water, secondary water, irrigation water, storm water, sanitary sewer, solid waste, oil, gas, power, information, telecommunication, television or telephone cable, electromagnetic waves, and electricity. See also "quasi-public."*

**Conditional Use Review:** A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects.

The following is an analysis of the proposal reviewed against the conditional use standards:

- 1) Standards relating to safety for persons and property.

*The proposal is not anticipated or expected to negatively impact this property, surrounding properties, or persons. The structure housing the water treatment equipment will remain locked at all times and will be inspected and maintained by the Green Hills Cole Water and Sewer District.*

*A Geologic Reconnaissance by GeoStrata is complete for the Green Hill Treatment Facility to identify any potential geologic hazards. Compaction testing will be performed by contractor's geotechnical representative, results will be provided to the engineer prior to installing structure. The suitability of subsurface soils shall be confirmed with owner's geotechnical representative.*

- 2) Standards relating to infrastructure, amenities, and services.

*The proposal is not anticipated or expected to negatively impact any existing infrastructure, amenities, or services in the area.*

- 3) Standards relating to the environment.

*The proposal will not negatively impact the environment.*

- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan.

*The proposal is not anticipated to substantially impact the surrounding area. With the establishment of appropriate conditions as determined by the Planning Commission, this operation is not anticipated to negatively impact the surrounding areas or be at odds with any of the goals and policies of the General Plan.*

- 5) Standards relating to performance

*The Green Hills Water District is responsible for maintenance, inspections, and licencing.*

- 6) Standards generally

*The owner is responsible for keeping the operation free of nuisances such as noise, light, and traffic issues. The planning staff's conditions of approval will serve to mitigate potential issues.*

- 7) Voluntary contributions providing satisfactory compliance with applicable standards

*If the planning commission identifies issues not covered in this report, the applicant can volunteer solutions.*

**Parking and Loading Space, Vehicle Traffic and Access Regulations:** The designated site fronts a private right-of-way called Maple Street. Minimal traffic is associated with the treatment plant. The operator will visit the site periodically and there

will be some chemical deliveries as needed. Service vehicles and trucks will be parked in the compacted gravel surface driveway.

**Design Review:** In addition to the conditional use review, a design review is required for a Public Utility Substation. The following design review standards were considered and an analysis for the project against the design review standards is in the italicized text below each standard.

Sec 108-1-4 Considerations in the review of applications

- (a) Considerations relating to traffic safety and traffic congestion.

*The asphalt private road is well established in this area. The Green Hill Water and Sewer District employees will park on the gravel driveway wide enough for 5 vehicles..*

- (b) Considerations relating to outdoor advertising.

*Business signage will not be used for this proposal.*

- (c) Considerations relating to landscaping.

*The existing established vegetation covering this property is largely natural with a mix of wild grasses and wild shrubs and trees. No further landscaping is required to meet the minimum 20 percent site landscaping.*

- (d) Considerations relating to buildings and site layout.

*The concrete-walled structure face will have a 36 X 84 steel door and a 12' rolling steel service door. The new structure will be built into the hill side and daylighted on the side and rear portion roughly 6'. The front of the building will be at grade.*

*The minimum yard setbacks of 20'; front and rear and 8' on the sides conform to the Cluster Subdivision setbacks found in section 108-3-7.*

- (e) Considerations relating to utility easements, drainage, and other engineering questions.

*The engineering division has reviewed the project and does not have any concerns with drainage or other engineering questions.*

- (f) Considerations relating to prior development concept plan approval associated with any rezoning agreement planned commercial or manufacturing rezoning, or planned residential unit development approval.

*There are no prior development approvals or rezoning development agreements that apply to the subject property.*

## Staff Recommendation

Staff recommends approval of this conditional use permit application subject to the applicant meeting the following conditions of approval in addition to any conditions of the various reviewing agencies or the Ogden Valley Planning Commission.

Planning conditions of approval:

- 1) Public drinking water system requirements are satisfied
- 2) The site, structure, and mechanical equipment shall be kept and maintained for safety and good visual appearance
- 3) Service and delivery vehicle parking is prohibited within the private right-of-way.

This recommendation is based on the following findings:

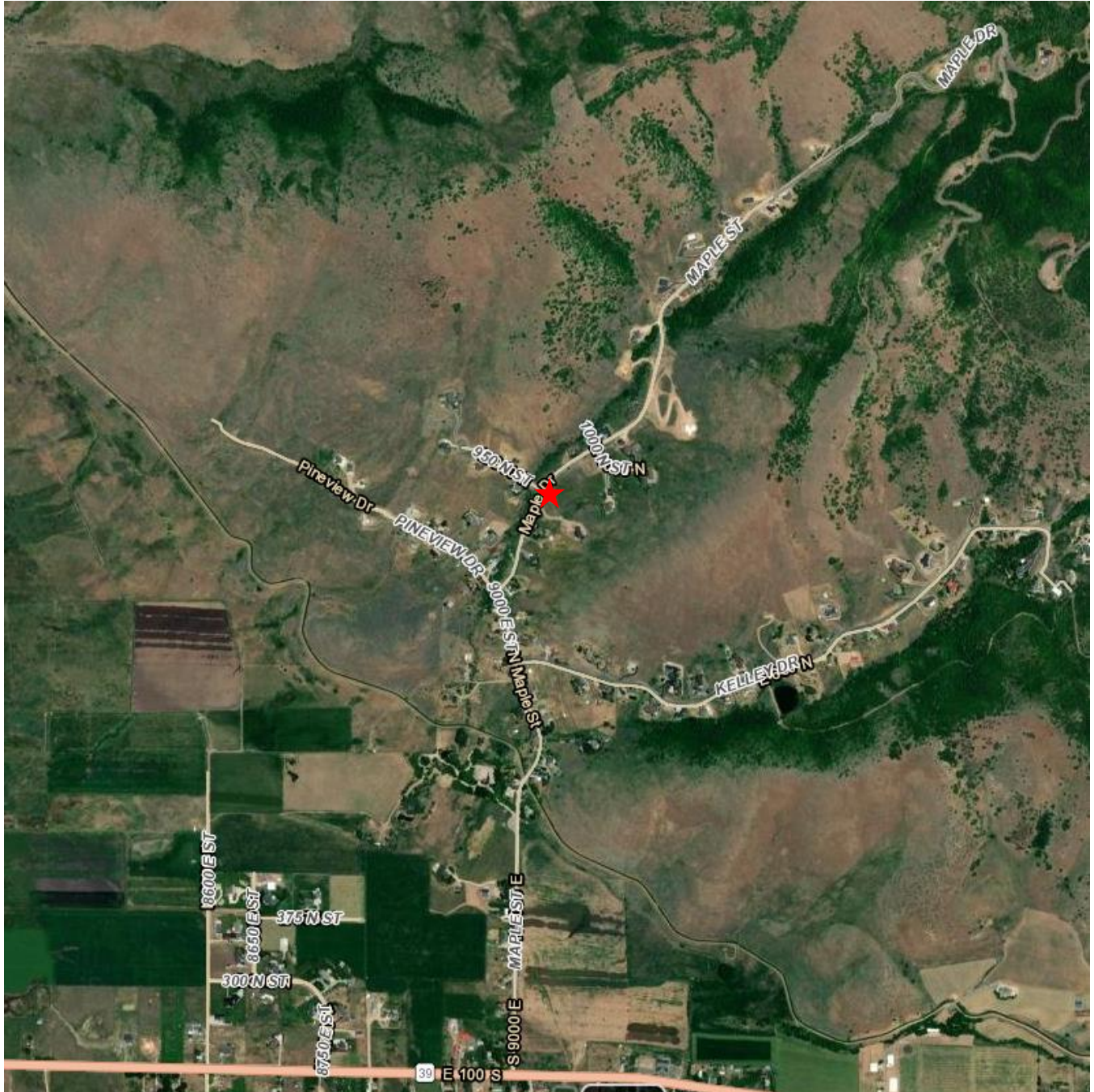
- 1) The proposed use is allowed in the F-5 Zone and meets the appropriate site development standards.
- 2) The criteria for issuance of a conditional use permit have been met because mitigation of potential detrimental effects can be accomplished.



## Exhibits

- A. Site plan
- B. Narrative
- C. Plans Select pages

## Map 1



[illegible]

9222 N MAPLE STREET, HUNTSVILLE, UT, 84317  
MAPLE WELL TREATMENT FACILITY PROJECT

CIVIL  
SITE PLAN

## APPENDIX B

SHEET



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## TECHNICAL MEMORANDUM

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**TO:** Weber County Planning and Engineering  
**FROM:** Brad Rasmussen, P.E.  
**DATE:** October 29, 2024  
**SUBJECT:** Conditional Use Permit for Green Hills Country Estates Water and Sewer Improvement District Water Treatment Plant  
**Location:** 922 N Maple St Ogden, UT 84317 (Common Area L Green Hills County Estates)  
**PROJECT NO.:** 002703.C

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The Green Hills Country Estates Water and Sewer Improvement District (District) was issued a Compliance Agreement / Enforcement Order (CA/EO) from the Utah Division of Drinking Water (Davis, 2023). The district contracted with Adura Engineering to design a water treatment facility that would meet the CA/EO. The new treatment facility was co-located on the existing well site. The Vicinity Map is included in Appendix A. The Vicinity Map includes an aerial photo overlaying the neighborhood so show the natural and manmade features that are within 200 feet of the proposed building.

The water treatment facility design was approved by the Division of Drinking Water and the project was bid as required. The contract was awarded to Industrial Piping and Welding (IPW). Soon after the contract award Aqua Engineering was contracted to manage the construction on the project. IPW submitted paperwork to get a building permit from Weber County and they were notified that a conditional use permit was required. It is important for the community to have clean drinking water and this facility will facilitate that need.

The site plan is included in Appendix B. The parcel of property is owned by the Home Owners Association (HOA) and the rest of the adjacent properties are privately held. The HOA property was the best location for the treatment facility due to the location of the existing well. Appendix C is the site grading plan. There is a swell along the front of the building to provide drainage along the road. The building is a concrete bunker that is being built in the side of the hill which should minimize the visual impacts of the facility. See Appendix D for a rendering of the proposed building.

The treatment system is connected to the sewer system that is managed and maintained by the district. The only water that will be sent to the sewer system is going to be back wash water from the treatment system.

It is anticipated that there will be minimal traffic associated with the treatment plant. The operator will visit the site on a regular basis similar to what was previously done with the well. There will be some chemical deliveries to the facility on a as needed basis.

Architectural design of the building is a simple bunker that is constructed into the side of the hill. The front of the building with door access is the largest area outside of the hillside. The sides will need to have some louvers for ventilation.

Landscaping will be minimized to allow the site to stay as natural as possible. There currently is no plan for including any vegetation that will require additional irrigation sources. The front of the building will be accessed with a gravel parking area in front of the building.



## **Appendix A Vicinity Map**







— EXISTING WELL

10.00' UTILITY  
EASEMENT (TYP)

A horizontal scale bar with a black background and white markings. The markings are at 0, 30, and 60. Below the bar is the text "Scale in Feet".

