



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a conditional use permit for a condominium project (Pine Canyon Lodge) in the CVR-1 Zone, including lockout rooms and an average building height of 46 feet.

Agenda Date: Tuesday, March 24, 2015

Applicant: Skyline Mountain Base, LLC

File Number: CUP2014-29

Property Information

Approximate Address: 3567 Nordic Valley Way Eden, UT 84310

Project Area: Approximately 3.2 acres

Zoning: CVR-1/FV-3

Existing Land Use: Ski Resort and Recreation area

Proposed Land Use: Ski Resort and Recreation area

Parcel ID: 22-023-0086

Township, Range, Section: T7N, R1E, Section 29

Adjacent Land Use

North:	Forest Residential and Agricultural	South:	Forest Residential
East:	Forest Residential and Open Space	West:	Ski Resort and Private Campground

Staff Information

Report Presenter: **Ronda Kippen**
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: SW

Type of Decision

When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are conditional use permits, design reviews, flag-lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The request for approval of a conditional use permit for a condominium project consisting of 54 condominium units and 54 lockout rooms with an average building height of 54 feet was presented during the December 2, 2014 Ogden Valley Planning Commission meeting. After receiving public comment on the item, and followed by discussion from the Planning Commission, the request was tabled by the Ogden Valley Planning Commission with direction given to the applicant and staff for the additional needed information.

The request was brought back to the Ogden Valley Planning Commission on January 6, 2015. After receiving additional public comment on the item, and followed by discussion from the applicant and the Planning Commission, the applicant requested the item to be tabled to allow for the redesign of the condominium project in an attempt to address the concerns of the Planning Commission as well as the affected property owners.

Summary

The owners of Nordic Valley Ski Resort, located at 3567 East Nordic Valley Drive, are requesting approval of a conditional use permit for a condominium project consisting of 54 units with 54 lockout rooms. The proposed condominium project is conditionally allowed as a "Condominium rental apartment, including lockout rooms" in the Commercial Valley Resort Recreation (CVR-1) Zone per the Uniform Land Use Code of Weber County, Utah (LUC) §104-11-4. The applicant is requesting as part of the conditional use permit, an average building height of 46 feet as conditionally allowed in the CVR-1 Zone per LUC §104-11-4 and defined by the LUC §101-1-7.

The applicant received approval for the first stage of a transitional process of the ski resort in September of last year. If the Planning Commission approves the request for a condominium project and the requested building height, the applicant will begin the process for a condominium subdivision as required in the LUC §106-3.

Conditional use permits should be approved as long as any harmful impacts can be mitigated. The LUC already specifies certain standards necessary for mitigation of harmful impacts to which the proposal must adhere. To ensure that the natural environment is preserved to the greatest possible extent, the Planning Commission, subject to the reviews and recommendations of the required public agencies, must review and approve the general site and architectural design of the building, the layout of the parking areas and the landscaping.

The following analysis will address the redesigned condominium project conformance to the Ogden Valley General Plan and the LUC. The evaluation of the request will highlight the applicable changes from the initial design and the new design being forwarded for consideration and action.

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by “preserving the Valley’s rural character” in the following ways:

- Protecting Sensitive Lands (*page 9-12 of the Ogden Valley General Plan*):
 - The proposed location of the structure is away from steep or unstable slopes.
 - The proposed location is not along a “prominent ridgeline”.
 - The proposed location is outside of the “Important Wildlife Habitat Areas”.
 - The proposal is not visible from the designated “Scenic and Entry Corridor”.
 - The proposed location meets the adopted requirements pertaining to stream corridors, wetlands and shorelines.
- Encouraging commercial development in the Ogden Valley within established commercial areas by developing commercial “nodes” within existing communities rather than commercial “strips” along major thoroughfares. The County also supports the continued development of resort-related commercial areas (*page 13 of the Ogden Valley General Plan*).
- The Ogden Valley General Plan Recreation Element identifies the development potential of the Nordic Valley Resort as well as the “need for a variety of progressive resort developments” in the Ogden Valley. The recommended policies throughout the Recreation Element are to “encourage quality resort and recreation development”, support nodal development as opposed to sprawl development in an effort to “protect as much open space as possible” and “encourage existing resorts to expand in order to generate economic benefits for Weber County as well as to pull densities from other parts of the Ogden Valley into the expanded resort. The result would be development concentrated in the expanded resorts with other areas left permanently undeveloped across Ogden Valley.” (*See pages 40-44, 61-67, 115-118, 152-160 of the Ogden Valley General Plan Recreation Element Oct 2005*).

Zoning: The intent and purpose of the CVR-1 Zone per the LUC §104-11-1 is:

“(a) The purpose of this zone is to provide locations in the Ogden Valley and at major recreation resort areas, where service facilities and goods normally required by the public in the pursuit of general recreation activities can be obtained.”

The CVR-1 Zone allows for condominium rental apartments, including lockout rooms. A condominium rental apartment has been defined in the LUC §101-1-7 as:

“Condominium rental apartment (condo-tel): The term “condominium rental apartment (condo-tel)” means a condominium residential project in which the units, when not occupied by the owner, may be placed in a management rental pool for rent as transient living quarters similar to a motel operation. Because of the transient rental characteristics, a condominium rental apartment is classified as a use category separate and distinct from a condominium dwelling unit.”

The CVR-1 Zone has specific standards identified in the LUC §104-11-6 that shall be met as part of the development process. Those standards are as follows:

- Minimum lot area: 2.5 acre site, with the following minimum area requirement for uses within that site:
 - Condominium rental apartments require, per building, 7,500 square feet of net developable area plus 2,000 square feet of net developable area for each dwelling unit in excess of two dwelling units.
 - Lockout sleeping room, 500 square feet.

- Other uses: none.
- Minimum lot width: 150 feet minimum frontage.
- Minimum yard setbacks:
 - Front: 30 feet minimum.
 - Side: 20 feet minimum, except as otherwise required by this or any other county ordinance.
 - Rear: 20 feet minimum, except as otherwise required by this or any other county ordinance.
- Building height: Conditional use permit is required if over 25 feet in height.

Lot area, lot width, and yard setbacks: The subject property will be divided as part of the platting process required for condominium projects and will consist of approximately 3.2 acres. The acreage requirement has been established by the CVR-1 Zone which requires 7,500 square feet for the first 2 units, 2,000 square feet for each additional unit and 500 square feet for each lock-out room. The proposal adheres to the required lot area, lot width and setbacks.

Building height: In order to reduce the buildings footprint the applicant initially requested an average building height of 54 feet; however, after receiving direction from the Planning Commission as well as input from the affected property owners, the applicant has redesigned the building. The redesign has allocated approximately half of the parking outside and modified the building layout to locate the majority of the height toward the rear of the building instead of along the public right of way. The redesign is an attempt to satisfy the Planning Commission’s desire to soften the effect of the proposed structure (see Exhibit A). The visual impact and height of the condominium project are considerations of the Planning Commission and will require approval.

The revised request is for consideration of an average building height of 46 feet, which is allowed by a conditional use permit and defined in the LUC §101-1-7 as:

“Building, height of: The term “height of building” means the vertical distance from the average of the highest natural grade and the lowest natural grade to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the highest point of the ridge of a pitch or hip roof.”

The applicant’s requested average building height of 46 feet is based on measurements ranging from the highest natural grade line on the North Elevation (71’11”) and lowest natural grade line on the South Elevation (20’7”) as measured to the highest point on the roof line (see Exhibit B-1 & B-2 (A201)). In reviewing the proposal, an overall average building height measured from the highest and lowest natural grade line to the highest point on the roof line, using the combined measurements from all elevations provided, is 45’4” and has been verified by both the architect and County staff.

In comparison to the initial request by the applicant for an average building height of 54’, a range from 44’ at the lowest natural grade to 64’ at highest point of the building as measured along Nordic Valley Way was utilized due to this area being considered the most impactful to the surrounding property owners; however based on an overall range from 12’9” at the lowest natural grade to 64’ the at highest point of the building, an initial overall average was determined by staff to be 45’5”(see Exhibit B-3).

Based on these comparisons, the actual average building height has technically not been reduced; however, the applicant has adequately addressed the concerns of the Planning Commission and the public by moving the majority of the height away from the Nordic Valley Way corridor. The new proposal reflects a reduced average building height along Nordic Valley Way of approximately 10’, measuring 44’6” with ranges from 38’ 9” at the lowest natural grade to 50’ at the highest point of the building.

The actual building height as measured from the new finished grade ranges from 34’4” at the lowest point to 78’2” at the highest point of the building (see Exhibit C-2 (A201)). The initial request reflected an actual building height as measured from the finished grade ranging from 26’ at the lowest point to 71’ at the highest point of the building (see Exhibit B-3).

Additional design standards: The CVR-1 Zone also requires additional design standards including a minimum of ten percent commercial uses other than the condominium rental apartments per LUC §104-11-5. The commercial amenities that have been proposed include office space, retail and restaurant located on the lower level (see Exhibit C-2 (A101)). These amenities will provide 11,778 sq. ft. of commercial use, meeting the required ten percent.

In approving the site plan, the Planning Commission will need to find that the proposed building and uses are sized in proportion to the recreational amenities for which they will provide goods and services.

Conditional Use Review: The proposed uses are conditionally allowed in the CVR-1 Zone. A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental

effects. As a requirement of the conditional use permit, the applicant has provided a "Will-Serve Letter" from Nordic Mountain Water Inc. (see Exhibit E) for water services and a "Will-Serve Letter" from Wolf Creek Water and Sewer Improvement District (see Exhibit F) for the waste disposal. The applicant has provided the required material to facilitate a review of the proposed project including grading, drainage, and a geotechnical report.

The Engineering Division reviewed the initial civil engineering drawings and conditionally approved the proposal. The most recent proposal is in the process of being reviewed by the Engineering Division and is anticipated to receive a conditional approval based on more detailed plans to be provided with the required subdivision process. As part of this process, the recommendations that have been identified in the Geotechnical Report will need to be identified on the subdivision plans and followed throughout the development of the site.

The Weber Fire District reviewed the initial proposal and conditionally approved the proposal. As with the Engineering Division, a new review is in process with the conditional approval based on more detailed plans to be provided with the required subdivision process.

A condition of approval has been made part of the Planning Division's recommendations to ensure that any conditions of the Engineering Division and Weber Fire District are strictly adhered to.

Design Review: The CVR-1 Zone and the proposed conditional use, mandates a design review as outlined in the LUC §108-1 to ensure that the general layout and appearance of the building shall not impair the orderly and harmonious development of the neighborhood nor impair investment in and occupation of the neighborhood. Additional design reviews may be required as the commercial uses within the development are identified to ensure that adequate parking as required by the LUC §108-8 is available and that any proposed signage conforms to the LUC §110-2. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

1) *Considerations relating to traffic safety and traffic congestion.* The proposal includes improvements for the widening of the existing abutting street together with sidewalk, curb and gutter and adequate drive approaches for the ingress and egress to the site and the building along Nordic Valley Way. The applicant has provided 121 parking spaces on the site plan, of which 62 parking spaces are provided as underground parking. The underground parking has been reduced to allow for the reduction in building height. Parking requirements for the future uses of the development will be evaluated as part of the required design review process for the new commercial uses. The underground parking will provide adequate parking for the 106 sleeping units in the building per LUC §108-8-4 which requires one space per two sleeping units. This determination is based on the transient nature of the condo-tel that is defined in the LUC §101-1-7 as:

"... Because of the transient rental characteristics, a condominium rental apartment is classified as a use category separate and distinct from a condominium dwelling unit."

Due to the distinct separation of the condo-tel from a condominium dwelling unit, the standards of LUC§108-8-2 do not apply here as earlier thought. The additional requirements for the commercial parking are being proposed as part of the additional 59 outdoor parking stalls located in the future storm detention area (see Exhibit C-1 & C-2 (AS101 & A101)) as permitted by LUC §108-8-7(a) which states:

"Parking space location: Parking space(s) as required by this chapter shall be on the same lot with the main building or, in the case of buildings other than dwellings, may be located no farther than 500 feet therefrom."

It appears that all the proposed parking meets the parking standards as outlined in LUC §108-8-7(c) as well as the surface lighting of the off street parking as outlined in LUC §108-2-6 & §108-16.

2) *Considerations relating to outdoor advertising.* The applicant received approval for a monument sign as allowed in LUC §110-2-5 in September of this year. As part of the review, the Planning Division took into consideration the architectural renderings including the location, color, lighting and size of the monument sign for the ski resort. The location of the monument sign has been identified on the site plan as #15 on sheet AS101 (also identified as Exhibit C-1).

3) *Considerations relating to landscaping, screening and buffering.* The applicant has been able to adequately address the minimum landscaping requirements of the Design Review as outlined in LUC §108-1-4(3) and the Ogden Valley Architectural, Landscape and Screening Design Standards as outlined in LUC §108-2-5 and §108-2-9 (see Exhibit G (L101 & L102)) as well as adequate screening of the trash dumpster and all outdoor parking.

When long expanses of building walls and other barriers are part of a proposal as they are with this application, taller trees can be required as part of the landscaping plan to create a softening effect as allowed in LUC §108-2-5(j)(4). If the Planning Commission feels additional landscaping, screening and buffering measures need to be implemented; a specific condition of approval will need to be added.

4) *Considerations relating to buildings and site layout.* The following percentages have been calculated based on the proposed final lot size of 3.2 acres. The proposed condominium project will have an area footprint of 35,213 sq. ft.; which is a reduction of 18,790 sq. ft. from the initial design of 54,003 sq. ft. This decrease is due to the reduction in the underground parking area and the removal of the outdoor pool and plaza area. The footprint will cover 24.5% of the final site; a reduction of 13.5% from the initial design coverage of 38% of the final site. The hard surface paving will cover 18.6% which is a 13.6% increase from the initial proposal of 5% hard surface paving. The landscaping will cover 56.8% which is a minor decrease from the initial proposal 57% of the final site (see Exhibit C-1 (AS101)).