# CIVIL VICINITY MAP



## **Appendix B Site Plan**



## **Appendix C Site Grading Plan**

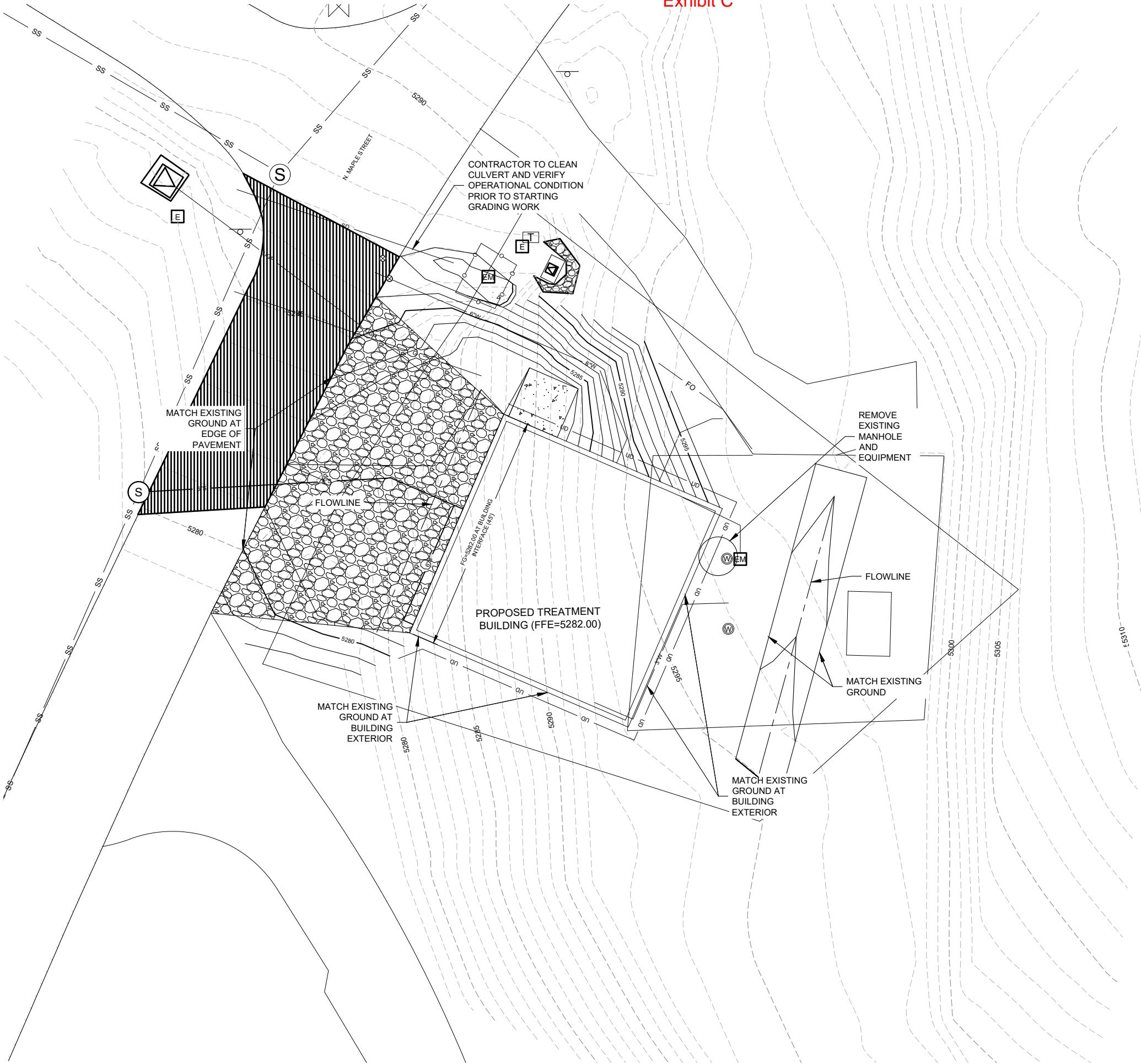




## **Appendix D Treatment Facility Rendering**



Exhibit C



LEGEND

EXISTING EDGE OF PAVEMENT	
EXISTING GAS LINE	G
EXISTING UNDERGROUND POWER	UGP
EXISTING TELEPHONE LINE	T
EXISTING FIBER OPTICS LINE	FO
EXISTING SANITARY SEWER LINE	SS
EXISTING WATER LINE	W
EXISTING CONTOUR	2582
EXISTING SIGN	
EXISTING ELECTRICAL METER	
EXISTING TELEPHONE JUNCT. BOX	
EXISTING WELL	
EXISTING CONCRETE	
EXISTING ASPHALT PAVEMENT	
EXISTING GRAVEL	
PROPOSED UNDERGROUND POWER	UGP
PROPOSED FENCE LINE	X X X
PROPOSED 6" WATER LINE	6"W
PROPOSED 4" WATER LINE	4"W
PROPOSED 6" SANITARY SEWER LINE	6"S
PROPOSED PUMP TO WASTE	SD
PROPOSED CONTOUR	2582
PROPOSED ASPHALT REPLACEMENT	
PROPOSED GRAVEL SURFACING	
PROPOSED CONCRETE	
PROPOSED SEWER MANHOLE	S

GENERAL NOTES

- ALL MATERIALS USED FOR SURFACING AND BACKFILL MUST CONFORM TO THE MOST CURRENT VERSION OF UTAH ADOPTED APWA SPECIFICATIONS.
- EXISTING ELEVATIONS SHOWN ARE FROM A RECENT SURVEY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF GRADING CONFLICTS OCCUR, THE CONTRACTOR IS TO NOTIFY THE ENGINEER. FINISHED GRADE CAN BE ADJUSTED WITH REVIEW AND WRITTEN APPROVAL FROM THE ENGINEER.
- GRADE ALL WORK AREAS TO MAINTAIN POSITIVE SURFACE DRAINAGE DURING THE WORK.
- ALL REMOVED MATERIALS (UNSUITABLE SOIL, EXCESS MATERIAL, ROCK MATERIAL, STRUCTURES, PIPE, ETC.) SHALL BE PROPERLY DISPOSED OF OFFSITE AT THE CONTRACTOR'S EXPENSE UNLESS DESIGNATED OTHERWISE ON THESE PLANS OR BY THE OWNER.
- THERE SHALL BE NO EARTH DISTURBING ACTIVITIES OUTSIDE WHAT IS REQUIRED TO COMPLETE THE PROJECT.
- TOP SOIL SHALL BE RE-DISTRIBUTED TO MEET PROPOSED GRADE.
- ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE.
- THE FOLLOWING ABBREVIATIONS ARE USED ON THIS SHEET TO DESIGNATE FINISHED GRADE ELEVATIONS:
  - FG = FINISHED GRADE
  - ME = MATCH EXISTING SITE ELEVATION
  - FL = FLOWLINE ELEVATION (DENOTE START, END, & GRADE CHANGE ON FLOWLINE)
- CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN EXCAVATING NEAR THE EXISTING WATER LINE AND WELL. ANY DAMAGE CAUSED DIRECTLY OR INDIRECTLY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RECTIFY TO ORIGINAL OR BETTER CONDITION. TEMPORARY SHORING MAY BE REQUIRED TO ENSURE SLOPE STABILITY.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED PRIOR TO THE START OF CONSTRUCTION. ALL DISTURBED GROUND OUTSIDE OF BUILDING AND PAVEMENT AREAS SHALL BE RE-VEGETATED BY THE REPLACEMENT OF TOPSOIL AND SPREAD OF A USDA APPROVED NATIVE SEED MIX. REFER TO USDA NRCS PUBLICATION NO. EB0242 FOR RE-VEGETATION GUIDELINES.

GREEN HILL COUNTRY ESTATES

922 N MAPLE STREET, HUNTSMVILLE, UT, 84317  
MAPLE WELL TREATMENT FACILITY PROJECT

CIVIL  
SITE PLAN



DRAWING NO.

APPENDIX C

SHEET




P:\220583-M223443\_ACADDWG\SHEETS\GENERAL\G0.0 COVER SHEET.DWG, 6/17/2024

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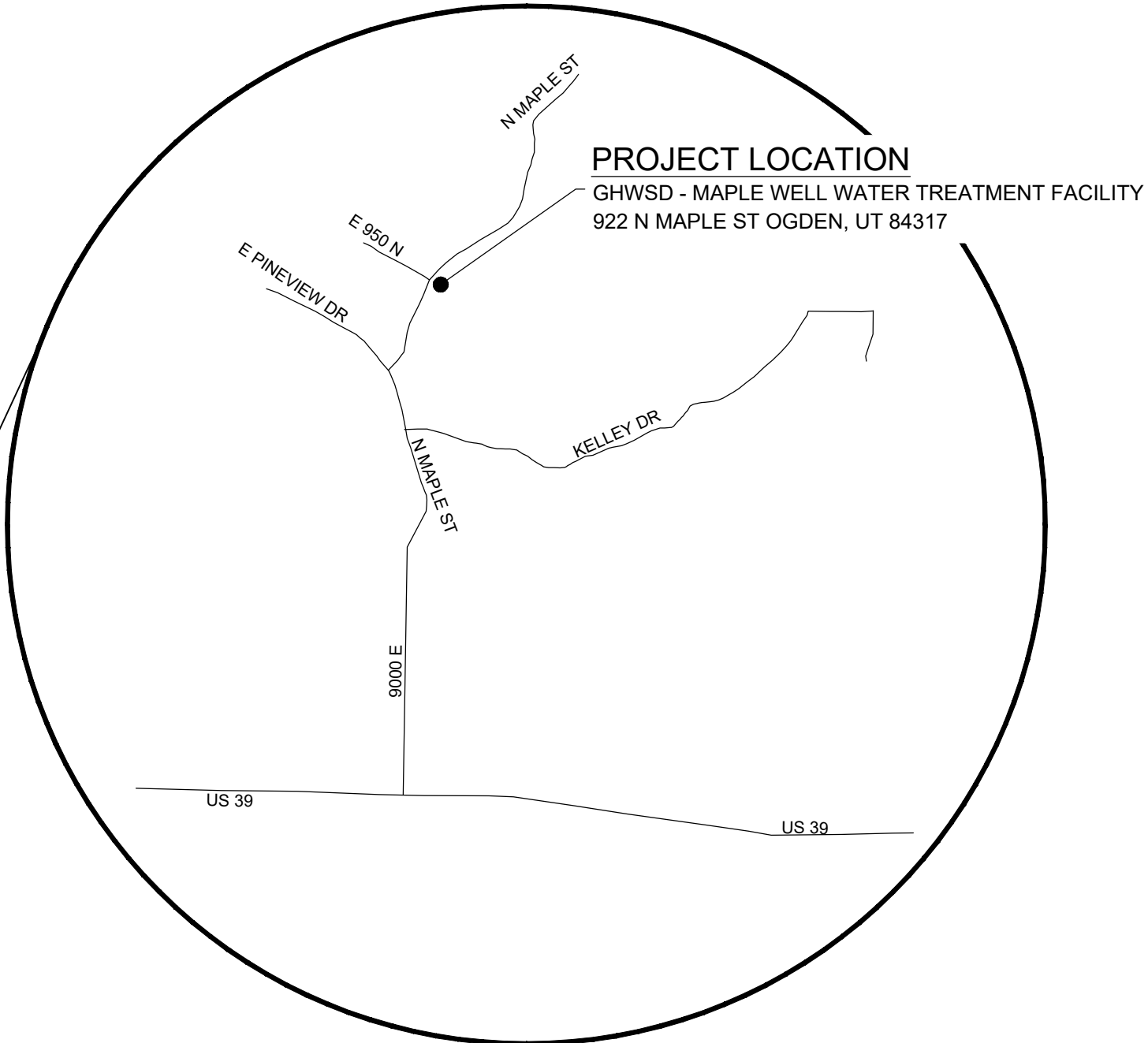
# GREEN HILLS WATER & SEWER DISTRICT - MAPLE WELL WATER TREATMENT FACILITY