The proposed building has an exterior finish consisting of predominantly natural, muted earth tone colors of hardi-plank batten board, hardi-board tongue and groove, stone veneer, timber and asphalt/metal roofing materials. The metal roof areas, aluminum windows and glass store front must be non-reflective. The proposed colors for the external surfaces are found on sheet A201 (see Exhibit B-1) and identified as follows:

1. "Driftwood" Asphalt Shingles
2. "Earthen Jug" Hardi-Plank Batten Board
3. "Dark Bronze" Standing Seam Metal Roof
4. "Cottonwood" Stone Veneer
5. "Cinnamon" Stained Timber
6. "Coconut Husk" Hardi-Board T&G Beveled
7. "Dark Bronze" Flashing

The exterior lighting will consist of one 20' parking lot light pole (277 V., 10,000 lumens) located at the underground parking entrance and multiple 42" high light bollard area lights (277 V., 1,000 lumens @ 15.5 watts) located along the improved pathways around the building (see Exhibit C-1 (AS101)). The proposed outdoor lighting must be partially or fully shielded as required in LUC §108-16 in order to comply with the Ogden Valley Lighting requirements. As part of the redesigned building, there has been a sizable reduction in windows and window size in an attempt to protect the night sky from interior light pollution. If the Planning Commission feels that additional measures need to be taken to ensure adequate protection of the night sky, a condition of approval will need to be added.

The building and site layout have been reviewed against the design criteria of the CVR-1 Zone in the LUC §104-11, the Design Review in the LUC §108-1, and the Ogden Valley Architectural, Landscape and Screening Design Standards in the LUC §108-2-4. It appears that the proposal meets the minimum requirements of the applicable areas of the Uniform Land Use Code of Weber County.

5) *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant has provided civil engineered drawings (see Exhibit D) that identify the existing and proposed topography, contour lines, utilities, easements and drainage. The applicant will need to adhere to all conditions of the Engineering Division including but not limited to easements and utilities to and through the property, site improvements and storm water drainage including retention facilities by providing more detailed drawings as part of the subdivision process.

6) *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.* The Planning Division is unaware of prior development conceptual plans as part of any rezoning agreement that may have been approved for the subject property by Weber County; therefore, considerations pertaining to this portion of the code are not applicable at this time.

Public Notice: To ensure adequate time has been allotted to the affected property owners, a third series of notices have been mailed out to all property owners within 500 feet of the subject property on March 17, 2015 for the March 24, 2015 Ogden Valley Planning Commission meeting.

Summary of Planning Commission Considerations

LUC §108-4-4 states:

“Conditional Uses shall be approved on a case-by case basis. The planning commission shall not authorize a conditional use permit unless evidence is present to establish:

- 1. Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke or noise.*
- 2. That the proposed use will comply with the regulations and conditions specified in the Land Use Code and other applicable agency standards of use.”*

The Planning Commission will need to determine if the proposed condominium project meets the requirements of the applicable Uniform Land Use Code of Weber County. The Planning Commission may impose additional conditions in order to ensure full compliance with the required standards. In making a decision, the Planning Commission should consider the following questions:

- Are the proposed building and uses sized in proportion to the recreational amenities for which they will provide goods and services?
- Could the additional height of the condominium project be harmful to the adjacent property owners? If yes, what conditions could be put in place to mitigate detrimental effects?
- Does the submittal meet the architectural detail standards required by LUC §108-1 & §108-2? If no, then what conditions/architectural details could be added in order to comply?
- Does additional landscaping and screening need to be implemented to add a softening effect to the structure in order to fully comply with the requirements of LUC §108-1 (Design Review) and §108-2 (Ogden Valley Architectural Standards)?
- Have the “Criteria for Issuance of Conditional Use Permit” and other applicable ordinances been met?

Staff Recommendation

The Planning Division recommends approval of file# CUP 2014-29, a conditional use permit request for a 54 unit condominium with 54 lockout rooms and an average building height of 46 feet as conditionally allowed in the CVR-1 Zone for the property located at 3567 E Nordic Valley Way, Eden. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. The conditional use permit will be contingent on the approval and recordation of a condominium subdivision plat.
2. The maximum average height as measured from the natural existing grade to the highest point on the roof line shall not exceed 46’.
3. All windows, glass store fronts and metal roof areas will consist of non-reflective material.
4. Adequate shielding of all outdoor lighting will be provided in order to conform to LUC §108-16 pertaining to the Ogden Valley Lighting requirements.
5. Minor site plan alterations may be approved by the Planning Director but none so much that will surpass the approvals made by the Planning Commission.
6. Requirements of the Weber County Building Division.
7. Requirements and recommendations of the Weber Fire District.
8. Requirements of the Weber County Engineering Division.
9. Requirements of the Weber-Morgan Health Department.

This recommendation is based on the following findings:

1. The proposed use conforms to the goals, objectives and policies of the Ogden Valley General Plan.
2. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
3. The proposed building and uses are proportionately sized to the recreational amenities for which they provide goods and services.
4. The additional building height will allow for a smaller building footprint, reducing storm runoff and overall soil disturbance.
5. The proposed use, if conditions are imposed, will not be detrimental to the public health, safety, or welfare.

Exhibits

- A. Original/revised building comparison
- B. Architectural Elevations
 - 1. A201 (Architectural Renderings)
 - 2. A201 (Exterior Building Elevations)
 - 3. Original Elevations
- C. Architectural Site Plan
 - 1. AS101 (Site Plan)
 - 2. A101 (Lower Level Floor Plan & Parking)
 - 3. A102 (Second Level Floor Plan)
 - 4. A103 (Third Level Floor Plan)
 - 5. A104 (Fourth Level Floor Plan)
 - 6. A105 (Fifth Level Floor Plan)
 - 7. A106 (Sixth Level Floor Plan)
- D. Civil Drawings
- E. Culinary Water Will-Serve Letter
- F. Sanitary Will-Serve Letter
- G. Landscape & Irrigation Plans

Map 1



Map 2

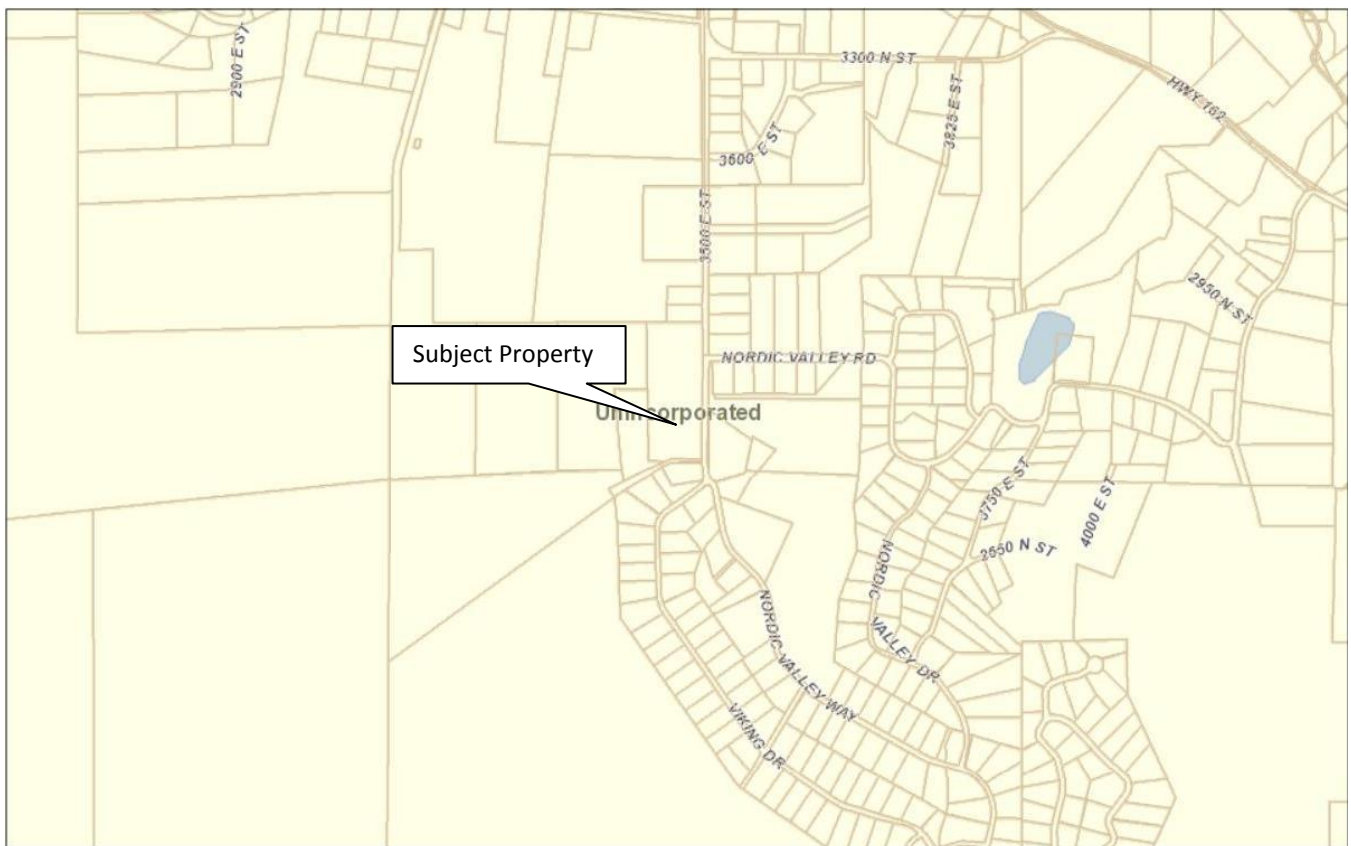


Exhibit A- Original/Revised Building Comparison

Original Proposal



Revised Proposal

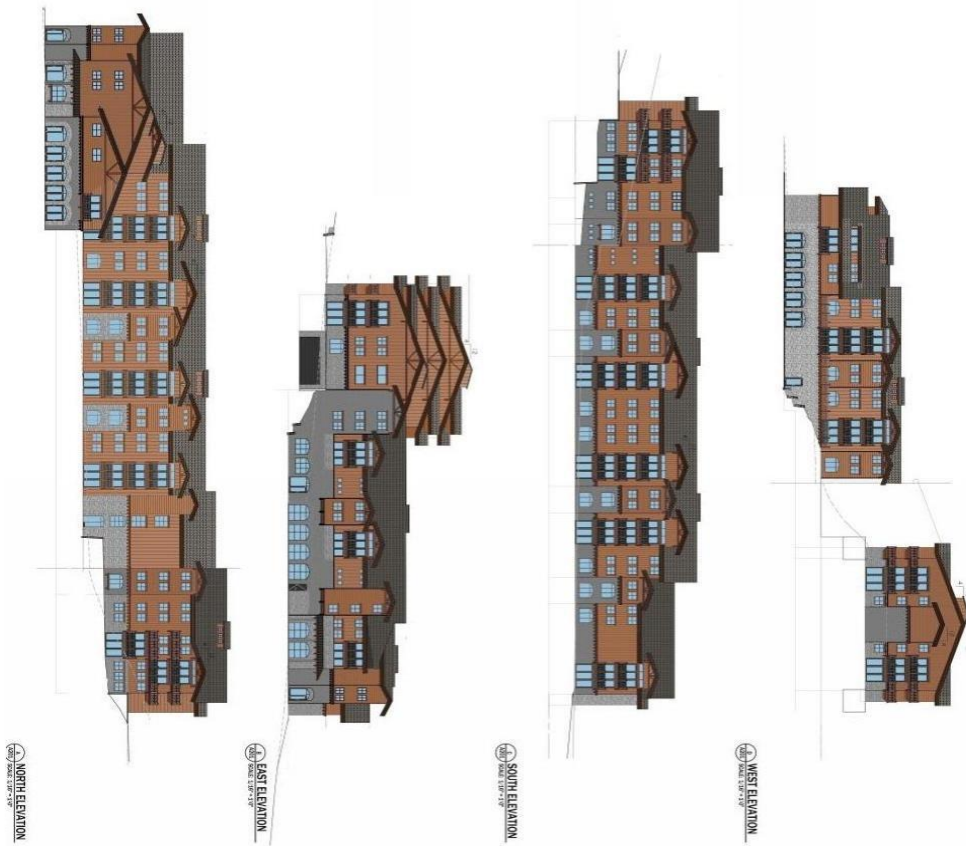
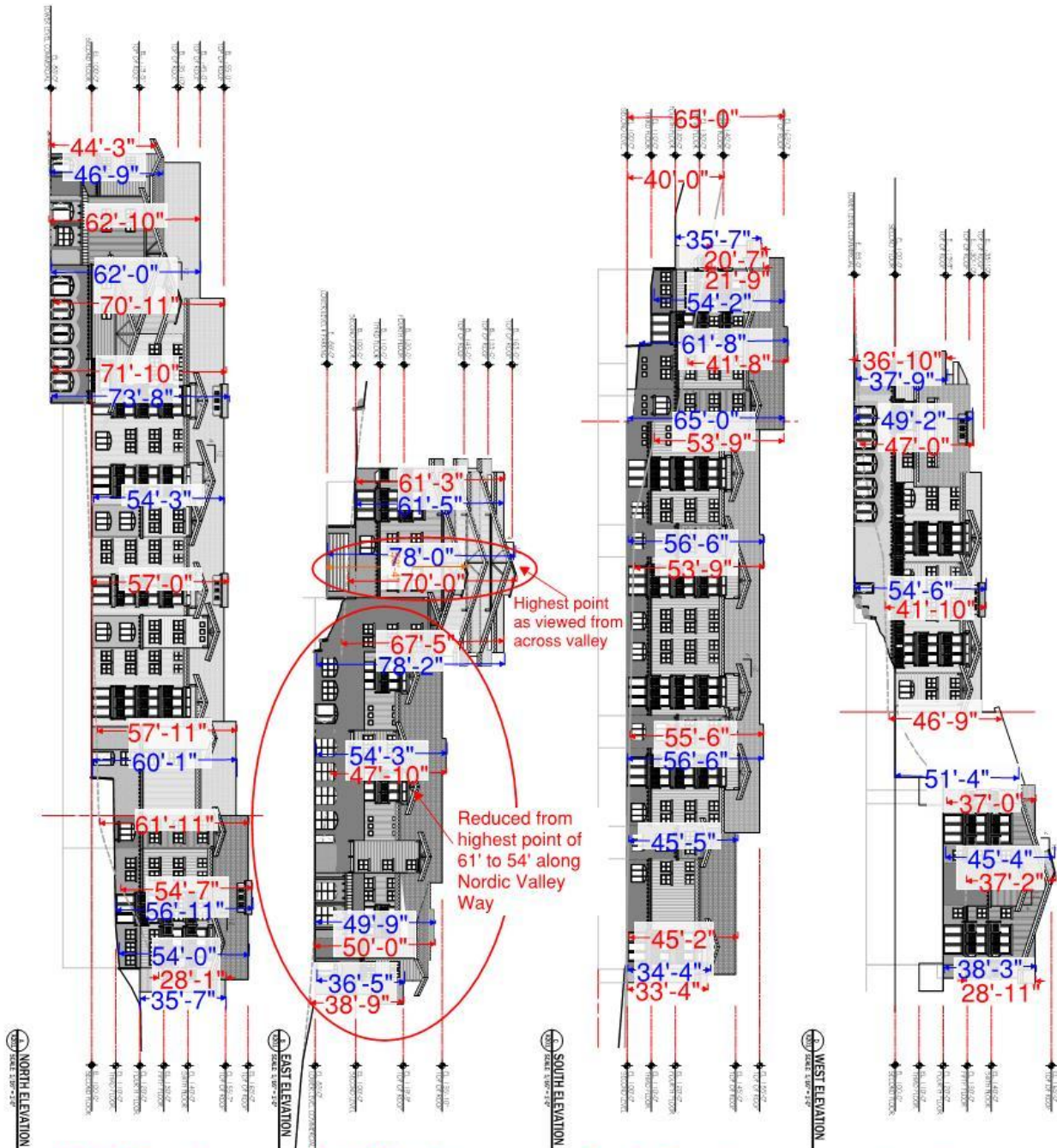