OGDEN , UTAH  
WEBER COUNTY  
90% REVIEW SET MAY 2024

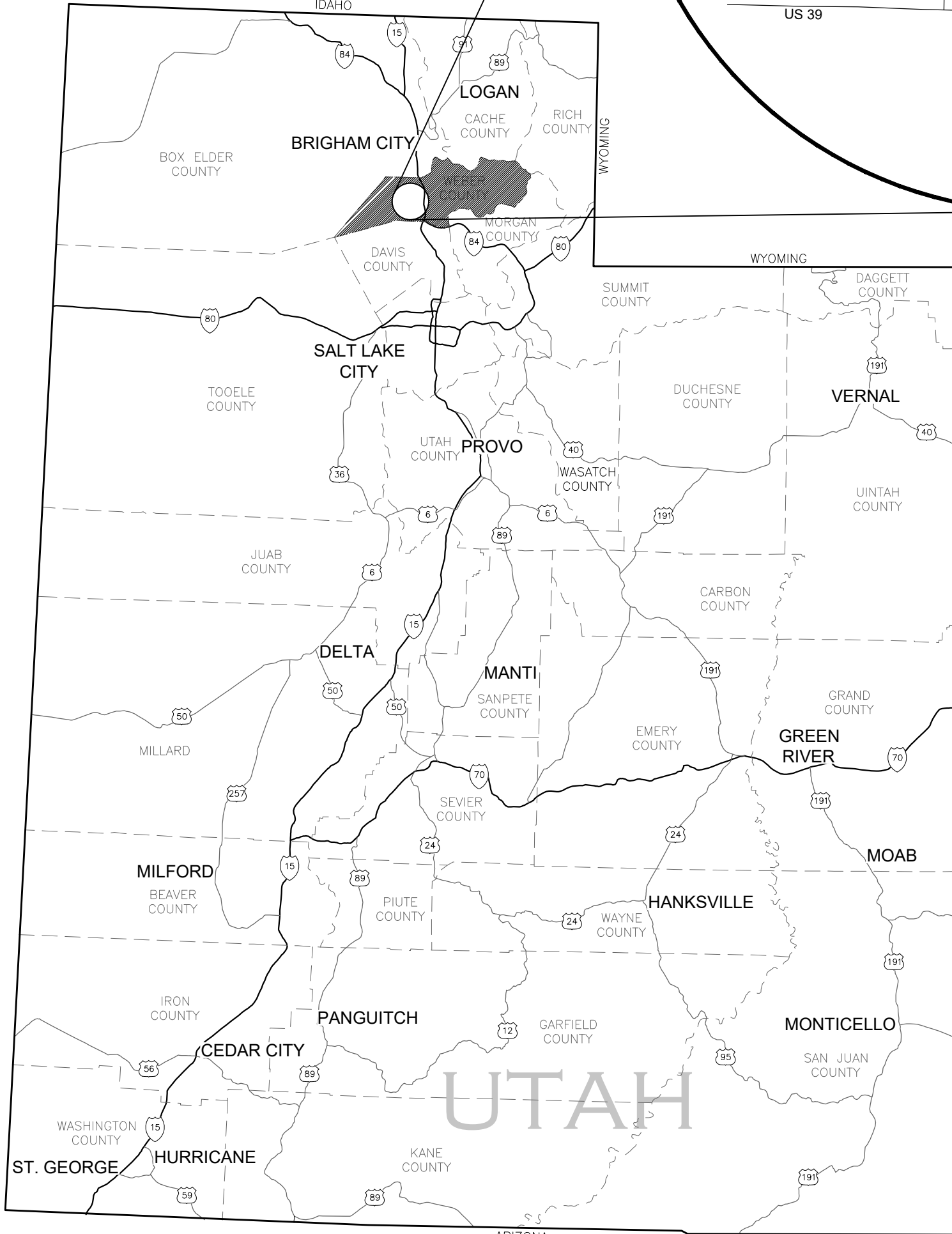


CALL BEFORE YOU DIG!  
PRIOR TO COMMENCING  
UNDERGROUND WORK  
DIAL: 811  
WWW.BLUESTAKES.ORG

NOTE:  
THE LOCATION OF EXISTING UNDERGROUND  
UTILITIES ARE SHOWN APPROXIMATELY ONLY.  
PRIOR TO CONSTRUCTION, IT SHALL BE THE  
RESPONSIBILITY OF THE CONTRACTOR TO INFORM  
ALL UTILITY COMPANIES OF THE CONSTRUCTION  
SCHEDULE. THE CONTRACTOR SHALL DETERMINE  
THE EXACT LOCATION OF ALL EXISTING UTILITIES  
BEFORE COMMENCING WORK. THE CONTRACTOR  
IS RESPONSIBLE FOR ANY AND ALL DAMAGE  
WHICH MAY OCCUR BY FAILURE TO EXACTLY  
LOCATE AND PROTECT ALL UTILITIES.



Sheet List Table	
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G0.3	GENERAL ABBREVIATIONS
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G0.6	VALVE SCHEDULE AND NOTES
G0.7	EQUIPMENT AND INSTURMENTATION LIST
G0.8	HYDRAULIC PROFILE
C1.0	DEMOLITION PLAN
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M0.1	OVERALL PLAN VIEW
M1.0	PPM MIXING PLAN AND SECTION VIEWS
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M2.2	TRI-MITE SYSTEM SECTION VIEWS I
M2.3	TRI-MITE SYSTEM SECTION VIEWS II
M3.0	BOOSTER PUMPS PERSPECTIVE VIEW
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M3.2	BOOSTER PUMPS SECTION VIEWS I
M3.3	BOOSTER PUMPS SECTION VIEWS II
H4.0	HVAC LAYOUT
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MD2.0	MECHANICAL DETAILS II
MD3.0	MECHANICAL DETAILS III
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S0.2	STRUCTURAL DESIGN CRITERIA AND GENERAL NOTES
S0.3	STRUCTURAL SYMBOLS, ABBREVIATIONS, AND SCHEDULES
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S1.1	FOUNDATION PLAN
S1.2	FINISHED FLOOR PLAN
S1.3	ROOF PLAN
S2.0	SECTION VIEWS
S2.1	SECTION VIEWS
S2.2	ELEVATION VIEWS
S3.1	STRUCTURAL CONCRETE DETAILS
S3.2	STRUCTURAL CONCRETE DETAILS
S3.3	STRUCTURAL CONCRETE DETAILS
N0.1	P&ID LEGEND 1 OF 2
N0.2	P&ID LEGEND 2 OF 2
N1.0	P&ID INFLUENT LIFT STATION
N2.0	P&ID INFLUENT CHEMICAL DOSING I
N2.1	P&ID INFLUENT CHEMICAL DOSING II
N3.0	P&ID TRI-MITE SYSTEM I
N3.1	P&ID TRI-MITE SYSTEM II
N3.2	P&ID TRI-MITE BACKWASH
N4.0	P&ID BOOSTER PUMPS



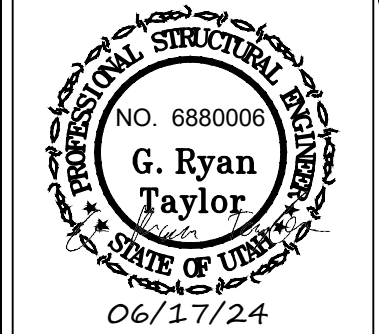
LOCATION MAP  
NTS

## NOTICE TO CONTRACTORS

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE GREEN HILLS WATER AND SEWER DISTRICT, AND THE DESIGN CONSULTANT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

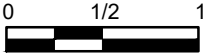
VICINITY MAP  
NTS



BOARDER SIZE	DESIGNED	DRAWN	CHECKED	APPROVED
22X34	BV	BW	CS	CS
REVISIONS	DATE	NO.	NO.	NO.



GREEN HILLS COUNTRY ESTATES  
WATER TREATMENT SYSTEM  
WEBER COUNTY, UTAH  
COVER SHEET



ATTENTION:  
1" ON 22X34 SHEET or 1/2" ON  
11X17 SHEET, THEN DRAWING IS  
NOT TO SCALE

DATE: JUNE, 2024  
PROJECT: 220583  
REV:  
SHEET: G0.0

ISSUE FOR CONSTRUCTION



P:\220583-M22344\3\_ACADDWG\SHEETS\GENERAL\G0.2 GENERAL NOTES.DWG, 5/20/2024

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GENERAL NOTES:

1. ALL WORK ASSOCIATED WITH THIS PROJECT SHALL BE PERFORMED AND COMPLETED IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, THE CONSTRUCTION DRAWINGS PERTAINING TO THIS PROJECT, AND SPECIFICATIONS AS DIRECTED BY THE ENGINEER, AND ANY APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS.

3. MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED PER LOCAL, STATE AND FEDERAL REGULATIONS.

4. CONTRACTOR TO COORDINATE PARKING, MATERIAL STORAGE, EQUIPMENT STORAGE AND STAGING AREA WITH OWNER.

5. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES & PROVIDE ANY APPLICATIONS, SUBMITTALS, INSPECTION REPORTS ETC. AS REQUIRED. ALL CONSTRUCTION SHALL COMPLY WITH RESPECTIVE UTILITY COMPANY REQUIREMENTS.

6. ENTRANCE AND EXIT ROUTES TO THE PROJECT SHALL BE COORDINATED WITH OWNER, EMPLOYEES AND MATERIAL DELIVERIES SHALL BE NOTIFIED OF ENTRANCE AND EXIT ROUTES.

7. ALL SITE CONSTRUCTION AND UTILITY RELOCATION ACTIVITIES SHALL BE DONE WITHOUT DISRUPTION TO THE DAILY OPERATION OF THE WATER TREATMENT PLANT. INDIVIDUAL UNIT PROCESSES MAY BE TAKEN OFF-LINE FOR A LIMITED PERIOD OF TIME TO PERFORM CONSTRUCTION ACTIVITIES AS SPECIFIED IN THE CONTRACT DOCUMENTS. ANY UNIT PROCESS TAKEN OFF-LINE WILL BE COORDINATED THROUGH THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGED UTILITIES.

8. CONTRACTOR SHALL PREPARE DEWATERING PLAN IF APPLICABLE AND SUBMIT TO OWNER FOR APPROVAL.

9. MISCELLANEOUS SMALL STRUCTURES SUCH AS SIGNS, IRRIGATION AND DRAINAGE FACILITIES, AND UTILITY POLES, LINES AND APPURTANCES, WHEN NECESSARY TO REMOVE OR DISTURB, SHALL BE REPLACED OR RECONSTRUCTED TO EQUAL TO OR BETTER THEIR CONDITION PRIOR TO DISTURBANCE.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL BUILDING PERMITS. CONTRACTOR SHALL FILE A SWPPP OR EROSION AND SEDIMENT CONTROL (ESC) PLAN PRIOR TO CONSTRUCTION. SAID PERMIT SHALL BE PRESENTED TO THE ENGINEER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL FILE NOTICE OF INTENT FOR PROJECT.

11. RETAIN AND PROTECT ALL FEATURES NOT DESIGNATED TO BE REMOVED OR MODIFIED.

12. APPROXIMATE LOCATIONS OF SOME KNOWN UTILITIES ARE SHOWN. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, REQUEST A LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY PHASE OF CONSTRUCTION. ADDITIONAL LOCATIONS IN THE SAME AREA FOR A SPECIFIC UTILITY SHOULD BE ARRANGED WITH THE INDIVIDUAL UTILITY AT THE TIME OF THE SCHEDULED "LOCATE". THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A RECORD OF THESE LOCATIONS FOR USE DURING CONSTRUCTION, AND PROVIDE RECORDS TO OWNER AFTER OWNER'S ACCEPTANCE OF THE WORK.

13. CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL UTILITY OWNERS.

14. SIZE OF FITTINGS SHOWN ON DRAWINGS SHALL CORRESPOND TO ADJACENT STRAIGHT RUN ON PIPE, UNLESS OTHERWISE INDICATED. TYPE OF JOINT AND FITTING MATERIAL SHALL BE THE SAME AS SHOWN FOR ADJACENT STRAIGHT RUN OF PIPE.

15. THE CONTRACTOR FOR THIS CONTRACT IS RESPONSIBLE FOR COORDINATING AND PERFORMING THE CONNECTION OF THE PIPING AND ASSOCIATED APPURTANCES INSTALLED UNDER THIS CONTRACT TO BOTH THE EXISTING PIPING AND FACILITIES.