Exhibit B-2 Exterior Building Elevations



North Elevation
Avg: 49'11"

East Elevation
Avg: 44'6"

South Elevation
Avg: 46'8"

West Elevation
Avg: 38'3"

EXTERIOR FINISH MATERIALS		AVERAGE HEIGHT ABOVE FINISHED GRADE	
WEST	36'-7"	WEST	45'-4"
SOUTH	46'-8"	SOUTH	45'-4"
EAST	44'-6"	EAST	45'-4"
NORTH	49'-11"	NORTH	45'-4"
TOTAL AVERAGE	44'-6"	TOTAL AVERAGE	45'-4"

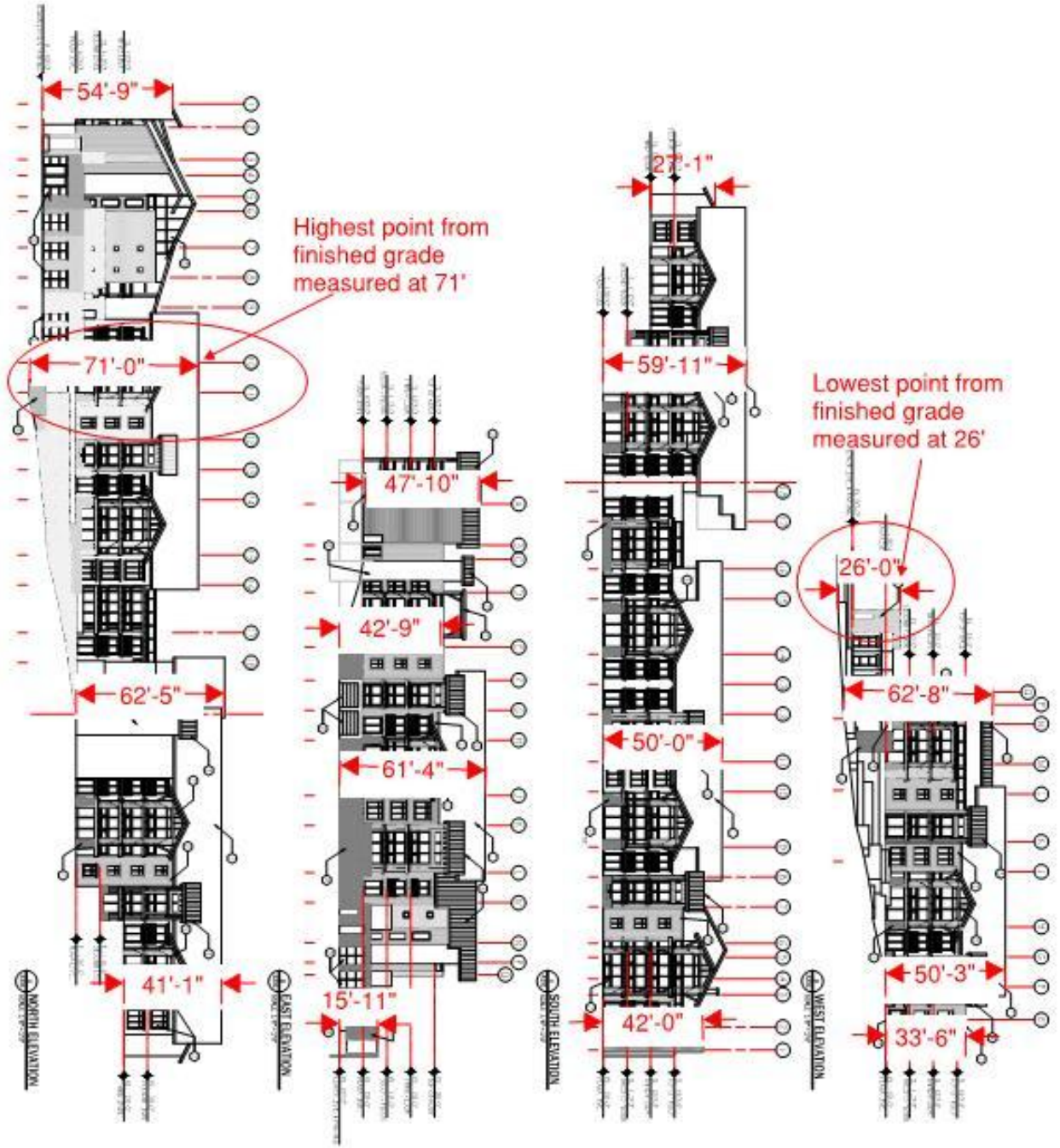
***Existing Grade Average Height: 45'4"**
***Finished Grade Average Height: 51'11"**

ELEVATION NOTES:

1. THREE VIEWS
2. SECTION THROUGH DOORS
3. SECTION THROUGH WINDOWS
4. SECTION THROUGH ROOF
5. SECTION THROUGH TERRACE
6. SECTION THROUGH PORCH
7. SECTION THROUGH BALCONY
8. SECTION THROUGH STAIRS
9. SECTION THROUGH ELEVATOR
10. SECTION THROUGH MECHANICAL ROOM
11. SECTION THROUGH ELECTRICAL ROOM
12. SECTION THROUGH TELEPHONE ROOM
13. SECTION THROUGH JANETRY
14. SECTION THROUGH RESTROOM
15. SECTION THROUGH STORAGE ROOM
16. SECTION THROUGH UNITS
17. SECTION THROUGH GARAGE
18. SECTION THROUGH DRIVEWAY
19. SECTION THROUGH DRIVE
20. SECTION THROUGH SIDEWALK
21. SECTION THROUGH CURB
22. SECTION THROUGH DRIVEWAY
23. SECTION THROUGH DRIVE
24. SECTION THROUGH SIDEWALK
25. SECTION THROUGH CURB

OWNER: PINE CANYON LODGE
PROJECT: PINE VALLEY CONDOMINIUMS
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310
DATE: 3/3/15
SHEET NUMBER: A201
EXTENSION: EXTERIOR BUILDING ELEVATIONS

Exhibit B-3 Original Proposal Exterior Building Elevations

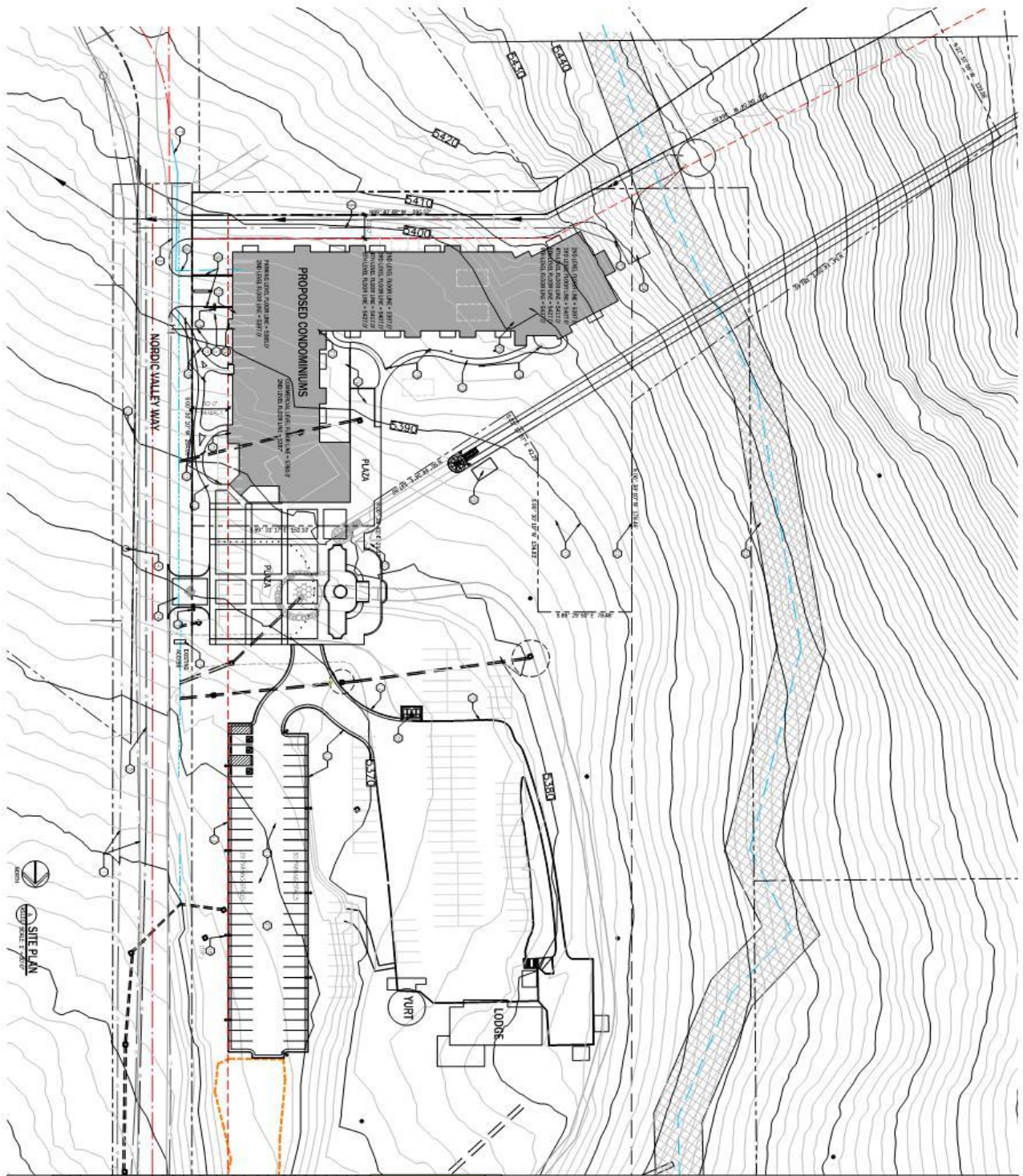


ELEVATION LEGEND	
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93. FINISH MATERIAL	94. FINISH MATERIAL
95. FINISH MATERIAL	96. FINISH MATERIAL
97. FINISH MATERIAL	98. FINISH MATERIAL
99. FINISH MATERIAL	100. FINISH MATERIAL

OWNER: PINE CANYON LODGE, INC.	PROJECT: PINE CANYON CONDOMINIUM
LOCATION: 2949 N. NORDIC VALLEY WAY, EDEN, UTAH 84310	
© 2018 Architect. The drawing shall not be reproduced without consent of the architect, and shall be used for any project other than the originally intended project.	

Exhibit C-1 (AS101 Site Plan)



SITE PLAN NOTES

1. EXISTING PINE CANYON LODGE
2. EXISTING PINE CANYON LODGE
3. EXISTING PINE CANYON LODGE
4. EXISTING PINE CANYON LODGE
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25. EXISTING PINE CANYON LODGE
26. EXISTING PINE CANYON LODGE
27. EXISTING PINE CANYON LODGE
28. EXISTING PINE CANYON LODGE
29. EXISTING PINE CANYON LODGE
30. EXISTING PINE CANYON LODGE

SCHEMATIC FINANCING REQUIREMENTS

TYPE	PERCENTAGE	REMARKS
GENERAL	100%	
CONSTRUCTION	100%	
LAND ACQUISITION	100%	
PERMITS	100%	
UTILITIES	100%	
PROFESSIONAL FEES	100%	
MARKETING	100%	
RESERVE FUNDS	100%	
CONTINGENCY	100%	

NEIGHBORHOOD MAP

OWNER: PINE CANYON LODGE
PROJECT: PINE VALLEY CONDOMINIUMS
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310
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SITE PLAN

SHEET NUMBER
AS101

DATE: 3/14/15

vanZEEB ARCHITECTURE
 1000 S. 1000 W. SUITE 100
 EDEN, UTAH 84310
 (435) 426-1111
 www.vanzeeb.com