16. PRIOR TO SUBMITTING PIPING DRAWINGS FOR ANY NEW PIPE THAT IS TO CONNECT TO OR CROSS AN EXISTING PIPE OR STRUCTURE, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE OR STRUCTURE TO VERIFY ITS EXACT LOCATION, SIZE, MATERIALS AND INVERT ELEVATIONS.

17. FOR PRESSURE GAUGES, PRESSURE SWITCHES, MAGNETIC METERS, MASS FLOWMETERS, LEVEL SENSOR, ANALYZERS, ELECTRIC MOTOR VALVE OPERATORS SHOWN ON THE MECHANICAL DRAWINGS, SEE ELECTRICAL AND INSTRUMENTATION FOR DETAILS. INSTRUMENTATION TO BE MECHANICALLY INSTALLED BY MECHANICAL CONTRACTOR. ELECTRICAL CONNECTION BY OTHERS.

18. LOCATION AND NUMBER OF PIPE HANGERS AND PIPE SUPPORTS SHOWN IS ONLY APPROXIMATE. FINAL SUPPORT REQUIREMENTS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. MAXIMUM SPACING SHALL NOT EXCEED PIPE MFR. RECOMMENDATIONS.

19. APPROPRIATE STANDARD WALL PIPE DETAIL SHALL BE USED WHEREVER PIPING PASSES FROM A STRUCTURE TO BACKFILL.
20. ALL FLEXIBLE CONNECTORS OR FLANGED COUPLING ADAPTERS SHALL BE PROVIDED WITH THRUST TIES, BLOCKS OR ANCHORS UNLESS OTHERWISE NOTED. THRUST PROTECTION SHALL BE ADEQUATE FOR TEST PRESSURES SPECIFIED. ALL FLEXIBLE COUPLINGS SHALL BE RESTRAINED UNLESS OTHERWISE NOTED.

21. SYMBOLS LEGENDS AND PIPE USE IDENTIFICATIONS SHOWN SHALL BE FOLLOWED THROUGHOUT THE DRAWINGS WHEREVER APPLICABLE. ALL OF THE VARIOUS APPLICATIONS ARE NOT NECESSARILY USED IN THE PROJECT.

22. ALL PIPING SPECIFIED TO BE PRESSURE TESTED (EXCEPT FLANGED, WELDED, GROOVED END OR SCREWED PIPING) SHALL BE PROVIDED WITH THRUST BLOCK PROTECTION AT ALL DIRECTION CHANGES UNLESS OTHERWISE NOTED. PRESSURE TESTING TO BE DONE AT EXPENSE OF CONTRACTOR

23. GENERAL MECHANICAL NOTES APPLY TO ALL CIVIL AND MECHANICAL DRAWINGS AND PIPING.

24. SUCTION AND DISCHARGE PIPING OF PUMPS SHALL BE INSTALLED AND SUPPORTED IN SUCH A MANNER SO THAT THEY SHALL NOT IMPART STRAIN ON PUMPS.

25. IN CASE OF A CONFLICT BETWEEN THE DRAWINGS AND TYPICAL DETAILS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE ENGINEER.

26. WARNING SIGNS SHALL BE PROVIDED ON FRONT AND BACK OF ALL REMOTELY CONTROLLED EQUIPMENT.

27. CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL UTILITY & ADJACENT PROPERTY OWNERS.

28. ALL PIPING JOINTS SHALL BE PER THE DRAWINGS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

29. FIELD VERIFY LOCATIONS, SIZES AND CONNECTION MATERIALS OF ALL EXISTING PIPING AND EQUIPMENT BEFORE FABRICATING NEW PIPE OR RETRO FIT FOR NEW EQUIPMENT.

30. FOR DRAINAGE PLANNING REQUIREMENTS SEE OGDEN AND HUNTSVILLE STANDARD SPECIFICATIONS.

31. FOR PROCESS PIPING WHERE PIPE MATERIAL IS STAINLESS STEEL, STRAP, BRACKET, "U"-BOLT, LOCK WASHERS AND ANCHORS FOR PIPE SUPPORT TO BE STAINLESS STEEL TYPE 316. FOR CHEMICAL PIPING WHERE PIPE MATERIAL IS STAINLESS STEEL, SUPPORT SYSTEM TO BE FRP WITH NONMETALLIC APPURTENANCES, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

32. ALL PIPE PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL REQUIRE FIRE STOPPING.

33. ACTUATORS SHOWN ON DRAWINGS ARE ONLY FOR EXAMPLE. REFER TO VALVE SCHEDULE FOR ACTUAL ACTUATOR.

34. PIPING IS SHOWN DIAGRAMMATICALLY ON THE DRAWINGS, NOT EVERY OFFSET, FITTING OR STRUCTURAL DIFFICULTY THAT MAY BE ENCOUNTERED HAS BEEN SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL MAKE MODIFICATIONS TO PIPING ALIGNMENT WHERE NECESSARY. MODIFICATIONS SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE DONE AFTER OWNER APPROVAL.

35. ALL ASPHALT AND CONCRETE SECTIONS DISTURBED DURING TRENCHING AND INSTALLATION SHALL BE REPAIRED TO EXISTING CONDITION. DETAILS INCLUDED ON DESIGN SHEETS.

36. CLEAR AND GRUB OF SITE BY CONTRACTOR.

37. ALL VALVES & INSTRUMENTS TO BE TAGGED VIA PERMANENT METALLIC RAISED LETTER TAGS ATTACHED OR VIA HANGING PLACARDS.

38. GEOTEXTILE TO BE LP12 NON-WOVEN GEOTEXTILE.

39. ANY CONNECTION TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH RESPECTIVE REGULATIONS AND CONTRACTOR SHALL OBTAIN NECESSARY PERMITS.

40. ALL FIBERGLASS GRATING SHALL CONFORM TO GREEN HILLS WATER & SEWER DISTRICT STANDARDS

41. ALL ACCESS STAIR AND PLATFORM COMPONENTS INCLUDING TREADS, RISERS, KICK PLATES, HAND RAILS, GUARD RAILS, MIDRAILS, PLATFORMS, LANDINGS, AND OTHER APPURTENANCES SHALL COMPLY WITH OSHA STANDARDS INCLUDING BUT NOT LIMITED TO STANDARD 1926.1052, 1910.28, 1910.29, AND 1910.23. CONTRACTOR TO INFORM ENGINEER IMMEDIATELY IN WRITING OF ANY CONFLICT BETWEEN CODE AND CONSTRUCTION DRAWINGS.

CIVIL NOTES

1. RECORDED COMPACTION TESTING WILL BE PERFORMED BY CONTRACTOR'S GEOTECHNICAL REPRESENTATIVE AND PAID FOR BY THE CONTRACTOR. RESULTS OF COMPACTION TESTING WILL BE PROVIDED TO ENGINEER PRIOR TO INSTALLING STRUCTURES.
2. THE GENERAL FILL SHALL BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED 12" UNCOMPACTED THICKNESS, AND UNIFORMLY COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY PER ASTM D898(SPD).
3. SUBGRADE SHALL BE PROOF ROLLED USING A FULLY LOADED DUMP TRUCK TO CONFIRM THE STABILITY OF THE EXPOSED SUBGRADE IN THE PRESENCE OF THE ENGINEER. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR DETAILS.
4. NON-NATIVE FILL MATERIAL IS NOT ALLOWED WITHOUT OWNER APPROVAL.
5. STRUCTURAL FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED 8" UNCOMPACTED THICKNESS, AND UNIFORMLY COMPACTED TO A MINIMUM OF 100% OF THE MAXIMUM DRY DENSITY PER ASTM D698(SPD).
6. SUITABILITY OF ONSITE SUBSURFACE SOILS SHALL BE CONFIRMED WITH OWNER'S GEOTECHNICAL REPRESENTATIVE.
7. PIPE TRENCHES SHALL BE EXCAVATED IN CONFORMANCE WITH THE REQUIREMENTS OF OSHA 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENT.
8. PIPES SHALL BE BEDDED PER ASTM D 2321 AND AS SHOWN ON CIVIL DETAILS.
9. BACKFILL SHALL BE WITH NATIVE MATERIAL CONFORMING TO ASTM D 2321.
10. BACKFILL COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY PER ASTM D698(SPD) IN LOWER ZONE.
11. ALL TEES, PLUGS, BENDS AND CAPS SHALL BE PROVIDED WITH THRUST RESTRAINT CONCRETE THRUST BLOCKING OR ENGINEER APPROVED MECHANICAL THRUST RESTRAINT.
12. DEFLECT PIPE AT JOINTS AS REQUIRED TO RAISE PIPE TO ELEVATIONS AS SHOWN AND TO MAINTAIN ALIGNMENTS. DO NOT EXCEED MAXIMUM PIPE DEFLECTIONS PER MANUFACTURER RECOMMENDATION.
13. INSTALL TRACER WIRE FOR ALL BURIED PLASTIC PIPES TO BE 14 GAUGE AND SECURELY FASTENED AT EACH END.
14. SEPARATION DISTANCES AND CROSSINGS OF POTABLE WATER AND NON-POTABLE MAINS SHALL COMPLY WITH LOCAL REVIEW AUTHORITY STANDARDS.

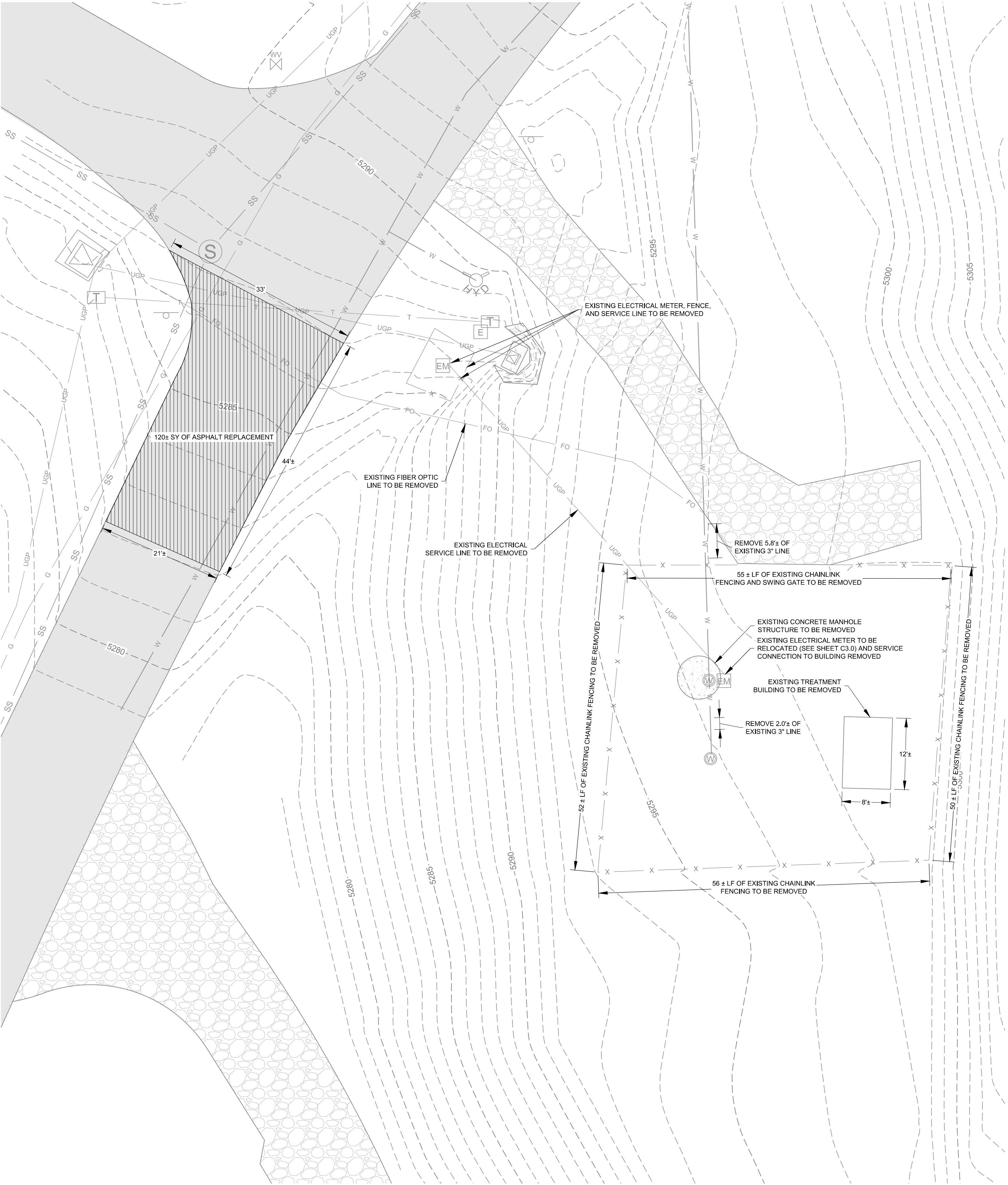
CONSTRUCTION STAKING NOTES:

1. CONTRACTOR TO SUPPLY ALL NECESSARY CONSTRUCTION STAKING.



BOARDER SIZE		REVISIONS		DATE	
22x34					
DESIGNED					
BY					
DRAWN					
BW					
CHECKED					
CS					
APPROVED					
CS					





**BUILDING & FENCING TO BE REMOVED**



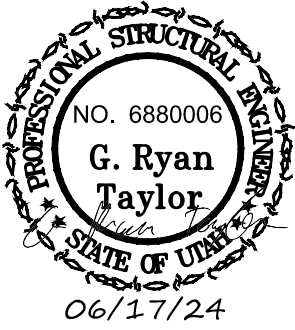
**FENCING & CONCRETE MANHOLE STRUCTURE TO BE REMOVED**

**LEGEND**

EXISTING EDGE OF PAVEMENT	_____
EXISTING GAS LINE	_____ G _____
EXISTING UNDERGROUND POWER	_____ UGP _____
EXISTING TELEPHONE LINE	_____ T _____
EXISTING FIBER OPTICS LINE	_____ FO _____
EXISTING SANITARY SEWER LINE	_____ SS _____
EXISTING WATER LINE	_____ W _____
EXISTING CONTOUR	_____ 2582 _____
EXISTING SIGN	_____ [Symbol] _____
EXISTING ELECTRICAL METER	_____ [Symbol] _____
EXISTING TELEPHONE JUNCT. BOX	_____ [Symbol] _____
EXISTING WELL	_____ [Symbol] _____
EXISTING CONCRETE	_____ [Symbol] _____
EXISTING ASPHALT PAVEMENT	_____ [Symbol] _____
EXISTING GRAVEL	_____ [Symbol] _____

**GENERAL NOTES**

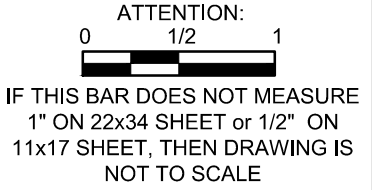
- REMOVAL OF EXISTING INFRASTRUCTURE MATERIALS AND STRUCTURES SHALL BE LAWFULLY DISPOSED OF AND BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- SAWCUTS SHALL BE REQUIRED TO REMOVE EXISTING PAVEMENT.
- EXISTING CONCRETE/ASPHALT TO REMAIN AND SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- LOCATIONS OF SERVICES SHOWN ARE FOR REFERENCE ONLY.
- CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTS TO EXISTING BUILDINGS PRIOR TO DEMOLITION.
- REMOVAL AND/OR MODIFICATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY OWNER.
- ANY ASBESTOS ENCOUNTERED SHALL BE DISPOSED OF USING STANDARD PRACTICE AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE REMOVAL ITEMS AND LIMITS ON THESE DEMOLITION PLANS ARE APPROXIMATE ONLY. ADDITIONAL REMOVALS MAY BE REQUIRED TO COMPLETE THE WORK.
- STOCKPILE LOCATION FOR EXCESS MATERIAL TO BE GRADED AND SODDED.



NO.	REVISIONS					BORDER SIZE				
	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED	NO.	DATE	DESIGNED	DRAWN	CHECKED

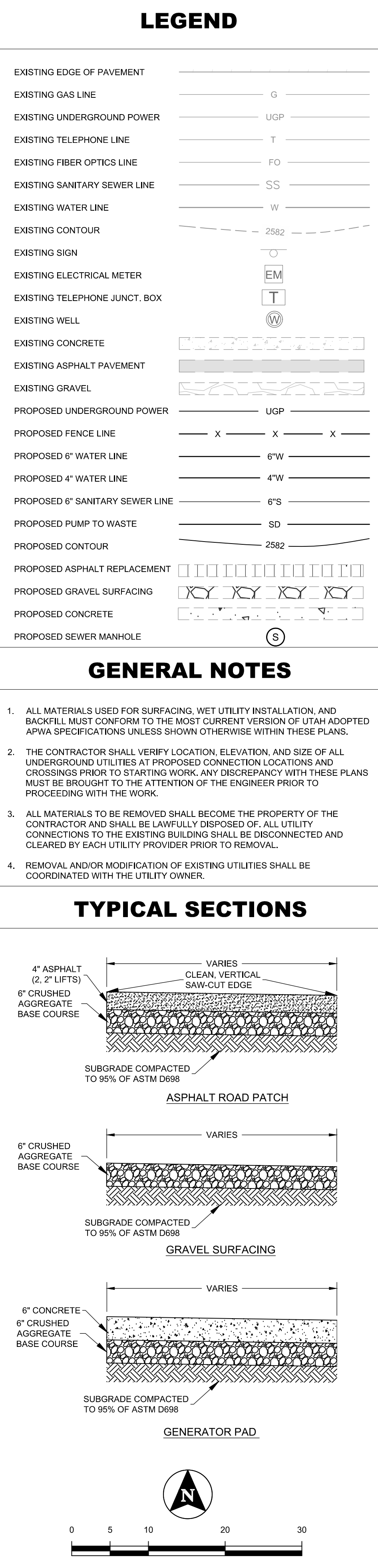


CONSTRUCTION DRAWING FOR:  
**MAPLE WELL TREATMENT FACILITY PROJECT**  
DEMOLITION PLAN



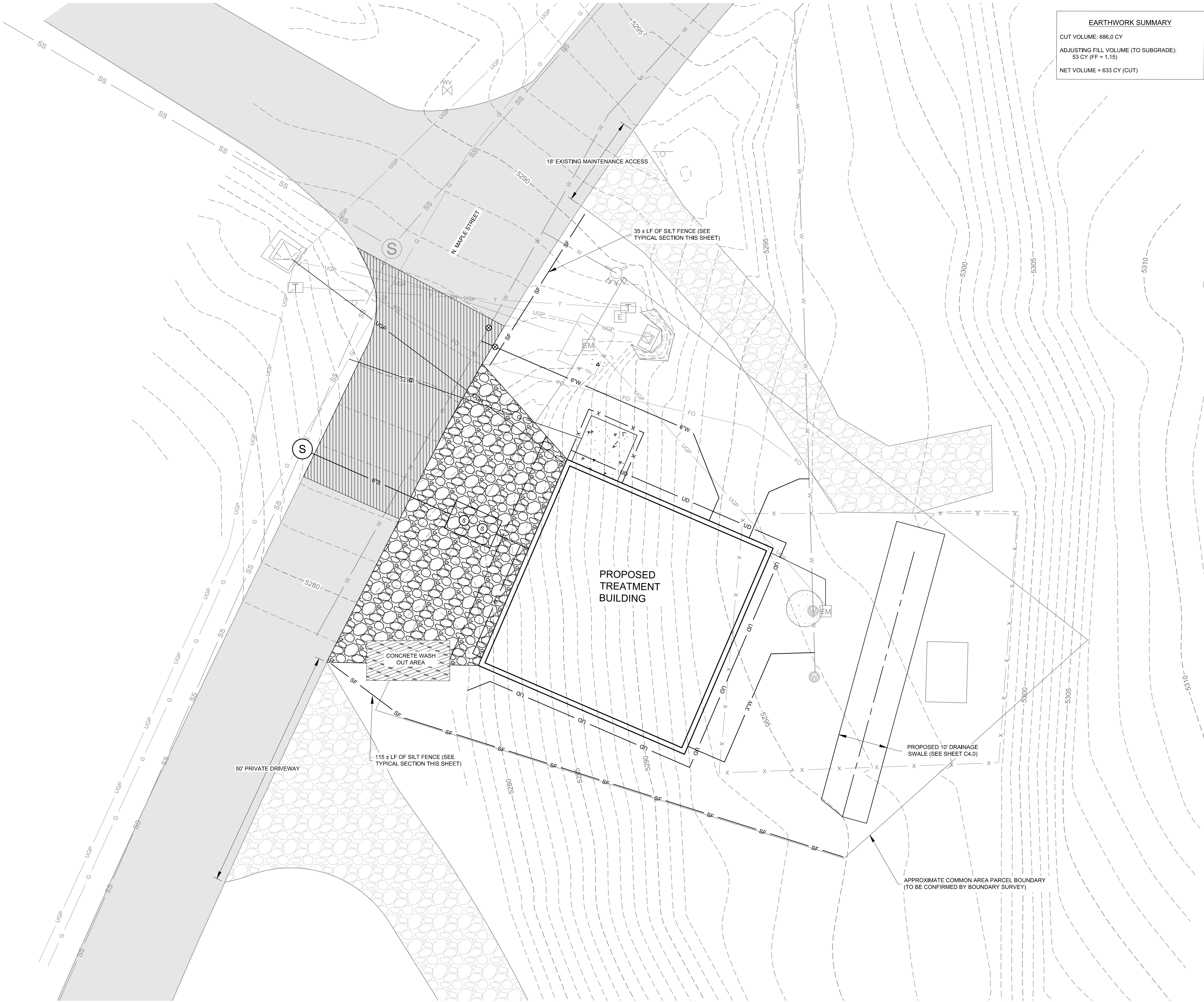
DATE:	MAY, 2024
PROJECT:	220583
SHEET:	





## ISSUE FOR CONSTRUCTION

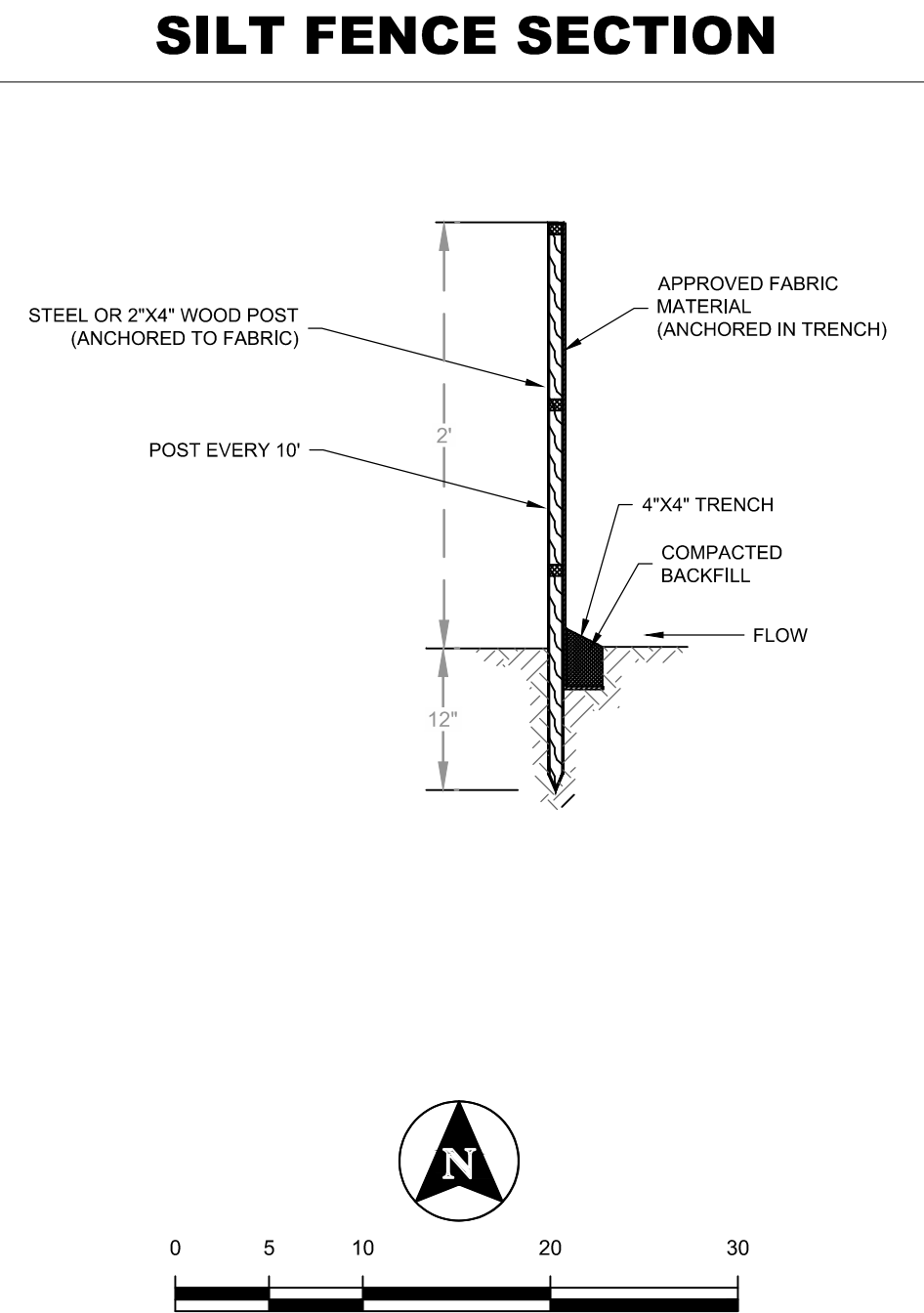




EARTHWORK SUMMARY	
CUT VOLUME:	686.0 CY
ADJUSTING FILL VOLUME (TO SUBGRADE):	53 CY (FF = 1.15)
NET VOLUME =	633 CY (CUT)

LEGEND	
EXISTING EDGE OF PAVEMENT	
EXISTING GAS LINE	G
EXISTING UNDERGROUND POWER	UGP
EXISTING TELEPHONE LINE	T
EXISTING FIBER OPTICS LINE	FO
EXISTING SANITARY SEWER LINE	SS
EXISTING WATER LINE	W
EXISTING CONTOUR	2582
EXISTING SIGN	
EXISTING ELECTRICAL METER	EM
EXISTING TELEPHONE JUNCT. BOX	T
EXISTING WELL	W
EXISTING CONCRETE	
EXISTING ASPHALT PAVEMENT	
EXISTING GRAVEL	
PROPOSED UNDERGROUND POWER	UGP
PROPOSED FENCE LINE	X X X
PROPOSED 6" WATER LINE	6"W
PROPOSED 4" WATER LINE	4"W
PROPOSED 6" SANITARY SEWER LINE	6"S
PROPOSED PUMP TO WASTE	SD
PROPOSED CONTOUR	2582
PROPOSED ASPHALT REPLACEMENT	
PROPOSED GRAVEL SURFACING	
PROPOSED CONCRETE	
PROPOSED SEWER MANHOLE	S

- ### GENERAL NOTES
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES/DEVICES SO THEY ARE OPERATING PROPERLY AND WILL REPLACE OR FIX ON AN AS NEEDED BASIS.
  - EROSION CONTROL LOCATIONS AND QUANTITIES SHOWN ARE ESTIMATES ONLY. THE CONTRACTOR MAY HAVE TO ADD OR ADJUST EROSION CONTROL FEATURES AS REQUIRED BY REGULATORY INSPECTORS, OWNERS REPRESENTATIVE, THE ENGINEER, AND/OR PER GRADING OPERATIONS.
  - ALL SEDIMENTS TRACKED ONTO PAVED ROADS MUST BE SWEEPED BY CONTRACTORS IN A TIMELY MANNER OR AS DIRECTED BY THE ENGINEER OR THE OWNER'S REPRESENTATIVE.
  - AREAS WITH VEGETATION ESTABLISHED THAT ARE DISTURBED DURING CONSTRUCTION WILL BE REVEGETATED AT THE EXPENSE OF THE CONTRACTOR.
  - WASHOUT OR CONCRETE TRUCKS SHALL ONLY OCCUR AT THE LOCATION INDICATED. THE CONTRACTOR SHALL ENSURE THAT ALL CONCRETE WASTE OR WASHOUT WATER IS CONTAINED IN THIS AREA AND DISPOSED OF OFF-SITE PRIOR TO FINAL COMPLETION.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AND NO SEPARATE PAYMENT WILL BE MADE FOR COMPLETION OF THESE ITEMS.



PROFESSIONAL STRUCTURAL ENGINEER  
G. Ryan Taylor  
STATE OF UTAH  
06/17/24

BORDER SIZE	22"x34"
DESIGNED	LS
DRAWN	KS
CHECKED	RT
APPROVED	CS

DATE					
NO.					

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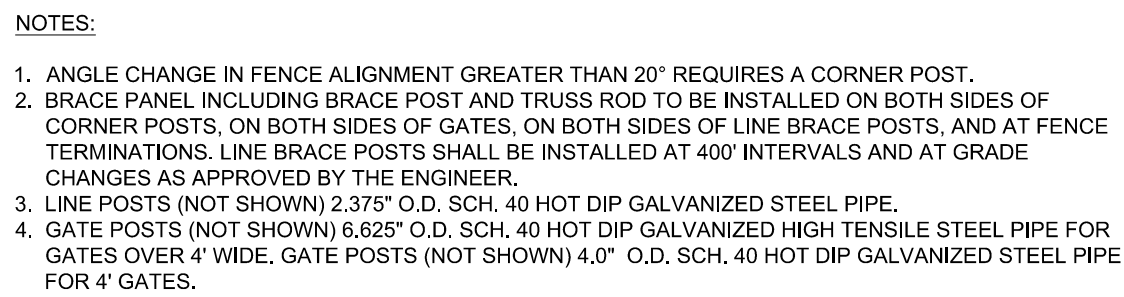
CONSTRUCTION DRAWING FOR:  
MAPLE WELL TREATMENT FACILITY PROJECT  
EROSION AND SEDIMENT CONTROL PLAN

0 1  
1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

DATE: MAY, 2024  
PROJECT: 220583  
SHEET: C3.0

ISSUE FOR CONSTRUCTION





## CHAIN LINK FENCE DETAIL



### AIR GAP DISCHARGE DETAIL



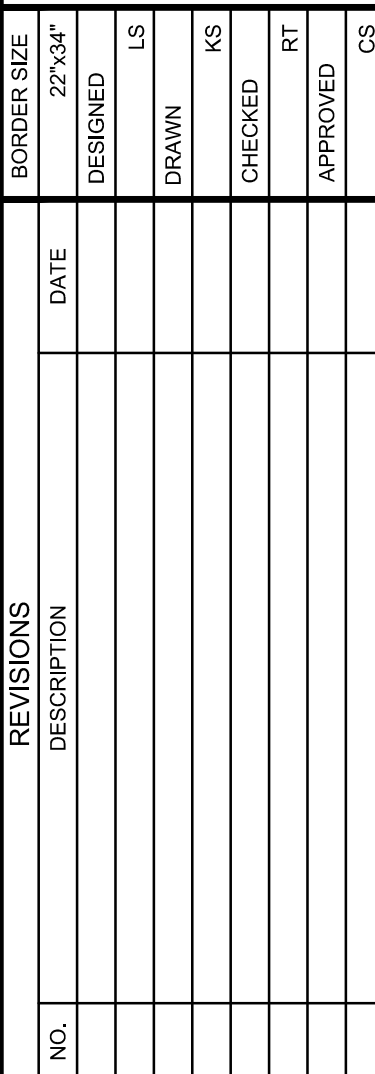
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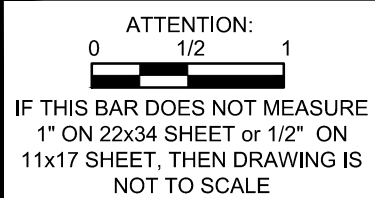
## DROP MANHOLE DETAIL