DATE: 3/14/15

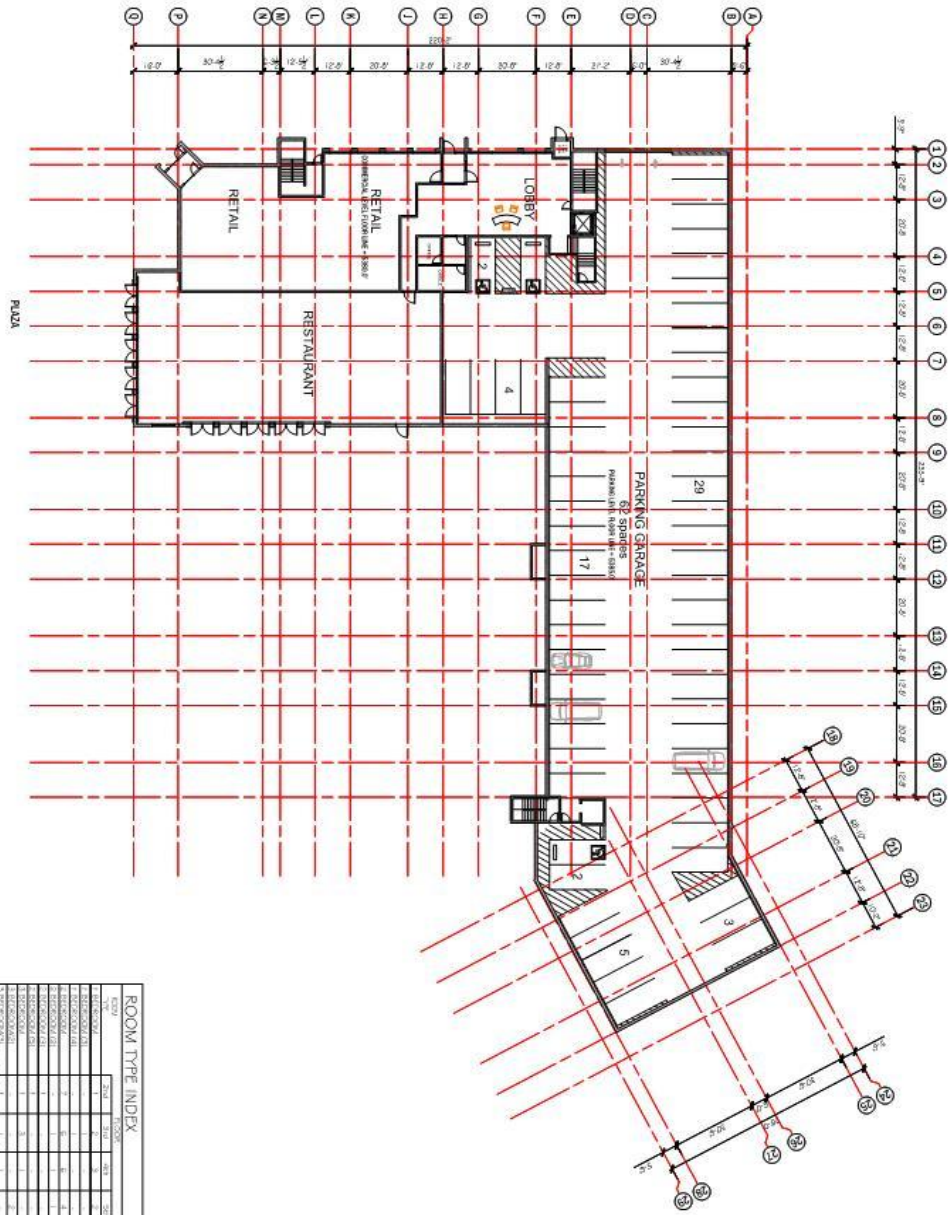
OWNER: PINE CANYON LODGE

DESIGNER: JACOB

CHECKER: JACOB

SCALE: AS SHOWN

Exhibit C-2 (A101 Lower Level Floor Plan & Parking)



ROOM TYPE INDEX										
ROOM	NO.	AREA	PERCENT	NO.	AREA	PERCENT	NO.	AREA	PERCENT	TOTAL
STAIR	1	1.0	0.01	1	1.0	0.01	1	1.0	0.01	3.0
STAIR	2	1.0	0.01	2	1.0	0.01	2	1.0	0.01	3.0
STAIR	3	1.0	0.01	3	1.0	0.01	3	1.0	0.01	3.0
STAIR	4	1.0	0.01	4	1.0	0.01	4	1.0	0.01	3.0
STAIR	5	1.0	0.01	5	1.0	0.01	5	1.0	0.01	3.0
STAIR	6	1.0	0.01	6	1.0	0.01	6	1.0	0.01	3.0
STAIR	7	1.0	0.01	7	1.0	0.01	7	1.0	0.01	3.0
STAIR	8	1.0	0.01	8	1.0	0.01	8	1.0	0.01	3.0
STAIR	9	1.0	0.01	9	1.0	0.01	9	1.0	0.01	3.0
STAIR	10	1.0	0.01	10	1.0	0.01	10	1.0	0.01	3.0
STAIR	11	1.0	0.01	11	1.0	0.01	11	1.0	0.01	3.0
STAIR	12	1.0	0.01	12	1.0	0.01	12	1.0	0.01	3.0
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STAIR	23	1.0	0.01	23	1.0	0.01	23	1.0	0.01	3.0
STAIR	24	1.0	0.01	24	1.0	0.01	24	1.0	0.01	3.0
STAIR	25	1.0	0.01	25	1.0	0.01	25	1.0	0.01	3.0
STAIR	26	1.0	0.01	26	1.0	0.01	26	1.0	0.01	3.0
STAIR	27	1.0	0.01	27	1.0	0.01	27	1.0	0.01	3.0
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STAIR	29	1.0	0.01	29	1.0	0.01	29	1.0	0.01	3.0
STAIR	30	1.0	0.01	30	1.0	0.01	30	1.0	0.01	3.0
STAIR	31	1.0	0.01	31	1.0	0.01	31	1.0	0.01	3.0
STAIR	32	1.0	0.01	32	1.0	0.01	32	1.0	0.01	3.0
STAIR	33	1.0	0.01	33	1.0	0.01	33	1.0	0.01	3.0
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STAIR	35	1.0	0.01	35	1.0	0.01	35	1.0	0.01	3.0
STAIR	36	1.0	0.01	36	1.0	0.01	36	1.0	0.01	3.0
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STAIR	62	1.0	0.01	62	1.0	0.01	62	1.0	0.01	3.0
STAIR	63	1.0	0.01	63	1.0	0.01	63	1.0	0.01	3.0
STAIR	64	1.0	0.01	64	1.0	0.01	64	1.0	0.01	3.0
STAIR	65	1.0	0.01	65	1.0	0.01	65	1.0	0.01	3.0
STAIR	66	1.0	0.01	66	1.0	0.01	66	1.0	0.01	3.0
STAIR	67	1.0	0.01	67	1.0	0.01	67	1.0	0.01	3.0
STAIR	68	1.0	0.01	68	1.0	0.01	68	1.0	0.01	3.0
STAIR	69	1.0	0.01	69	1.0	0.01	69	1.0	0.01	3.0
STAIR	70	1.0	0.01	70	1.0	0.01	70	1.0	0.01	3.0
STAIR	71	1.0	0.01	71	1.0	0.01	71	1.0	0.01	3.0
STAIR	72	1.0	0.01	72	1.0	0.01	72	1.0	0.01	3.0
STAIR	73	1.0	0.01	73	1.0	0.01	73	1.0	0.01	3.0
STAIR	74	1.0	0.01	74	1.0	0.01	74	1.0	0.01	3.0
STAIR	75	1.0	0.01	75	1.0	0.01	75	1.0	0.01	3.0
STAIR	76	1.0	0.01	76	1.0	0.01	76	1.0	0.01	3.0
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STAIR	79	1.0	0.01	79	1.0	0.01	79	1.0	0.01	3.0
STAIR	80	1.0	0.01	80	1.0	0.01	80	1.0	0.01	3.0
STAIR	81	1.0	0.01	81	1.0	0.01	81	1.0	0.01	3.0
STAIR	82	1.0	0.01	82	1.0	0.01	82	1.0	0.01	3.0
STAIR	83	1.0	0.01	83	1.0	0.01	83	1.0	0.01	3.0
STAIR	84	1.0	0.01	84	1.0	0.01	84	1.0	0.01	3.0
STAIR	85	1.0	0.01	85	1.0	0.01	85	1.0	0.01	3.0
STAIR	86	1.0	0.01	86	1.0	0.01	86	1.0	0.01	3.0
STAIR	87	1.0	0.01	87	1.0	0.01	87	1.0	0.01	3.0
STAIR	88	1.0	0.01	88	1.0	0.01	88	1.0	0.01	3.0
STAIR	89	1.0	0.01	89	1.0	0.01	89	1.0	0.01	3.0
STAIR	90	1.0	0.01	90	1.0	0.01	90	1.0	0.01	3.0
STAIR	91	1.0	0.01	91	1.0	0.01	91	1.0	0.01	3.0
STAIR	92	1.0	0.01	92	1.0	0.01	92	1.0	0.01	3.0
STAIR	93	1.0	0.01	93	1.0	0.01	93	1.0	0.01	3.0
STAIR	94	1.0	0.01	94	1.0	0.01	94	1.0	0.01	3.0
STAIR	95	1.0	0.01	95	1.0	0.01	95	1.0	0.01	3.0
STAIR	96	1.0	0.01	96	1.0	0.01	96	1.0	0.01	3.0
STAIR	97	1.0	0.01	97	1.0	0.01	97	1.0	0.01	3.0
STAIR	98	1.0	0.01	98	1.0	0.01	98	1.0	0.01	3.0
STAIR	99	1.0	0.01	99	1.0	0.01	99	1.0	0.01	3.0
STAIR	100	1.0	0.01	100	1.0	0.01	100	1.0	0.01	3.0

MAINTENANCE
 PLUMBING
 ELECTRICAL
 MECHANICAL
 ELEVATOR

DATE: 3/20/15
 SHEET NUMBER: A101
 MAINTENANCE FLOOR PLAN

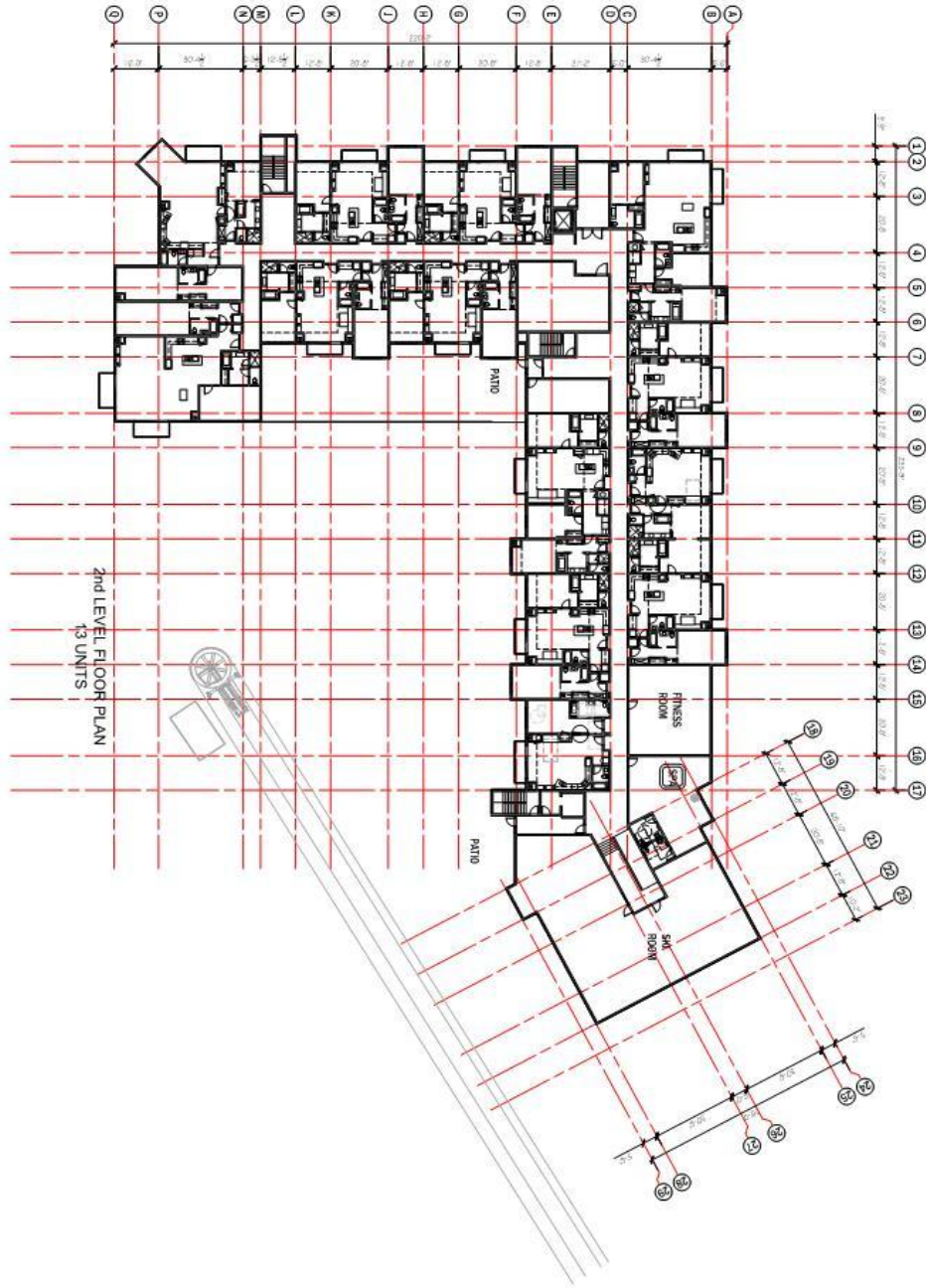
OWNER: PINE CANYON LODGE, INC.
 PROJECT: PINE CANYON CONDOMINIUM
 LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

vanZellen Architects. This drawing shall not be reproduced without consent of vanZellen Architects, nor shall it be used for any project other than the originally intended project.