## UNDERDRAIN DETAIL



CONSTRUCTION DRAWING FOR:  
MAPLE WELL TREATMENT FACILITY PROJECT  
DETAIL SHEET



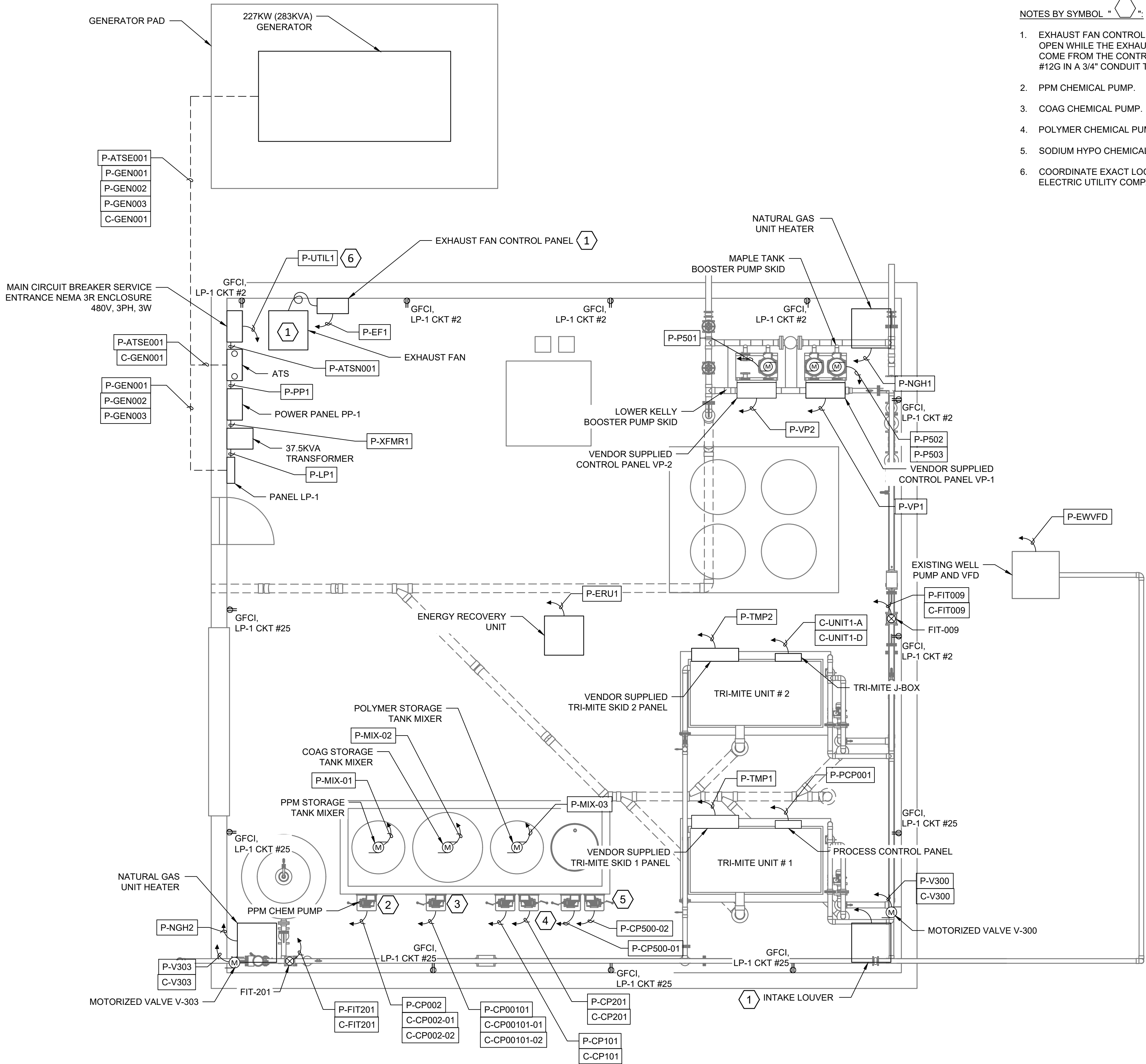
DATE:	MAY, 2024
PROJECT:	230583

## C5.0



I:\PROJECTS\GREEN HILL\8.0 DRAWINGS\GREEN HILL.DWG, 7/9/2024

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- NOTES BY SYMBOL "⬡":
- EXHAUST FAN CONTROL PANEL. THE MOTORIZED DAMPER/LOUVER SHALL OPEN WHILE THE EXHAUST FAN IS RUNNING. POWER FOR THE LOUVER TO COME FROM THE CONTROL PANEL. THE CONTRACTOR SHALL PROVIDE 2#12, #12G IN A 3/4" CONDUIT TO THE LOUVER. SEE SCHEMATIC ON SHEET E6.0.
  - PPM CHEMICAL PUMP.
  - COAG CHEMICAL PUMP.
  - POLYMER CHEMICAL PUMPS.
  - SODIUM HYPO CHEMICAL PUMPS.
  - COORDINATE EXACT LOCATION WITH UTILITY TRANSFORMER WITH THE ELECTRIC UTILITY COMPANY.



BUILDING POWER AND CONTROLS PLAN

1/4"=1'-0"  
0 2' 4'

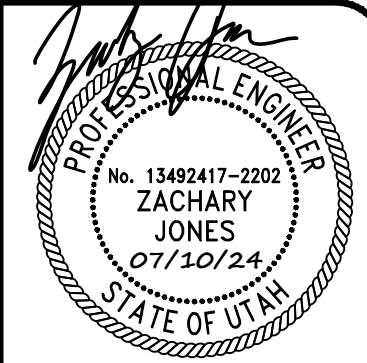
GREEN HILLS COUNTRY ESTATES  
WATER TREATMENT SYSTEM  
WEBER COUNTY, UTAH  
BUILDING POWER AND  
CONTROLS PLAN

ATTENTION:  
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IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

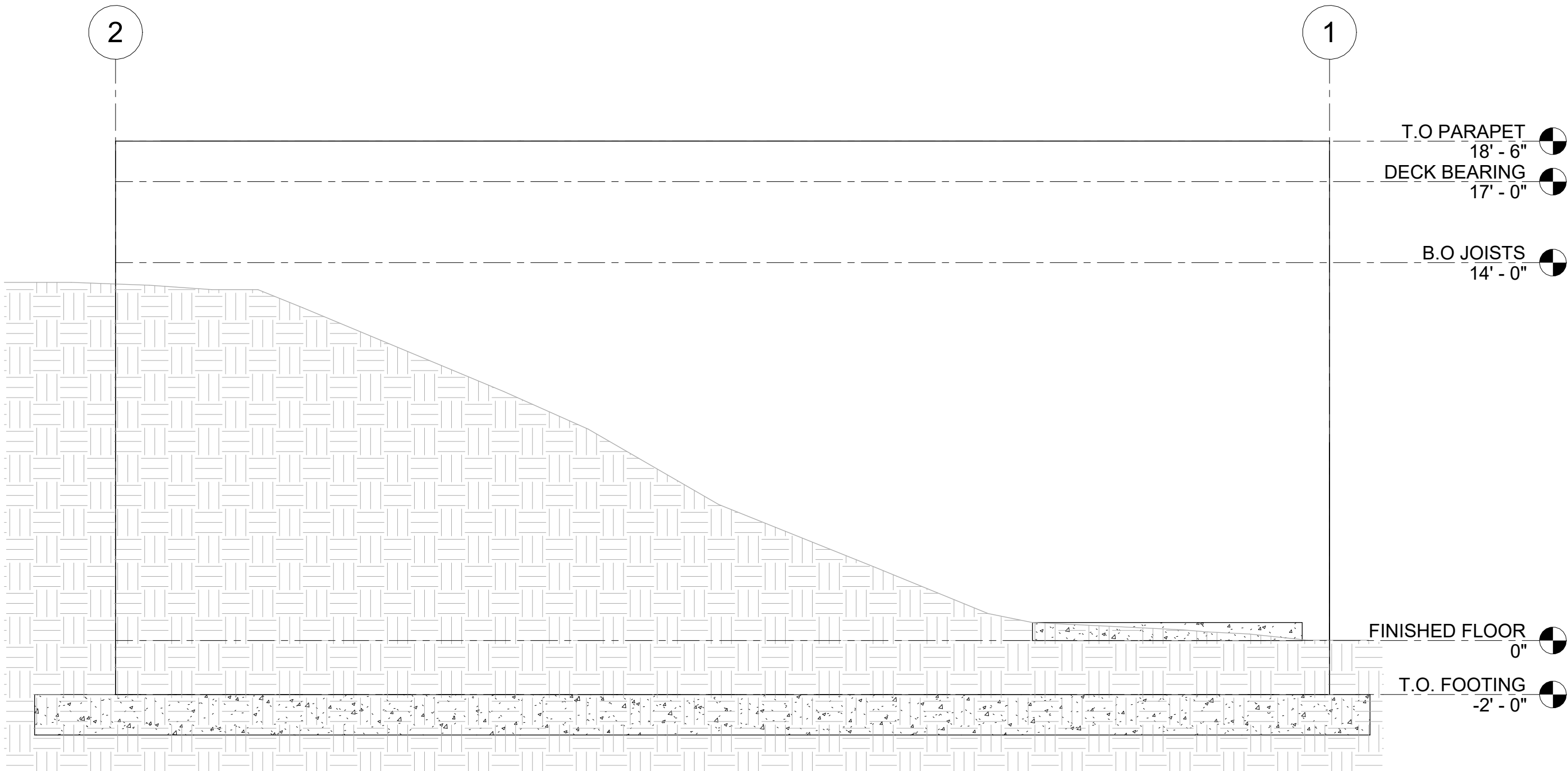
DATE: JULY, 2024  
PROJECT: 220583  
REV:  
SHEET:  
E3.0

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BOISE, IDAHO 83709  
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REVISIONS		DATE	DESIGNED	RC	DRAWN	RC	CHECKED	AAR	APPROVED	ZJ
NO.										



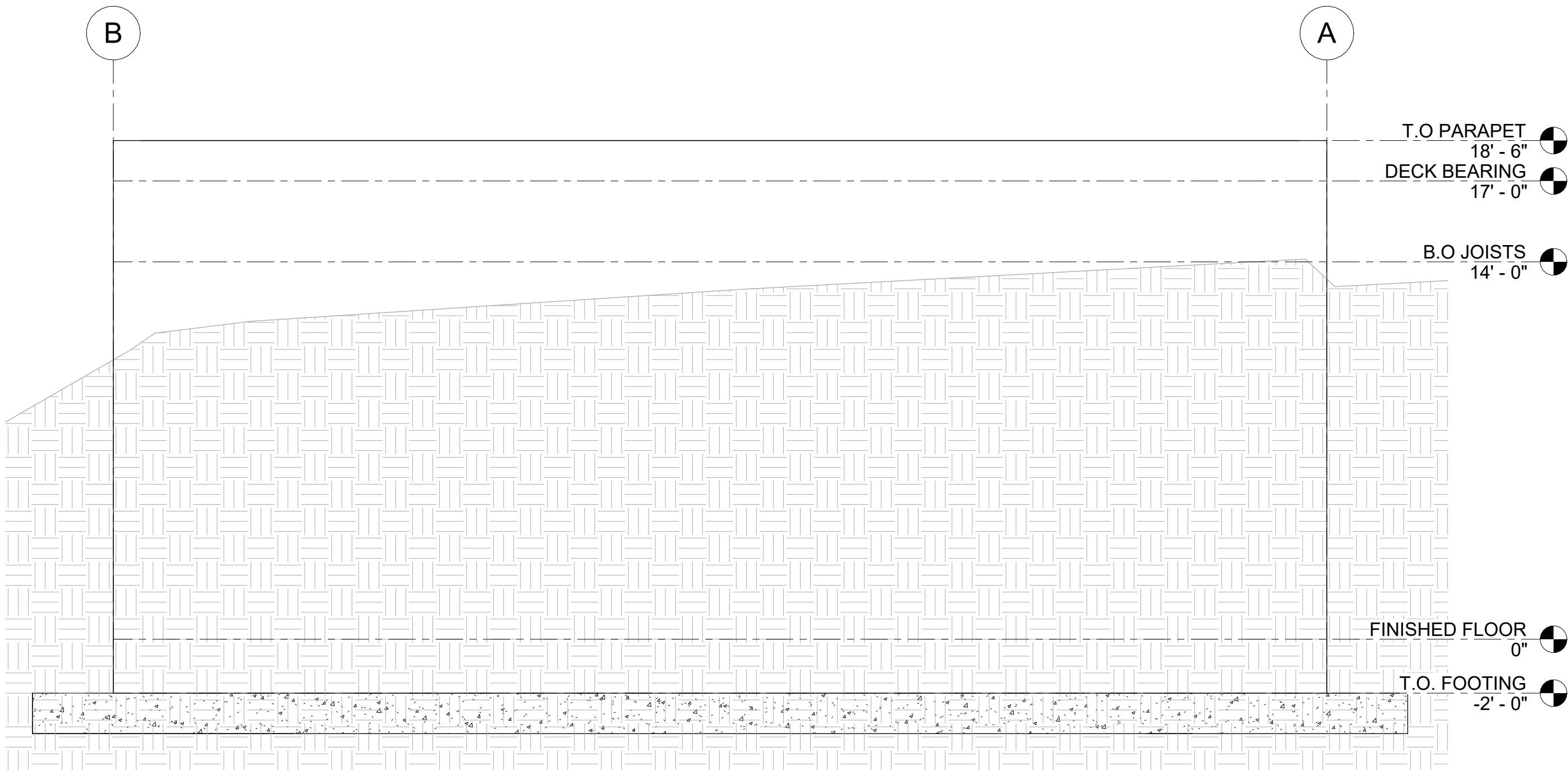
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1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