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 3/20/15

vanZellen ARCHITECTS
 1000 South Main Street
 Suite 100
 Salt Lake City, UT 84143
 Phone: 313.222.2222
 Fax: 313.222.2222
 www.vanzellen.com

Exhibit C-3 (A102 Second Level Floor Plan)



2nd LEVEL FLOOR PLAN
13 UNITS

PATIO

PATIO

FITNESS ROOM

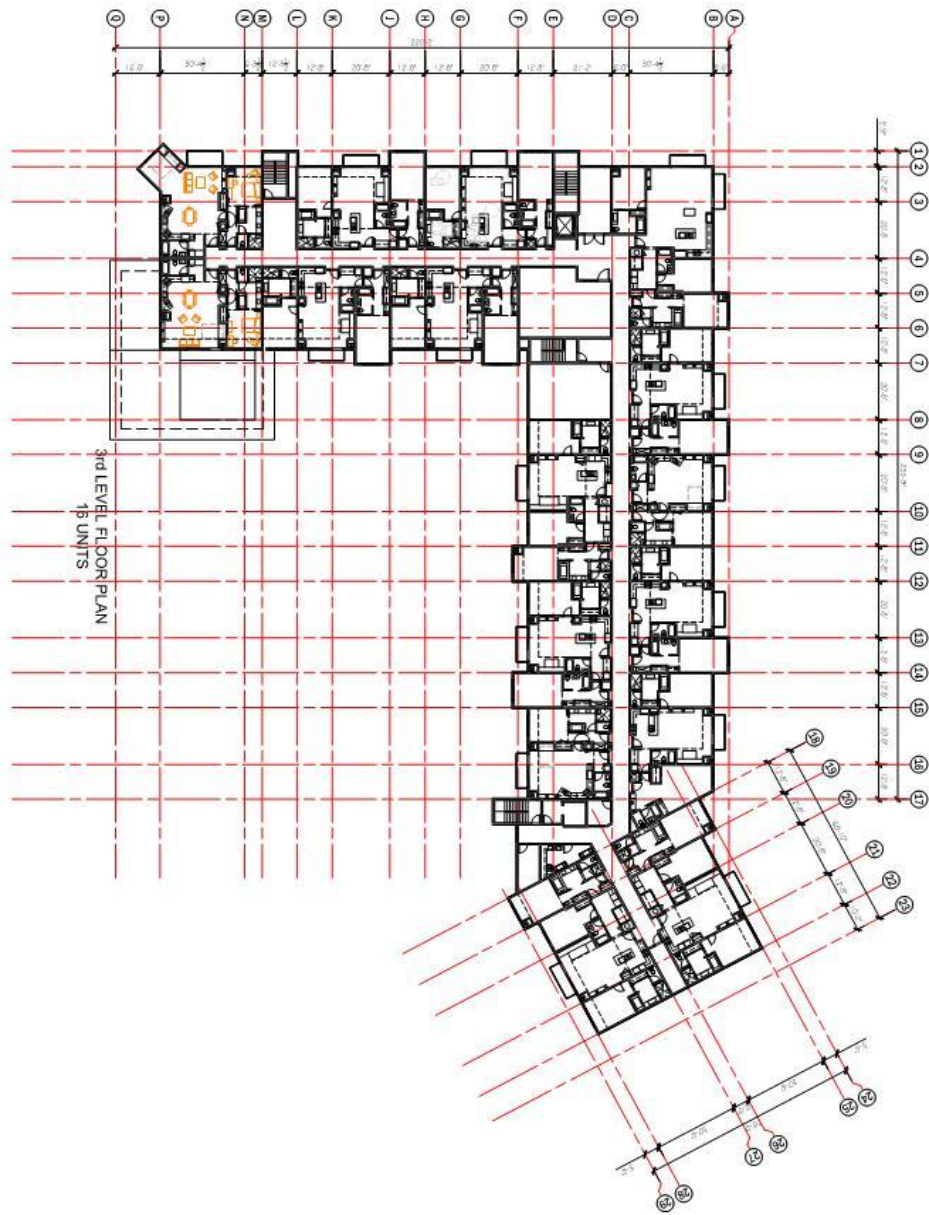
SPA ROOM



SECOND LEVEL FLOOR PLAN

SHEET NUMBER A102 DATE: 3/2/13	SECOND LEVEL FLOOR PLAN		OWNER: PINE CANYON LODGE, INC. PROJECT: PINE CANYON CONDOMINIUM LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310 <small>©vanZeebe Architecture. This drawing shall not be reproduced without consent of vanZeebe Architecture, nor shall it be used for any project other than the originally intended project.</small>	<table border="1"> <tr> <td>DATE: 3/2/13</td> <td>DESIGNED BY: [blank]</td> </tr> <tr> <td>DRAWN BY: INC</td> <td>CHECKED BY: [blank]</td> </tr> </table>	DATE: 3/2/13	DESIGNED BY: [blank]	DRAWN BY: INC	CHECKED BY: [blank]	
DATE: 3/2/13	DESIGNED BY: [blank]								
DRAWN BY: INC	CHECKED BY: [blank]								

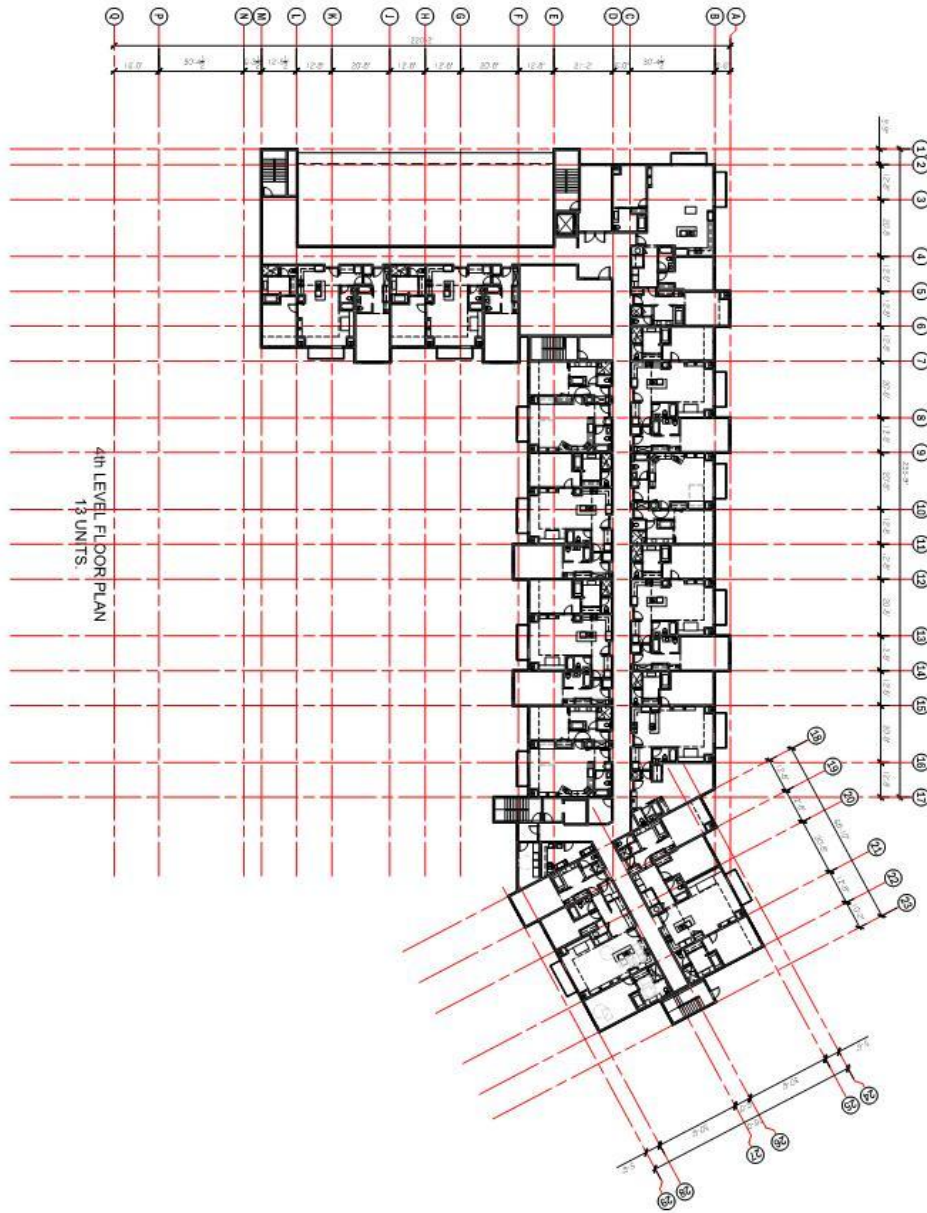
Exhibit C-4 (A103 Third Level Floor Plan)



THIRD LEVEL FLOOR PLAN
A103

	OWNER: PINE CANYON LODGE, INC.	
	PROJECT: PINE CANYON CONDOMINIUM	
	LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310	
DATE: 3/20/15 SHEET NUMBER: A103 THIRD LEVEL FLOOR PLAN	©vanZeben Architects. This drawing shall not be reproduced without consent of vanZeben Architects, nor shall it be used for any project other than the originally intended project.	DESIGN: JEN DRAWING: EV CHECKED:

Exhibit C-5 (A104 Fourth Level Floor Plan)



4th LEVEL FLOOR PLAN
13 UNITS

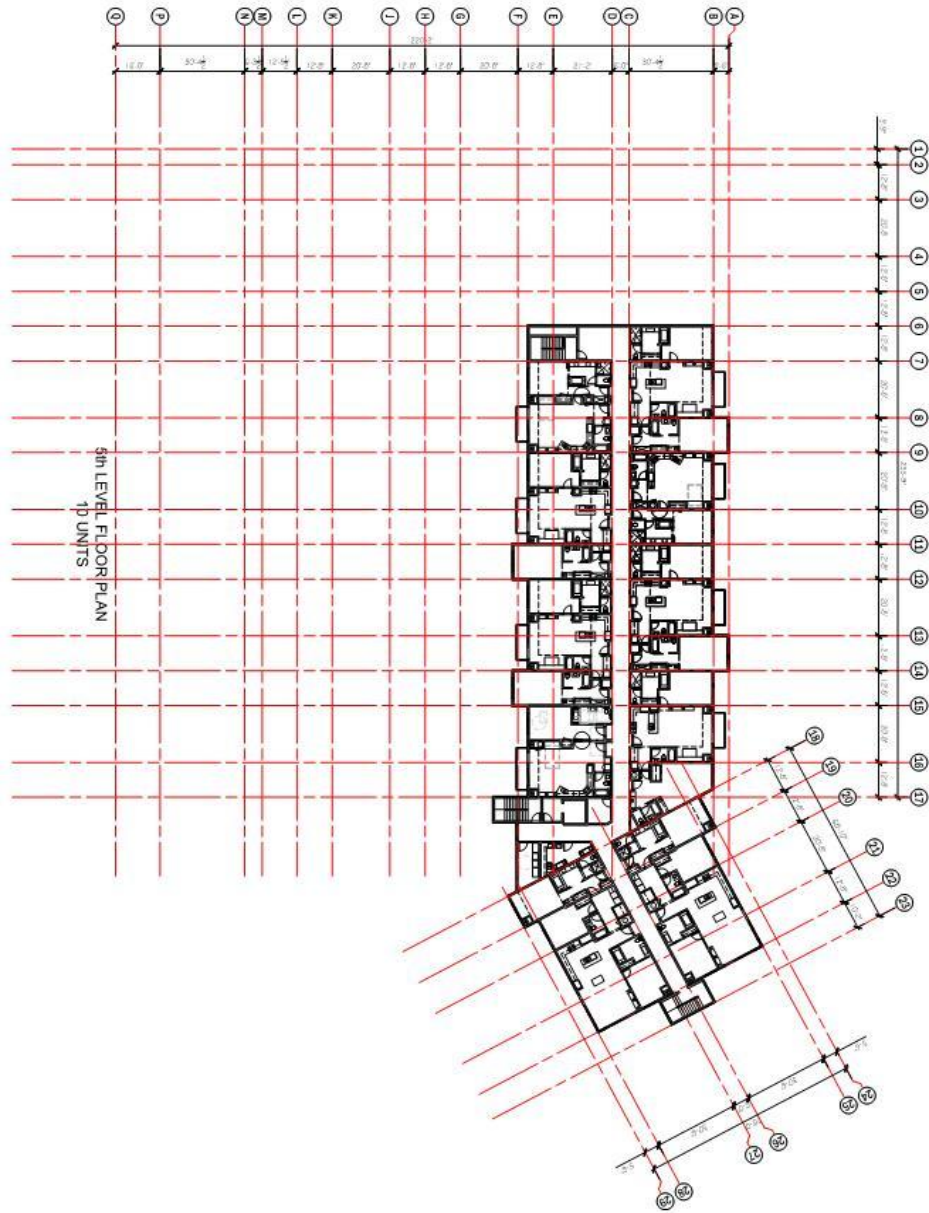




FOURTH LEVEL FLOOR PLAN

	OWNER: PINE CANYON LODGE, INC.	
	PROJECT: PINE CANYON CONDOMINIUM LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310 <small>©vanZeben Architecture. This drawing shall not be reproduced without consent of vanZeben Architecture, nor shall it be used for any project other than the originally intended project.</small>	
SHEET NUMBER: A104 DATE: 3/20/13	PROJECT NO.: 2008 DRAWN BY: JNC CHECKED BY: JNC	PROJECT NO.: 2008 DRAWN BY: JNC CHECKED BY: JNC

Exhibit C-6 (A105 Fifth Level Floor Plan)



BETHLEHEM ENGINEERING
ARCHITECTS

SHEET NUMBER
A105
DATE: 3/9/15

BETHLEHEM
ENGINEERING
ARCHITECTS



OWNER: PINE CANYON LODGE, INC.
PROJECT: PINE CANYON CONDOMINIUM

LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

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<p>DATE: 3/9/15</p> <p>DESIGNED BY: []</p> <p>CHECKED BY: []</p>	<p>PROJECT: PINE CANYON CONDOMINIUM</p> <p>DATE: 3/9/15</p> <p>SCALE: AS SHOWN</p>	<p>BETHLEHEM ENGINEERING ARCHITECTS</p> <p>1000 North Valley Way Eden, Utah 84310 Phone: 435-426-1111 Fax: 435-426-1112</p>
--	--	---

Exhibit C-7 (A106 Sixth Level Floor Plan)

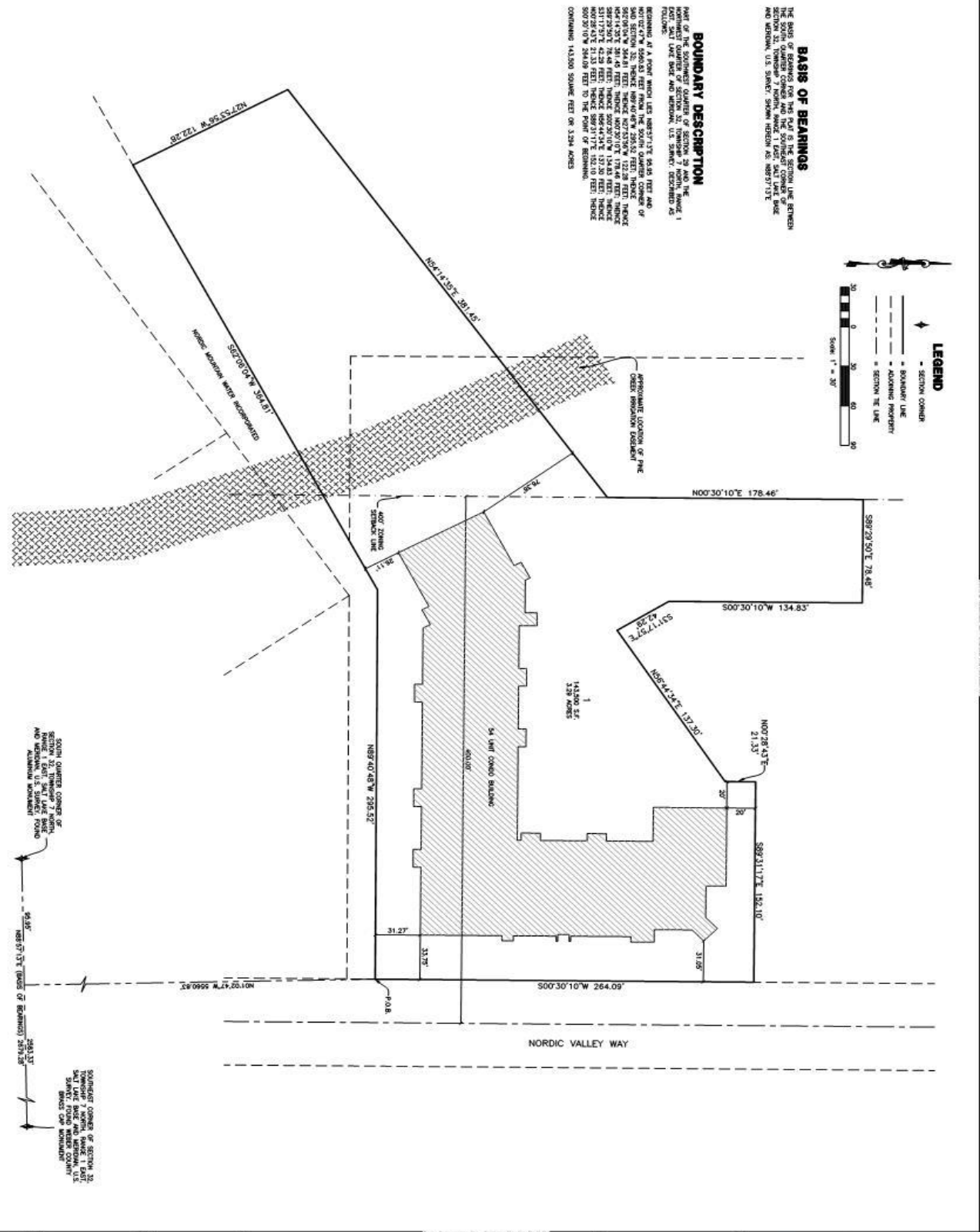


6th LEVEL FLOOR PLAN
4 UNITS

6th LEVEL FLOOR PLAN
SHEET NUMBER
A106

DATE: 3/20/15 SHEET NUMBER: A106 6TH LEVEL FLOOR PLAN		OWNER: PINE CANYON LODGE, INC. PROJECT: PINE CANYON CONDOMINIUM LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310 <small>©vanZeeh Architecture. This drawing shall not be reproduced without consent of vanZeeh Architecture, nor shall it be used for any project other than the originally intended project.</small>	VANZEEH ARCHITECTURE 1000 S. 1000 E. SUITE 100 EDEN, UTAH 84310 (435) 438-1111 www.vanzeeh.com
---	--	---	--

Exhibit D Civil Drawings



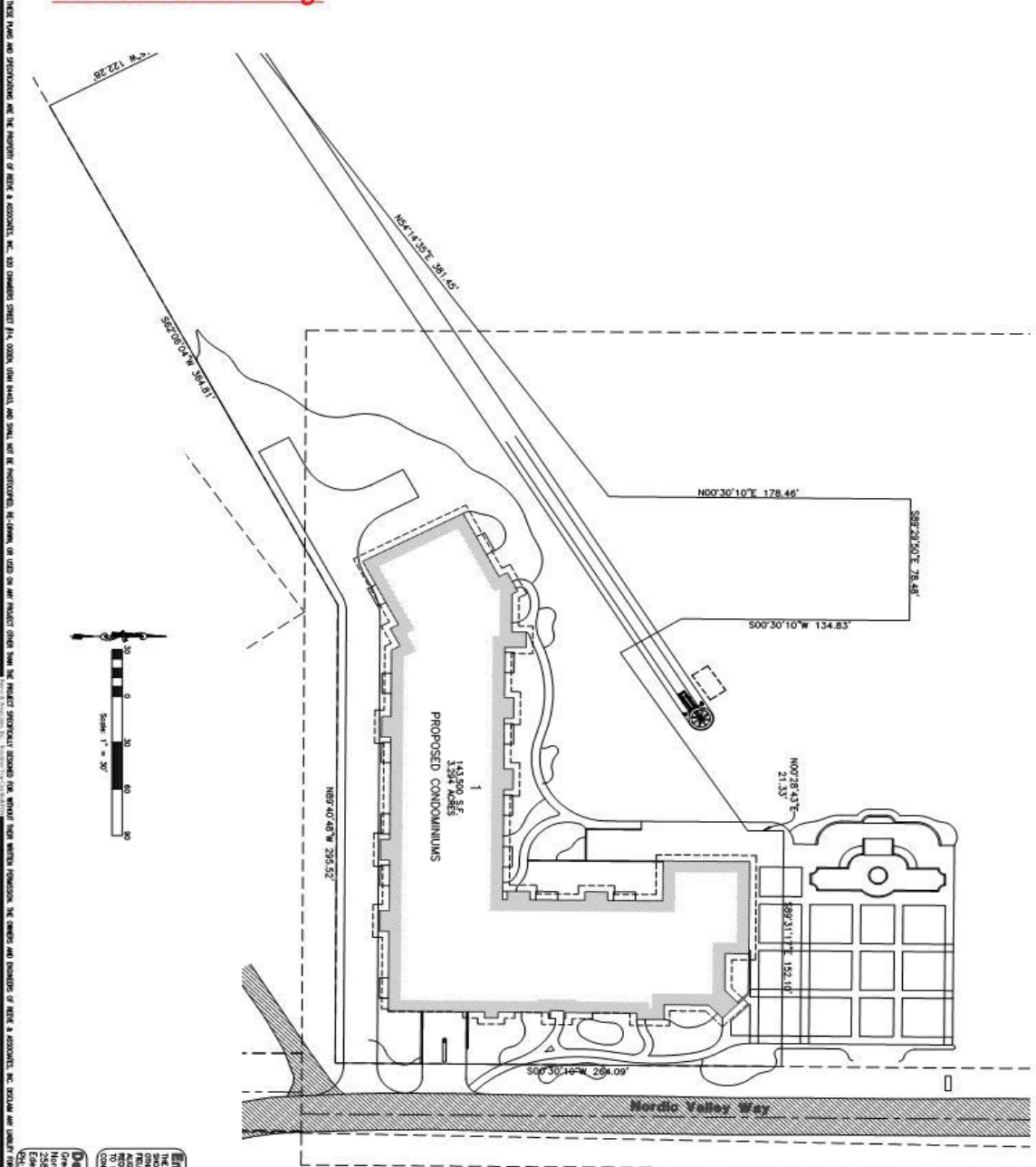
<p>PROJECT INFO</p> <p>Client: REEVE & ASSOCIATES, INC.</p> <p>Project: PINE CANYON CONDO - BUILDING 1</p> <p>Scale: 1" = 20'</p> <p>Revision: 1-2024</p>	<p>PRELIMINARY PLAN</p> <p>WEBER COUNTY, UTAH</p> <p>PINE CANYON CONDO - BUILDING 1</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	DESCRIPTION							<p>Reeve & Associates, Inc.</p> <p>1400 CHANDLER STREET SUITE 110 SALT LAKE CITY, UT 84119 TEL: (801) 467-1000 FAX: (801) 467-1001 WWW: REEVE-ASSOCIATES.COM</p>
DATE	DESCRIPTION										

Exhibit D Civil Drawings

- Project Narrative/Notes/Revisions**
- 1) 10/10/14 RM - COMPLETED DESIGN FOR CLIENT REVIEW.
 - 2) 10/22/14 RM - REVISION PLANS FOR ARCHITECT CHANGES.
 - 3) 11/2/14 RM - REVISION PLANS FOR ARCHITECT CHANGES.
 - 5) 2/26/15 RM - REVISION PLANS FOR ARCHITECT CHANGES.
 - 6) 3/10/15 RM - REVISION PLANS FOR ARCHITECT CHANGES.

PINE CANYON CONDOMINIUMS

Site Plans
EDEN, WEBER COUNTY, UTAH
OCTOBER 2014



- Sheet Index**
- Sheet 1 - Cover/Index Sheet
 - Sheet 2 - Notice & Legend Sheet
 - Sheet 3 - Existing Site Plan
 - Sheet 4 - Demolition Plan
 - Sheet 5 - Proposed Site Plan
 - Sheet 6 - Grading Plan
 - Sheet 7 - Utility Plan
 - Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
 - Sheet 9 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, RE-COPYED, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY IDENTIFIED FOR WHICH THEY WERE PREPARED. THE OWNER AND ENGINEER OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR ADDITIONS MADE TO THESE PLANS BY THE DESIGN TEAM PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

Developer's Contact:
Bryan Starn
Bryan Starn Construction
2500 North Highway 102
Eden, UT 84301-7014

Reeve & Associates, Inc. Contact:
Call Toll Free
1-800-662-4111
The Reeve Group serves you by

Revised: 3-10-15

Sheet	9
Of	9
DATE	OCTOBER 8, 2014
PROJECT	PINE CANYON CONDOMINIUMS
OWNER	REEVE & ASSOCIATES, INC.
DESIGNER	REEVE & ASSOCIATES, INC.
SCALE	AS SHOWN
DATE	OCTOBER 8, 2014
PROJECT	PINE CANYON CONDOMINIUMS
OWNER	REEVE & ASSOCIATES, INC.
DESIGNER	REEVE & ASSOCIATES, INC.
SCALE	AS SHOWN
DATE	OCTOBER 8, 2014



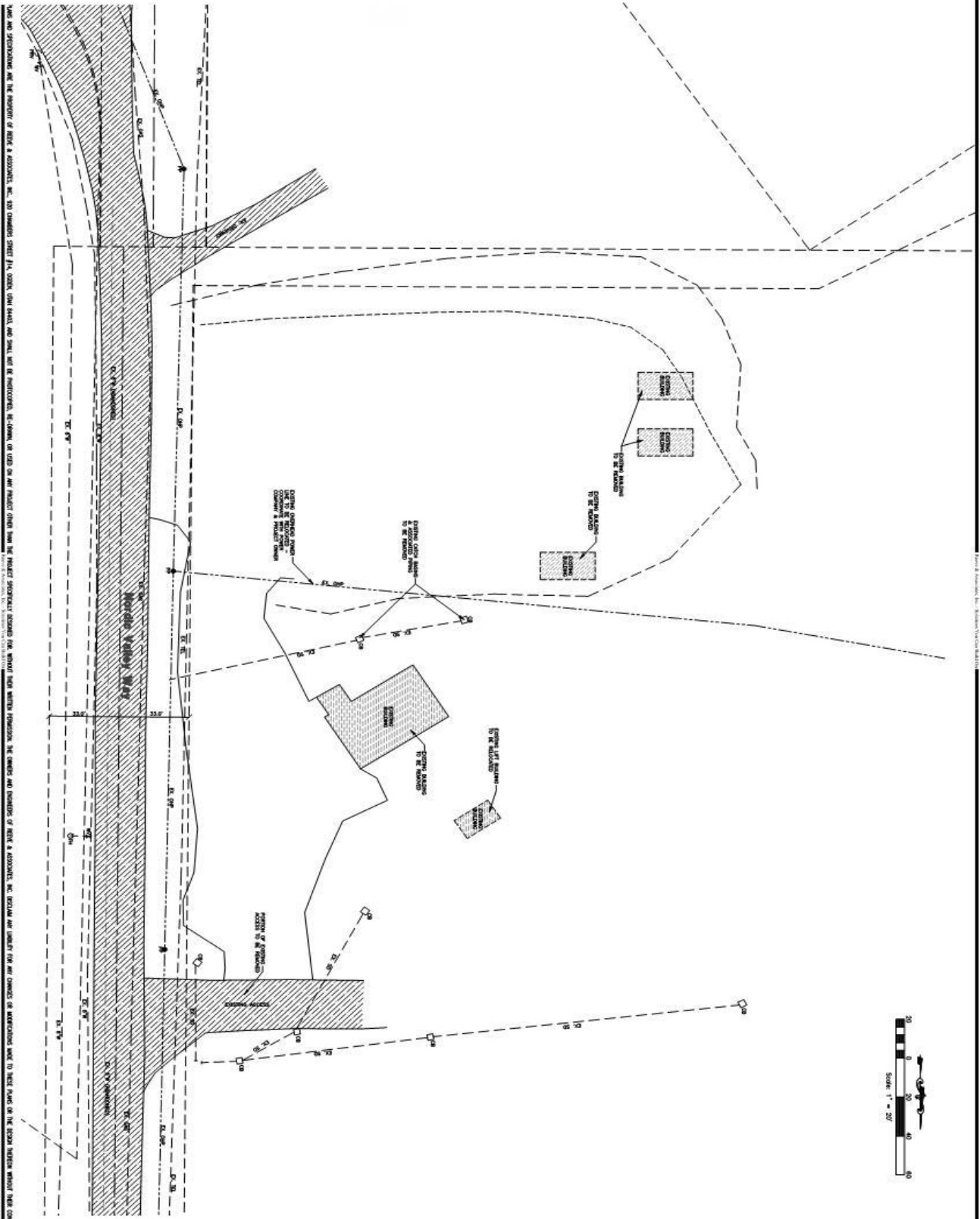
Pine Canyon Condominiums
EDEN, WEBER COUNTY, UTAH

Cover/Index Sheet

DATE	DESCRIPTION
11-21-14	RM Architect Changes
1-30-15	RM Architect Changes
2-2-15	RM Architect Changes
2-24-15	RM Architect Changes
3-10-15	RM Architect Changes

RA **Reeve & Associates, Inc.**

500 CHANDLER STREET, SUITE 104, EDEN, UTAH 84301
TEL: 202-551-2100 FAX: 202-551-2100
WWW.REEVE-ASSOCIATES.COM



READ AND SPECIFICATIONS AND THE INVENTORY OF WORK & CONDITIONS, INC. 303 CHAMBERS STREET, P.O. BOX 1000, COOK COUNTY, ILL. 60002. ON LOTS OR ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESCRIBED FOR WHICH THIS WRITING INSTRUMENT, THE OWNER AND ARCHITECT OF WORK & CONDITIONS, INC. OBTAIN AND LICENSE FOR ANY CHANGES OR AMENDMENTS MADE TO THESE PLANS OR THE EXISTING RECORD DRAWINGS THEREON.