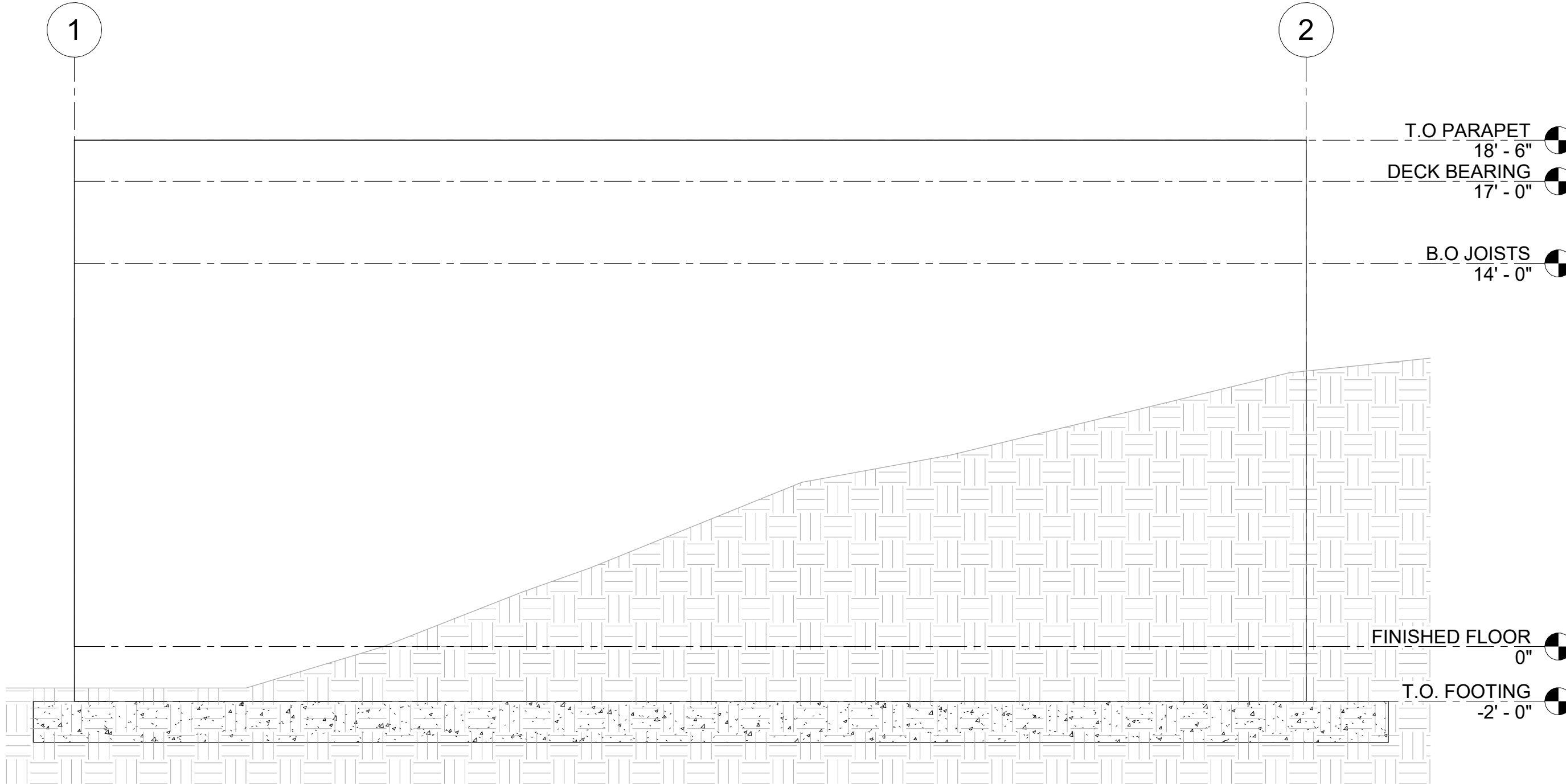
S2.2



2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

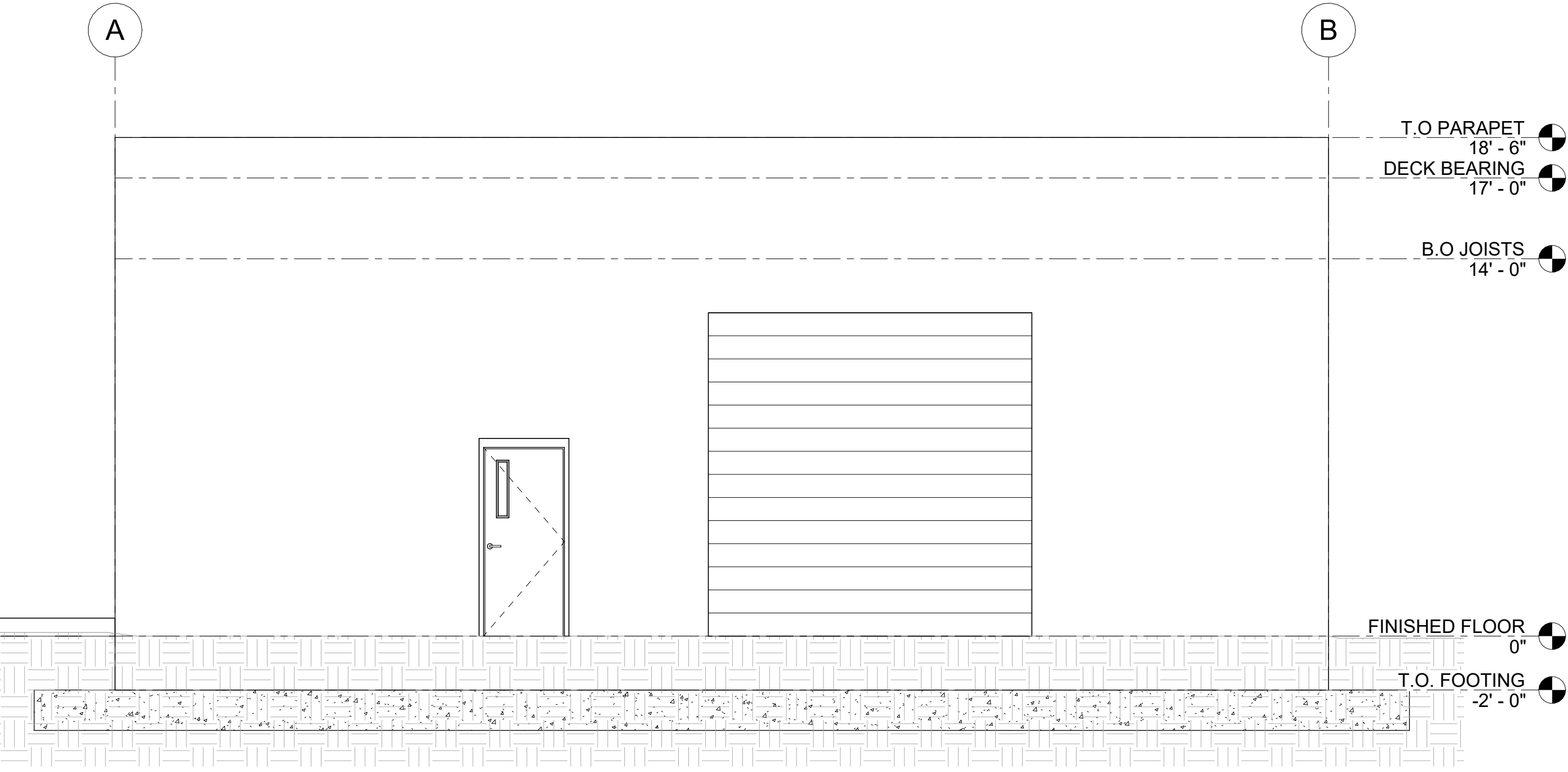
S2.2



3 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

S2.2



4 WEST ELEVATION

SCALE: 1/4" = 1'-0"

S2.2

PROFESSIONAL ENGINEER  
06/21/2024  
No. 13091314  
JAFAR T. ALLAHHAM  
STATE OF UTAH

BORDER SIZE	22x34	DESIGNED	KK	DRAWN	KK	CHECKED	JA	APPROVED	JA
DATE									
NO.									

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HERRINGTON, UTAH 84026  
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CONSTRUCTION DRAWINGS FOR:  
MAPLEWELL TREATMENT FACILITY PROJECT  
ELEVATION VIEWS

ATTENTION:  
0 1/2 1  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET OR 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

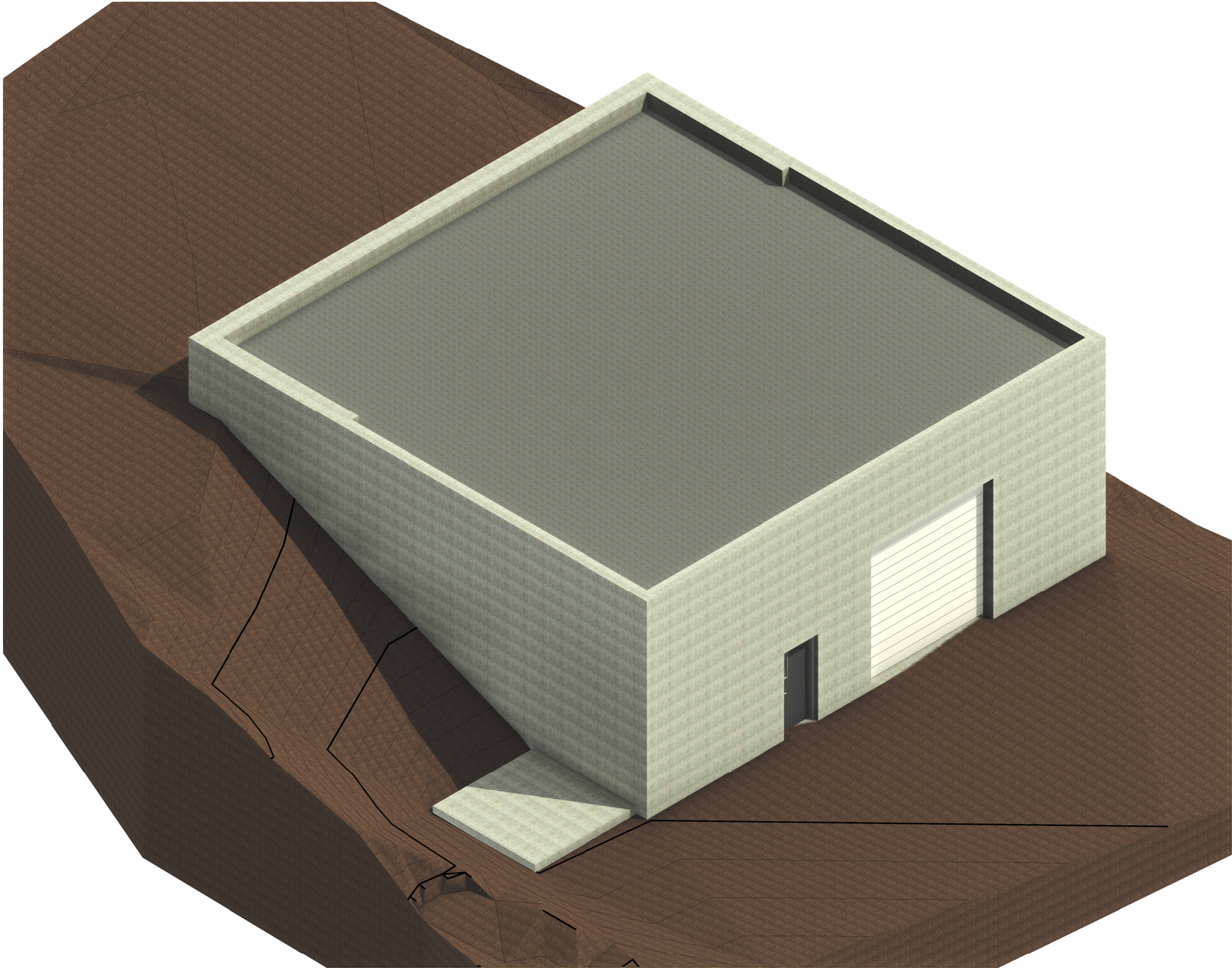
DATE: JUNE, 2024

PROJECT: 220583

SHEET: S2.2

ISSUE FOR CONSTRUCTION





1  
S1.0

RENDER VIEW

ATTENTION:  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET OR 12" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

DATE: JUNE, 2024  
PROJECT: 220583  
SHEET: S1.0

CONSTRUCTION DRAWINGS FOR:  
MAPLEWELL TREATMENT FACILITY PROJECT  
RENDER VIEW



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REVISIONS		BORDER SIZE	
NO.	DATE	DESIGNED	22x34
		DRAWN	KK
		CHECKED	KK
		APPROVED	JA
			JA

PROFESSIONAL ENGINEER  
No. 13091314  
JAFAR T. ALLAWHAM  
STATE OF UTAH