Revised: 3-10-15

Sheet	9
4	Sheets
PROJECT NAME PINE CANYON CONDOMINIUMS 10101 S. 1000 E. ST. LOUIS, MO. 63104 OWNER CHAMBERS STREET P.O. BOX 1000 COOK COUNTY, ILL. 60002 DATE OCTOBER 8, 2014 DRAWN BY J. J. JENSEN CHECKED BY J. J. JENSEN DATE OCTOBER 8, 2014	

Pine Canyon Condominiums
EDNA, WEBER COUNTY, UTAH

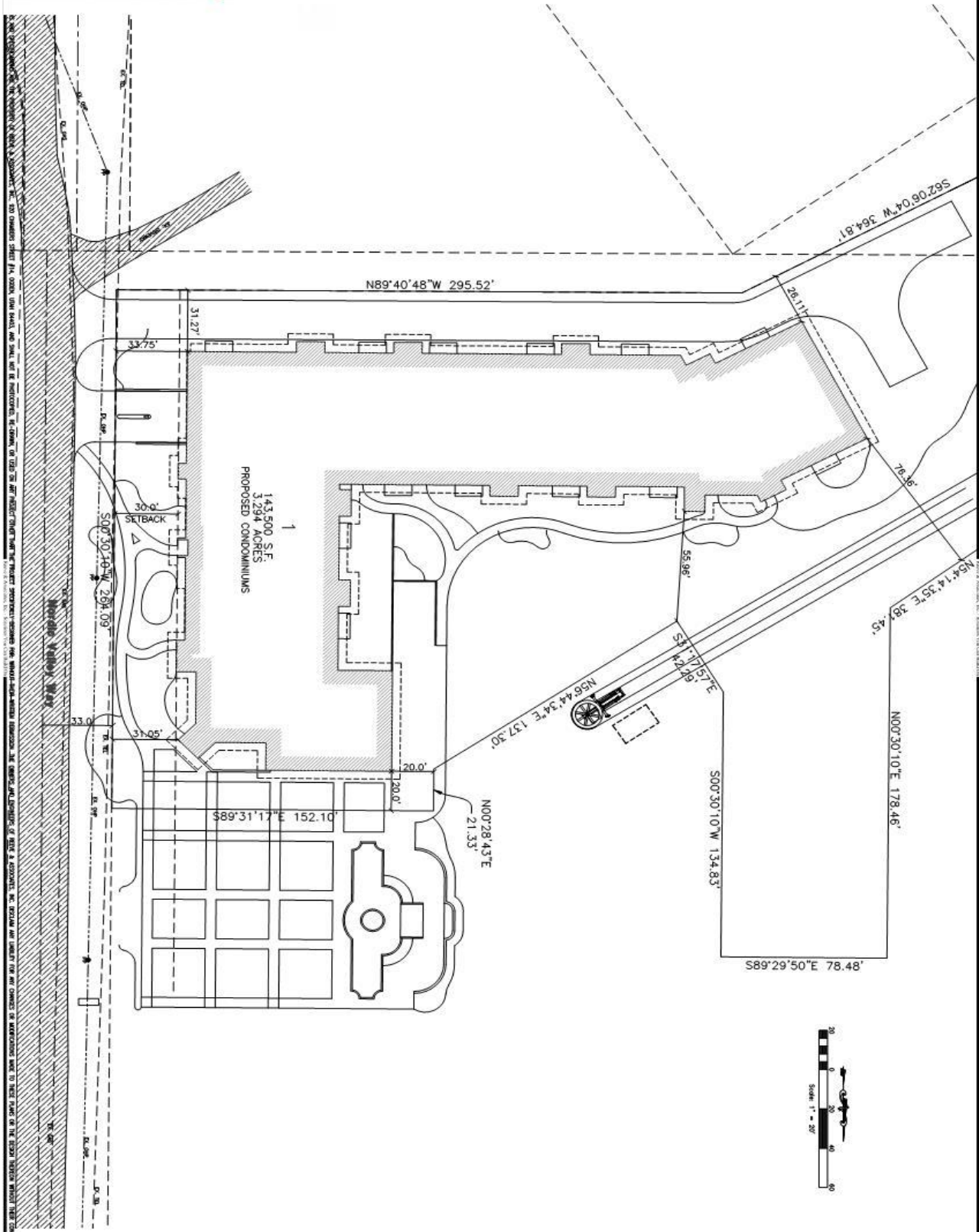
Demolition Plan

DATE	DESCRIPTION
11-11-14	RH Architect Changes
1-30-15	RH Architect Changes
2-2-15	SM Architect Changes
2-24-15	RH Architect Changes
3-10-15	RH Architect Changes


Reeve & Associates, Inc.

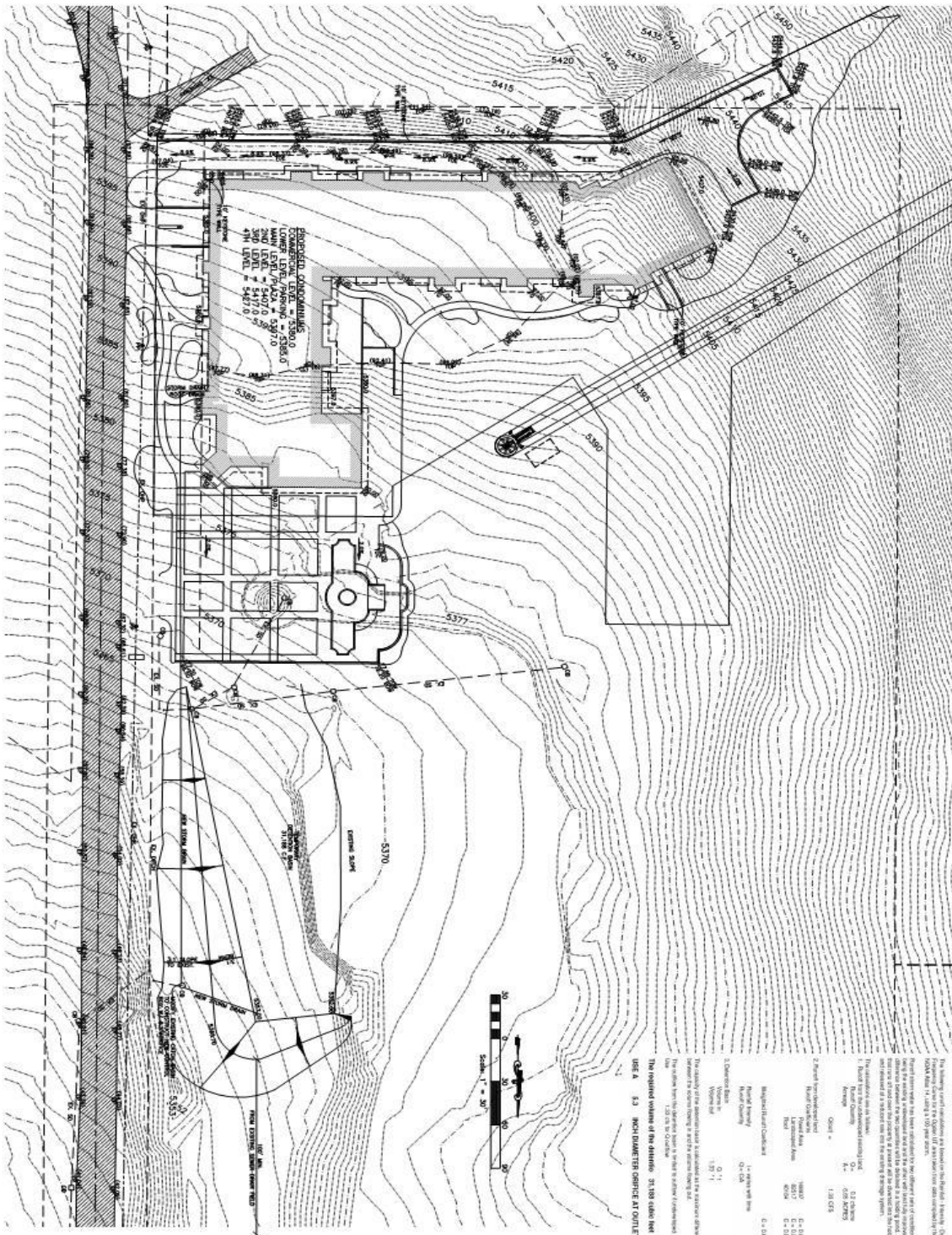
10101 S. 1000 E. ST. LOUIS, MO. 63104
TEL: (636) 621-2200 FAX: (636) 621-2208
WWW.REEVEANDASSOCIATES.COM
ARCHITECTS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Exhibit D Civil Drawings



Revised: 3-10-15

<p>Sheet 9 of 5 Sheets</p>	<p>PROPOSED PINE CANYON CONDOMINIUMS</p>	<p>Pine Canyon Condominiums EDEN, WEBER COUNTY, UTAH</p> <p>Proposed Site Plan</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>11-21-14</td> <td>RH Architect Changes</td> </tr> <tr> <td>1-30-15</td> <td>RH Architect Changes</td> </tr> <tr> <td>2-3-15</td> <td>RH Architect Changes</td> </tr> <tr> <td>2-24-15</td> <td>RH Architect Changes</td> </tr> <tr> <td>3-10-15</td> <td>RH Architect Changes</td> </tr> </tbody> </table>	DATE	DESCRIPTION	11-21-14	RH Architect Changes	1-30-15	RH Architect Changes	2-3-15	RH Architect Changes	2-24-15	RH Architect Changes	3-10-15	RH Architect Changes	 <p>Reeve & Associates, Inc.</p> <p>300 CHURCH STREET, SUITE 114, DENVER, COLORADO 80202 TEL: 303.462.2300 FAX: 303.462.2300 WWW.REEVE-ASSOCIATES.COM 1000 PINE BLVD. SUITE 1000 DENVER, CO 80202 CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECT</p>
DATE	DESCRIPTION															
11-21-14	RH Architect Changes															
1-30-15	RH Architect Changes															
2-3-15	RH Architect Changes															
2-24-15	RH Architect Changes															
3-10-15	RH Architect Changes															



Sheet 6 of 9

Revised: 3-10-15



Pine Canyon Condominiums
 EDEN, WEBER COUNTY, UTAH

Grading Plan

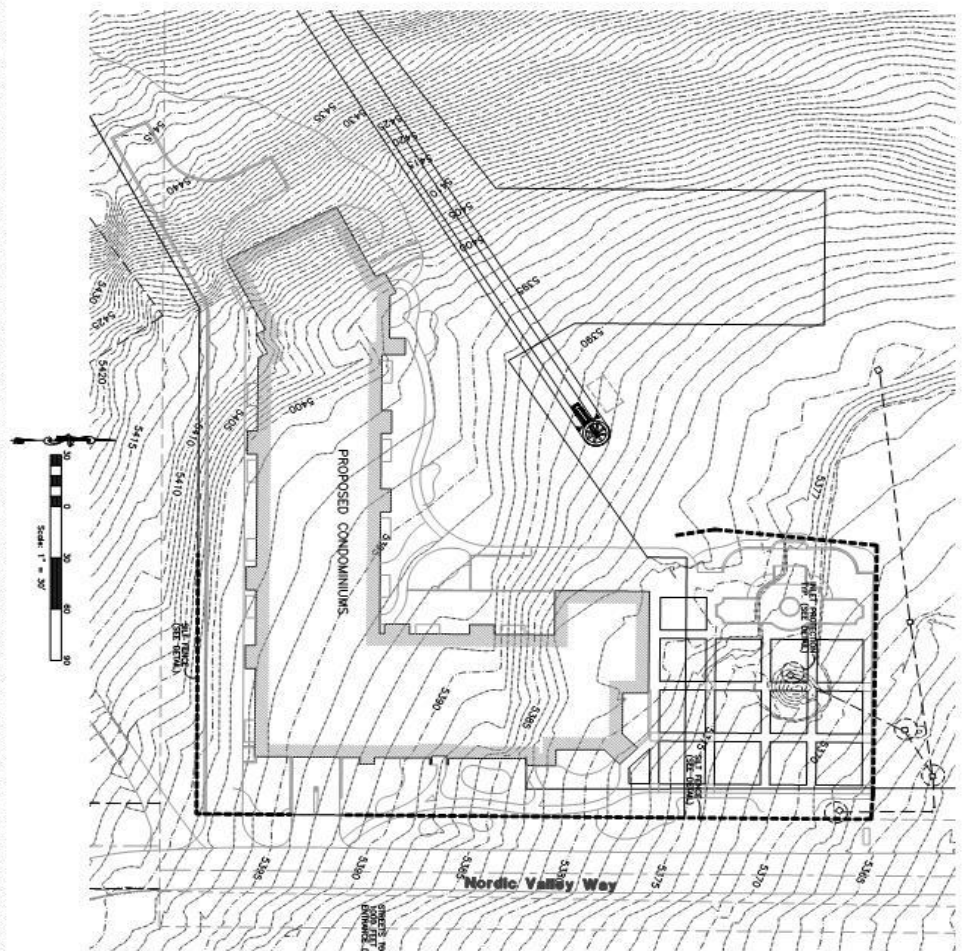
REVISIONS

DATE	DESCRIPTION
11-11-14	RH Architect Changes
1-30-15	RH Architect Changes
2-20-15	RH Architect Changes
2-24-15	RH Architect Changes
3-10-15	RH Architect Changes



Exhibit D Civil Drawings

Plan & Associates, Inc. - Sealed For Construction



PINE CANYON CONDOMINIUMS
Storm Water Pollution Prevention Plan Exhibit
 EDEN, WEBER COUNTY, UTAH
 OCTOBER 2014



Construction Activity Schedule

PROJECT LOCATION:	EDEN, WEBER COUNTY, UTAH
PROJECT RECORDING DATE:	OCTOBER 2014
PROJECT RECORDING TIME:	11:30 AM
STORM WATER MANAGEMENT CONSULTANT / INSPECTOR:	DAVID ANDERSON (801) 791-9154
STORM WATER MANAGEMENT SCHEDULE INCLUDING SWPPP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP:	SEE ATTACHED SCHEDULE

CONTRACT TO BE SIGNED WITHIN 30 DAYS OF RECORDING DATE OF THIS PLAN.

Revised: 3-10-15

Plan & Associates, Inc. - Sealed For Construction

Sheet	9
Sheets	8



Pine Canyon Condominiums
 EDEN, WEBER COUNTY, UTAH
Storm Water Pollution Prevention Plan Exhibit

REVISIONS

DATE	DESCRIPTION
11-21-14	RD - Architect Changes
1-30-15	RD - Architect Changes
2-3-15	RD - Architect Changes
2-24-15	RD - Architect Changes
3-10-15	RD - Architect Changes

RA & Associates, Inc.
 800 CHURCH STREET, SUITE 111, EDEN, UTAH 84510
 TEL: 800-851-2345 FAX: 801-851-2345
 WWW.PLANANDASSOCIATES.COM
 10000 SOUTH 1000 EAST, SUITE 1000, MIDWINTER, UTAH 84042
 ARCHITECT • ENGINEER • LANDSCAPE ARCHITECT

Exhibit E Culinary Water "Will-Serve Letter"

Nordic Mountain Water Inc.

Pine Canyon Lodge Inc.
54-Unit Pine Canyon Condominium Complex
Liberty, Utah 84310

Ref: Reservation Service Agreement

Nordic Mountain Water Inc. (NMWI) agrees to provide water for to the 54-unit Pine Canyon Lodge Inc. Condominium Complex under the following Terms and Conditions:

- (1) A 10% Non-refundable deposit is required on the total number of connections reserved multiplied by the current Infrastructure Fee per unit rounded up to nearest full unit. (i.e. 54-units X 10% = 5.4 rounded up to 6 units)
 - a. Reservation of Service is guaranteed for one year at the Infrastructure Fee rate in affect on the date this Reservation Service Agreement is signed by both NMWI and its representatives.
 - b. Options after one year are:
 - i. Pay outstanding balance of total Infrastructure Fees outlined in paragraph c.
 1. A monthly Stand-by fee is in affect thereafter until physical water connection is made. Currently, the standby fee is \$20/condo per month and is subject to change.
 - ii. Forfeit Reservation, deposit is non-refundable, Service Agreement is nullified.
 - iii. Renegotiate this Reservation Service Agreement at the discretion of NMWI. Previous deposits will continue to be credited to balance due while this service agreement is valid.
 - c. Details
 - i. Total Connections 54 condominiums
 - ii. Total Infrastructure Fee is \$405,000 based on 54 units X \$7,500 per unit
 - iii. Initial required non-refundable deposit is \$45,000 based on 6 units @ \$7,500 each
 - iv. Final payment of \$360,000 due 1 year from date this agreement is signed by both parties and the full deposit is paid.
 - v. Monthly charge per condominium (at completion):
 1. \$51.25 based on \$37+\$14.25 for up to 7,500 gals/month.
 2. Overages will be charged incrementally per 1000 gallons for usage exceeding 7,500 gallons – TBD.
 3. Monthly rate guaranteed for 1 year from date this agreement is signed.
 - d. Restrictions
 - i. Any Home Owners Association (HOA) organized by Pine Canyon Condominium Complex or Pine Canyon after this agreement is in place cannot include any culinary water provided by NMWI.
 - ii. No extensions to the water system developed for the Pine Canyon Condominium Complex that includes water provided by NMWI will be allowed beyond the initial 54-condominum units.
 - iii. Pine Canyon cannot resale, manage, restrict, or charge any additional fees for water provided by NMWI under any circumstance.



Exhibit E Culinary Water "Will-Serve Letter"

- iv. The 5th unit Pine Canyon Condominium Complex is considered to have one voting membership in NMWI.
- (2) Developer pays all costs including required modifications to existing NMWI infrastructure necessary to provide NMWI water to this condominium complex. In addition, the resulting water line extension design and all associated construction is subject to the following:
 - a. Must meet all State, County, and County Fire District Specifications and requirements
 - b. Must meet Water System Specifications as identified by NMWI
 - c. All waterline construction must be inspected and approved by NMWI or its identified Agent during all water system construction and/or modification.
 - d. NMWI will take possession of the modified portion of the system at the time of completion.
 - i. Developer will provide a warranty bond to cover costs of the modification during construction and for 1 year following completion of modifications or from date NMWI takes possession, whichever date is later.
- (3) NMWI uses a gravity-flow distribution system. Since an engineering study has not been completed for the proposed Pine Canyon Condominium complex, NMWI cannot guarantee adequate water pressure.
- (4) This agreement is a good faith effort by NMWI and contains terms and conditions as set forth by the NMWI board of directors, however, it may be subject to change pending review by NMWI legal counsel.

If these conditions are acceptable, please submit the appropriate deposit and sign this agreement. We also require purchase of one Membership (see item d paragraph iv) in NMWI at the current rate of \$300 at the time the Infrastructure Fees are paid. If you have any questions, please feel free to contact Bill Green at (801) 791-3976 anytime or through our NMWI office.

Sincerely,


Bill D. Green
President
Nordic Mountain Water

Agreement of Addendum of October 9, 2014:  Date: 10-16-14
Pine Canyon Representative: Josh Richards

Agreement of Addendum of October 9, 2014:  Date: 10/16/2014
Nordic Mountain Water, Inc. Representative: Bill D. Green

Addendum of October 9, 2014:

It is agreed that upon signature of *Agreement of Terms* above by both parties, this agreement is valid subject to NMWI receiving \$45,000 deposit on or before Oct. 21, 2014. If said deposit is not received by Oct. 21, 2014 this agreement shall become null and void.

Agreement of Addendum of October 9, 2014:  Date: 10-16-14
Pine Canyon Representative: Josh Richards

Agreement of Addendum of October 9, 2014:  Date: 10/16/2014
Nordic Mountain Water, Inc. Representative: Bill D. Green

Exhibit F Sanitary Waste Water "Will-Serve Letter"



Wolf Creek Water and Sewer Improvement District

P.O. Box 658
3632 N. Wolf Creek Dr.
Eden, Utah 84310
(801) 745-3435
Fax (801) 745-3454

October 7, 2014

Pine Canyon Lodge, Inc.
Attention: Jackson Stevens

Subject: Nordic Valley Area Wastewater Treatment Request

Wolf Creek Water and Sewer Improvement District (WCWSID) on 7 October, 2014 this letter is to notify Pine Canyon Lodge, Inc. that WCWSID has the waste water capacity and CAN and WILL serve 56 additional sewer connections from the Nordic Valley Area as requested.

Pine Canyon Lodge, Inc. will be responsible for all associated costs for all required engineering, impact fees, construction drawings, piping installation and all permit approval cost for delivering waste water to the WCWSID treatment plant as approved by WCWSID. Specific terms and conditions to be negotiated in a separate agreement.

Wolf Creek Water and Sewer Improvement District


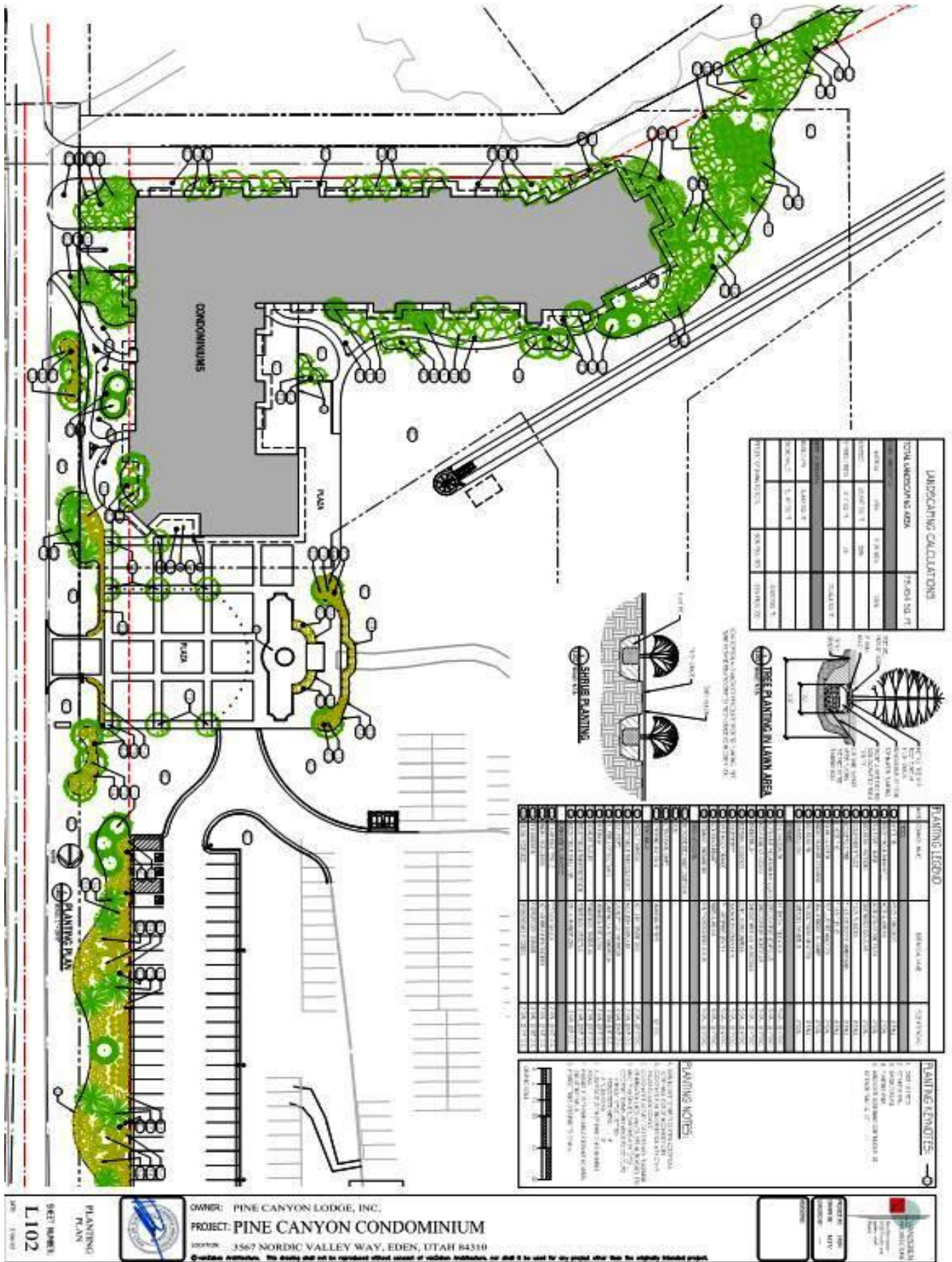

Robert Thomas, General Manager

Exhibit G Landscaping Plans (L102)



LANDSCAPING CALCULATIONS

TOTAL LANDSCAPING AREA		77,400 SQ. FT.
PLANTING AREA	77,400 SQ. FT.	77%
WALKWAY	1,000 SQ. FT.	1%
PAVING	1,000 SQ. FT.	1%
WATER	1,000 SQ. FT.	1%
LANDSCAPING TOTAL	80,400 SQ. FT.	100%



PLANTING LEGEND

PLANTING CODE	PLANT NAME	SPACING	QUANTITY
100	10' x 10' TREE	10' x 10'	1
200	10' x 10' SHRUB	10' x 10'	1
300	5' x 5' TREE	5' x 5'	1
400	5' x 5' SHRUB	5' x 5'	1
500	3' x 3' TREE	3' x 3'	1
600	3' x 3' SHRUB	3' x 3'	1
700	2' x 2' TREE	2' x 2'	1
800	2' x 2' SHRUB	2' x 2'	1
900	1' x 1' TREE	1' x 1'	1
1000	1' x 1' SHRUB	1' x 1'	1

PLANTING NOTES:

1. SEE SITE PLAN FOR PLANTING LOCATIONS.
2. ALL PLANTS TO BE PLANTED IN THE SPRING.
3. ALL PLANTS TO BE PLANTED IN THE LAWN AREA.
4. ALL PLANTS TO BE PLANTED IN THE WALKWAY AREA.
5. ALL PLANTS TO BE PLANTED IN THE PAVING AREA.
6. ALL PLANTS TO BE PLANTED IN THE WATER AREA.
7. ALL PLANTS TO BE PLANTED IN THE LANDSCAPING TOTAL AREA.
8. ALL PLANTS TO BE PLANTED IN THE 80,400 SQ. FT. AREA.
9. ALL PLANTS TO BE PLANTED IN THE 100% AREA.
10. ALL PLANTS TO BE PLANTED IN THE 100% AREA.

OWNER: PINE CANYON LODGE, INC.
 PROJECT: PINE CANYON CONDOMINIUM
 ADDRESS: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310
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PLANTING PLAN
 SHEET NUMBER: **L102**
 DATE: 1/10/08

PLANNING NOTES:
 1. SEE SITE PLAN FOR PLANTING LOCATIONS.
 2. ALL PLANTS TO BE PLANTED IN THE SPRING.
 3. ALL PLANTS TO BE PLANTED IN THE LAWN AREA.
 4. ALL PLANTS TO BE PLANTED IN THE WALKWAY AREA.
 5. ALL PLANTS TO BE PLANTED IN THE PAVING AREA.
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